

**PROJECT DESCRIPTION:**

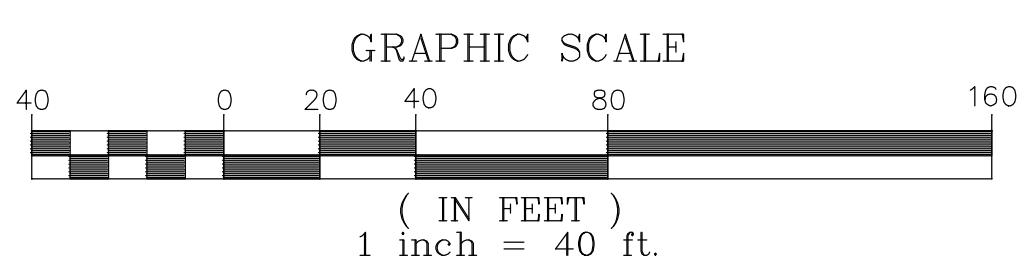
APPROVAL TO SUBDIVIDE B1 POD OF THE GREEN MOUNTAIN PRD DEVELOPMENT INTO A TOTAL OF 128 RESIDENTIAL LOT(S) FOR A COMBINATION OF ATTACHED AND DETACHED SINGLE FAMILY HOMES

**DESIGN & DEVELOPMENT TEAM**

PROPERTY OWNER: AE GREEN MOUNTAIN LLC  
2551 W 1st STREET  
WASHOUGAL WA, 98671

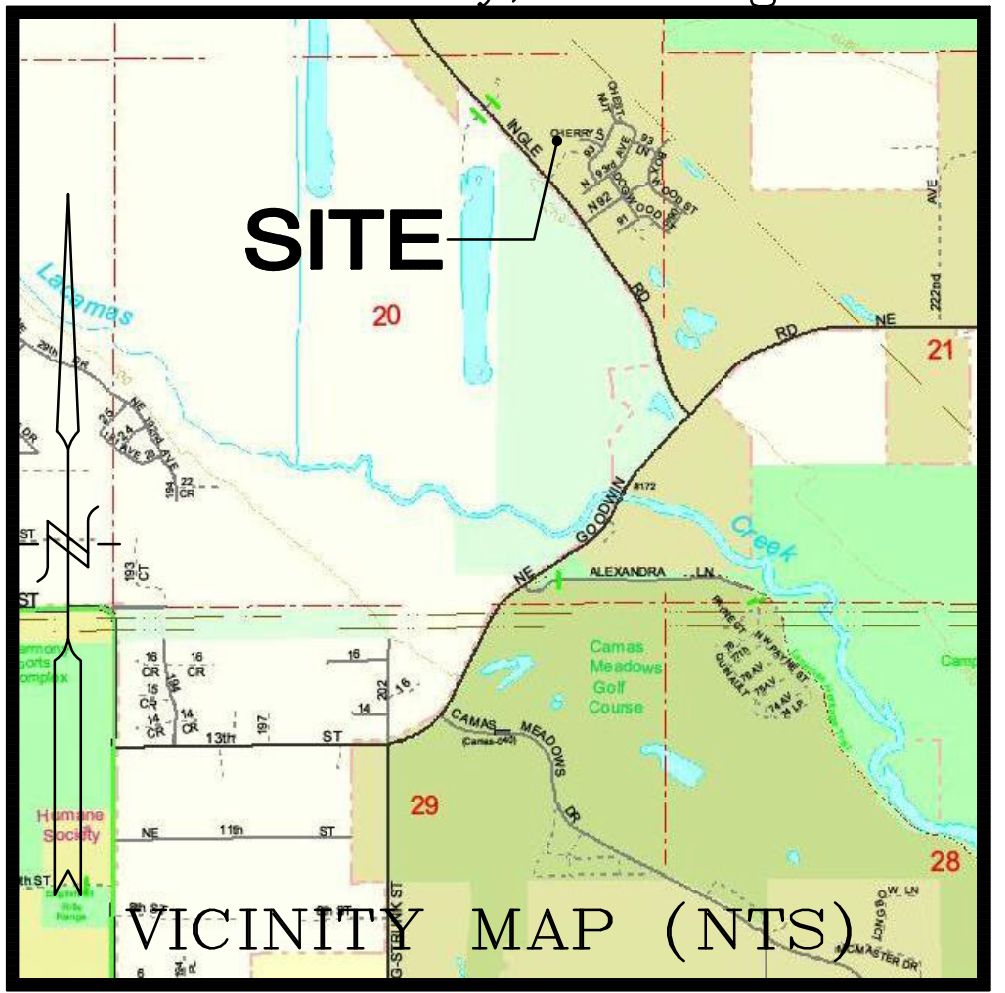
CIVIL ENGINEER/  
LAND USE PLANNING: STERLING DESIGN, INC.  
JOEL STIRLING, PE  
2208 E. EVERGREEN BLVD.  
VANCOUVER, WA 98661  
(360) 759-1794  
FAX: (360) 759-4983  
EMAIL: Joel@SterlingDesign.biz

SURVEYOR: OLSEN ENGINEERING  
222 E. EVERGREEN BLVD.  
VANCOUVER, WA, 98660  
PH: (360) 695-1385  
FAX: (360) 695-8117  
EMAIL: SURVEYING@OLSENENGR.COM



**GREEN MOUNTAIN PRD**

A Preliminary Plat within a portion of the NE 1/4 of Sec. 20, T2N., R3E., W.M. Clark County, Washington



**SHEET INDEX**

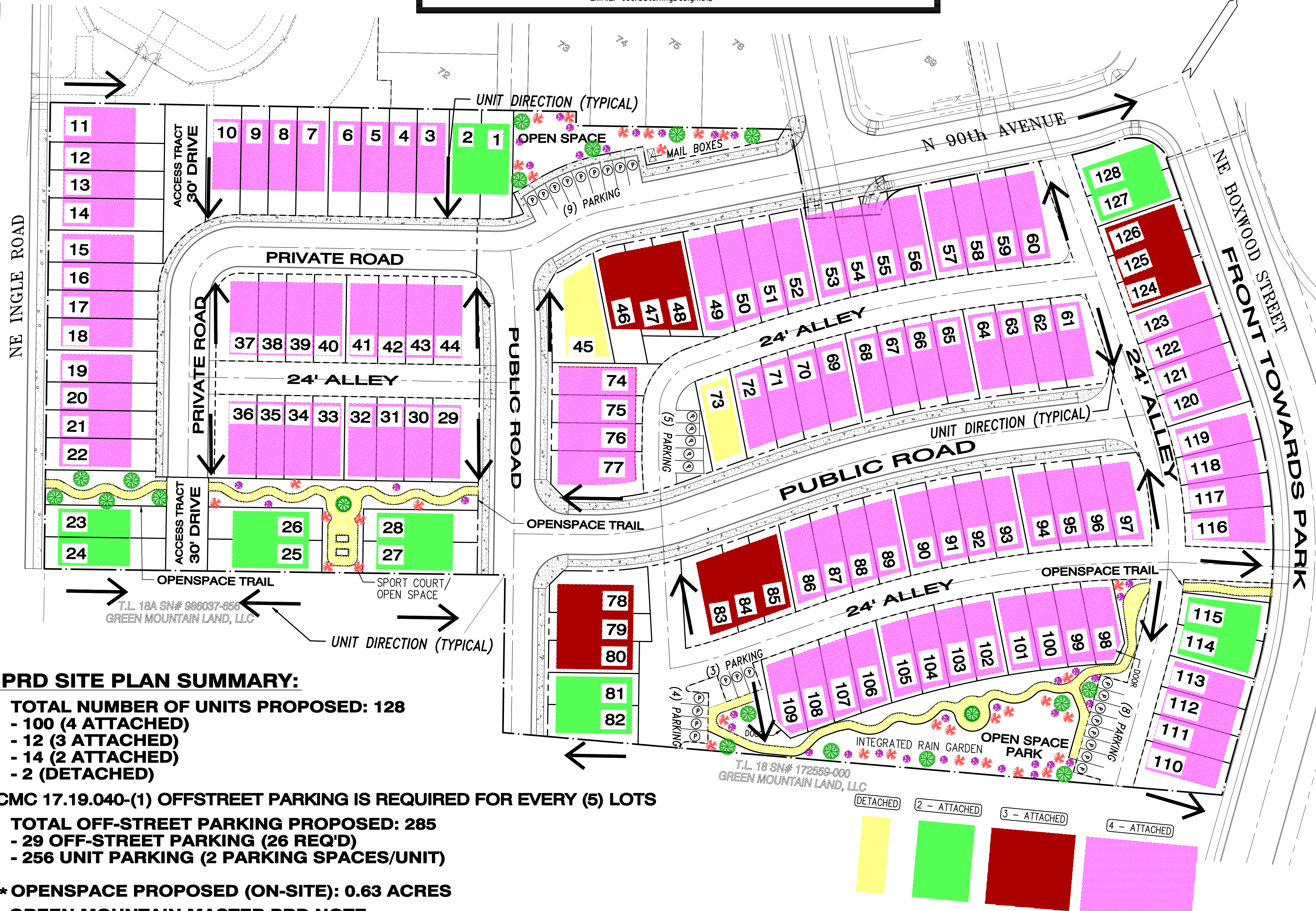
- PRD SITE PLAN COVER SHEET
- APPROVED GREEN MOUNTAIN PRD DEVELOPMENT STD'S & PHASING PLAN
- EXISTING CONDITIONS PLAN
- PRELIMINARY DEVELOPMENT PLAN B1-POD SOUTH
- PRELIMINARY GRADING PLAN
- PRELIMINARY ENGINEERING PLAN
- STORM FACILITY DESIGN (EXAMPLE FROM ADJACENT PROJECT)
- PRELIMINARY LANDSCAPE PLAN

**LEGEND**

- CURB & SIDEWALK
- PROPOSED EASEMENT
- PROPOSED LOT LINE
- EXISTING RIGHT-OF-WAY
- PROPOSED SANITARY SEWER LINE
- PROPOSED STORM SEWER LINE
- PROPOSED PERFORATED STORM LINE
- PROPOSED ROADWAY CENTERLINE
- EXISTING ELECTRIC
- EXISTING TELEPHONE LOCATE PAINT
- EXISTING WATER LOCATE PAINT
- EXISTING EDGE OF PAVEMENT/GRAVEL
- EXISTING SANITARY SEWER LINE
- EXISTING STORM LINE
- EXISTING FENCE
- EXISTING GROUND CONTOUR
- PROPOSED GROUND CONTOUR (1')
- DIRECTION OF STORMWATER FLOW
- EROSION CONTROL SILT FENCE
- INLET PROTECTION
- PROPOSED SANITARY CLEANOUT
- PROPOSED FIRE HYDRANT
- STD 1" WATER METER SERVICE
- PROPOSED MANHOLE
- PROPOSED DRYWELL
- PROPOSED CATCH BASIN
- PROPOSED COMBINATION CURB INLET
- PROPOSED STORMFILTER
- EXISTING POWER POLE WITH NUMBER AND DIRECTION OF OVERHEAD LINES
- EXISTING GUY ANCHOR
- EXISTING TELEPHONE PEDESTAL
- EXISTING STORM DRAIN MANHOLE
- EXISTING CATCH BASIN
- EXISTING ADA RAMP
- EXISTING ELECTRICAL SERVICE BOX
- EXISTING SANITARY MANHOLE
- EXISTING SANITARY CLEANOUT
- EXISTING FIRE HYDRANT
- EXISTING WATER SERVICE
- EXISTING WATER VALVE
- PROPOSED STREET TREES 30' O.C.
- PROPOSED STREET LIGHT 70' SPACING

**SITE DATA:**

- TAX LOT(S): 22A, 22B & 22
- SERIAL NUMBER(S): 986037-307 & 173178-000
- SITE ADDRESS: NOT SITUATED
- AREA: 7.89 ACRES
- ZONING: MF-18
- COMPREHENSIVE PLAN: MFL



**PRD SITE PLAN SUMMARY:**

- TOTAL NUMBER OF UNITS PROPOSED: 128
- 100 (4 ATTACHED)
- 12 (3 ATTACHED)
- 14 (2 ATTACHED)
- 2 (DETACHED)

CMC 17.19.040-(1) OFFSTREET PARKING IS REQUIRED FOR EVERY (5) LOTS

- TOTAL OFF-STREET PARKING PROPOSED: 285
- 29 OFF-STREET PARKING (26 REQ'D)
- 256 UNIT PARKING (2 PARKING SPACES/UNIT)

\* OPENSOURCE PROPOSED (ON-SITE): 0.63 ACRES

**GREEN MOUNTAIN MASTER PRD NOTE:**

- \*REFER TO THE APPROVED GREEN MOUNTAIN DEVELOPMENT STANDARDS & PHASING PLAN FOR:
- OPEN SPACE DEDICATION THAT HAS BEEN COMPLETED AND APPROVED WITH GREEN MOUNTAIN PRD DEVELOPMENT STANDARDS & PHASING PLAN.
- DENSITY AND SETBACKS REQUIREMENTS FOR THIS PROJECT HAVE BEEN OUTLINED WITH THE GREEN MOUNTAIN PRD DEVELOPMENT STANDARDS & PHASING PLAN AS DEPICTED ON SHEET 2 OF 8.

PREPARED BY:  
STERLING DESIGN, INC.  
2208 E. EVERGREEN BLVD  
VANCOUVER, WA 98661  
PH: (360) 759-1794  
FAX: (360) 759-4983  
Mail@SterlingDesign.biz

STERLING  
DESIGN, INC.

PRD SITE PLAN  
COVER SHEET

Project:  
GREEN MOUNTAIN  
B1 POD

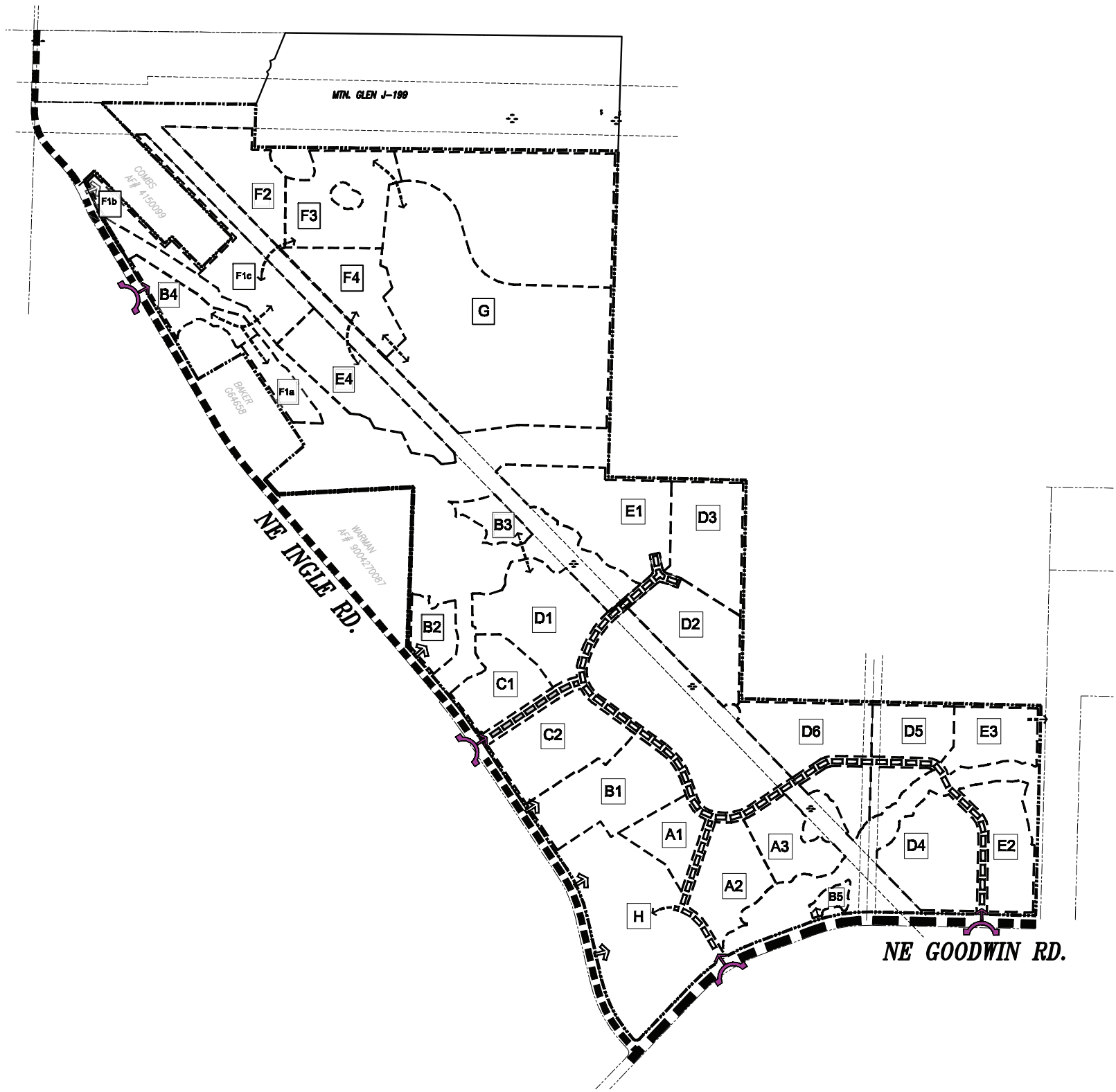


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Design/Drawn: JGS/BC  
Drawing Date: OCT. 2018  
Sheet 1 of 8 Sheet(s)

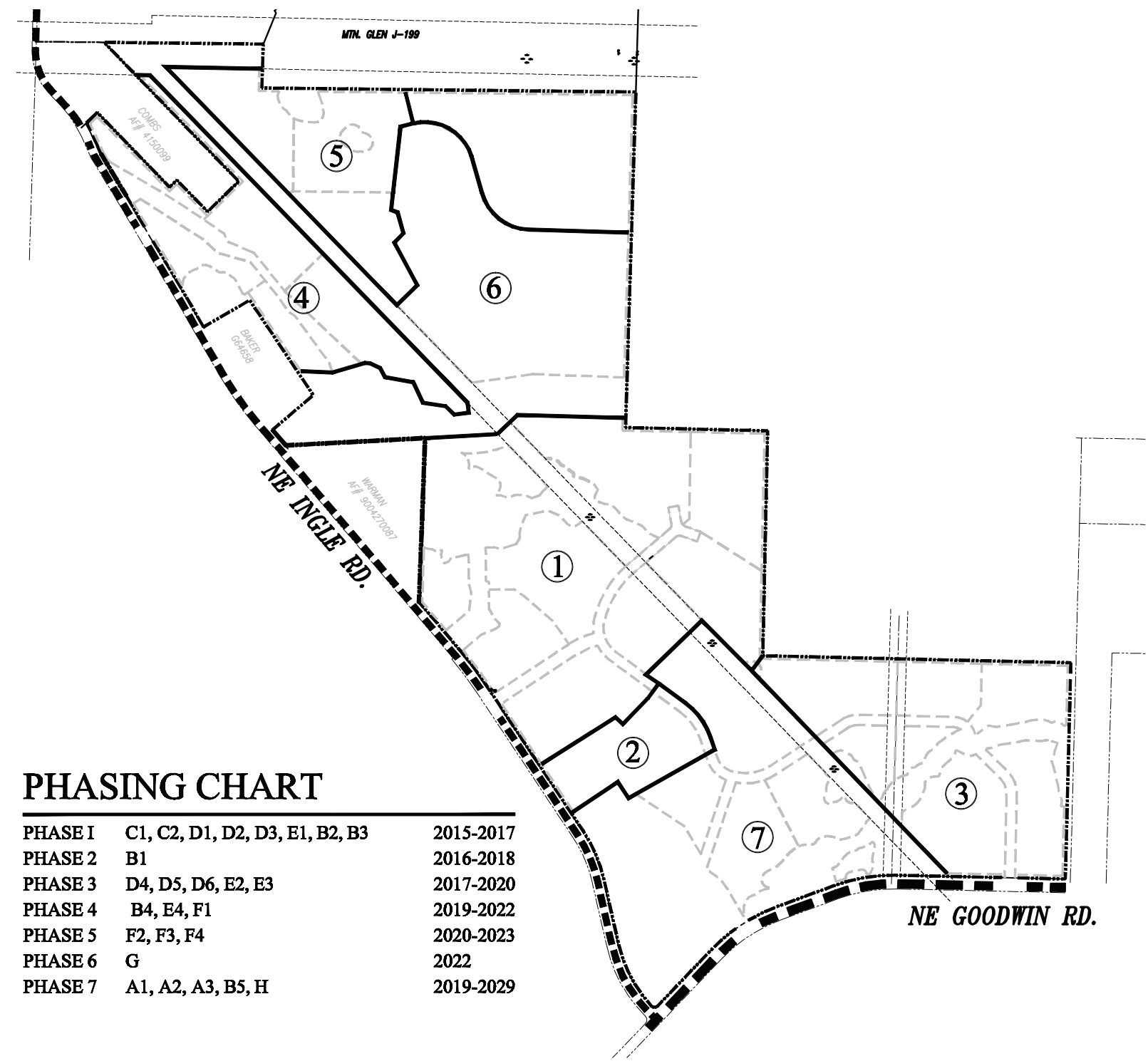


GREEN MOUNTAIN  
DEVELOPMENT STANDARDS & PHASING PLAN

CAMAS, WASHINGTON  
GREEN MOUNTAIN LAND, LLC.



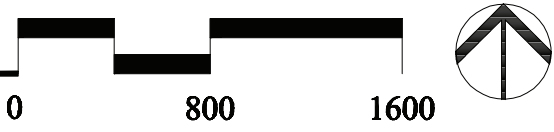
PLANNING UNITS



PHASING CHART

PHASE 1	C1, C2, D1, D2, D3, E1, B2, B3	2015-2017
PHASE 2	B1	2016-2018
PHASE 3	D4, D5, D6, E2, E3	2017-2020
PHASE 4	B4, E4, F1	2019-2022
PHASE 5	F2, F3, F4	2020-2023
PHASE 6	G	2022
PHASE 7	A1, A2, A3, B5, H	2019-2029

PHASING PLAN



PLANNING STANDARDS

URBAN VILLAGE AREA

URBAN VILLAGE AREA - Mixed Use, Community Commercial, A and B PODs	
Urban Village Area	Minimum of 8.8 acres with ground floor Employment/Commercial Use (as provided for in 18.07.030 Table 1). Allow horizontal and vertical Mixed Use PODs H, A1, A2, A3, B5 and 100 Units at the Village Center

DENSITY & DIMENSIONS

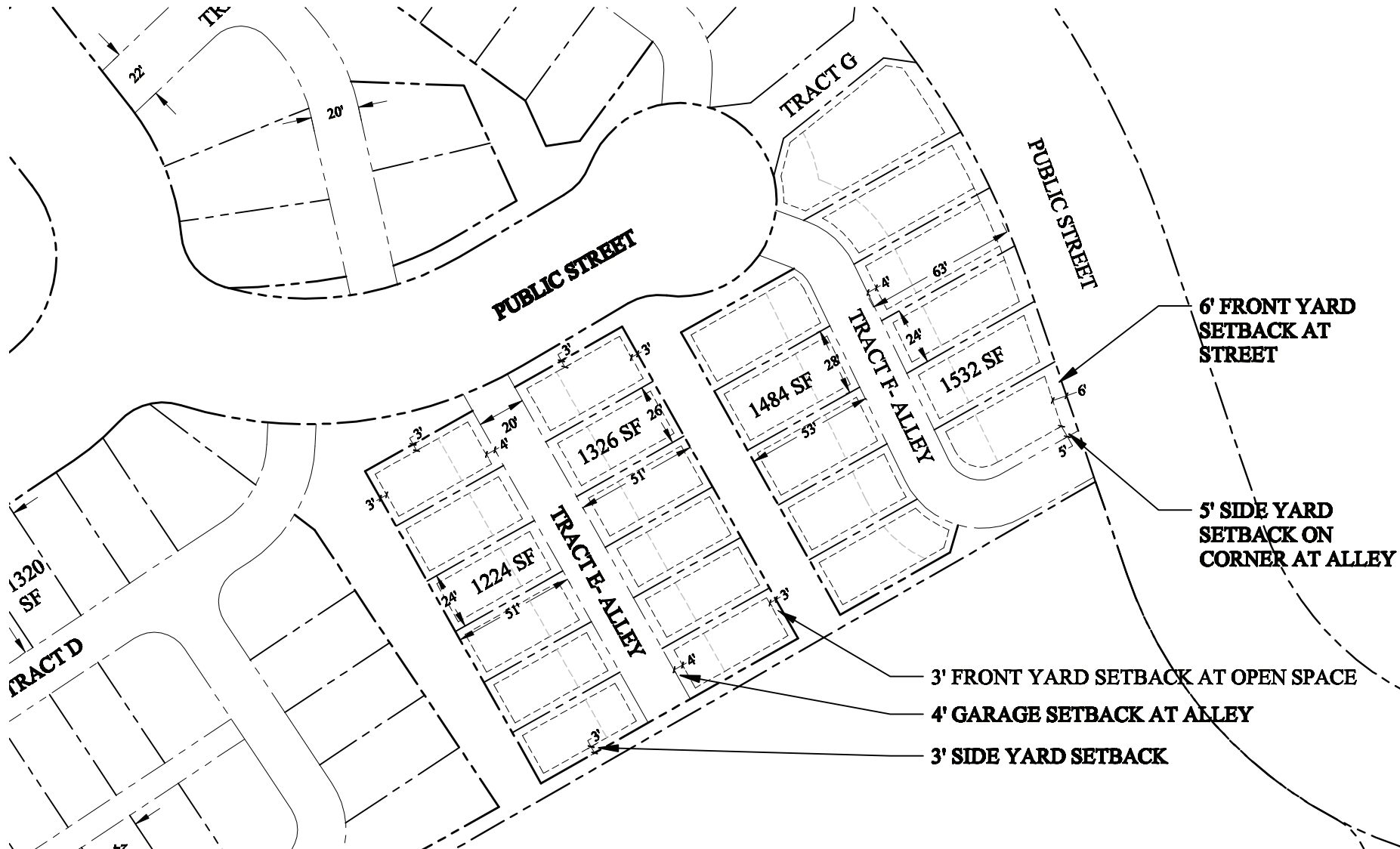
Green Mountain PRD PODs A-G and corresponding Camas Zones

	A POD	B POD	C POD
DENSITY	MF-24	MF-18	MF-10
Max. du/gross ac	24	18	10
Min. du/gross ac	6	6	6
STANDARD LOTS			
Min. lot SF	1,000 [a]	1,000[a]	3,000 [a]
Min. lot width	20	20	30
Min. lot depth	50	50	70
Max. Floor Area per du	No Max	No Max	No Max
SETBACKS			
Min. front/at garage	None	6/3@05/18	10/18
Min. side	3 [1]	3 [1] [d]	3 [1] [d]
Min. side flanking street	None [e]	10 [d]	10 [d]
Min. rear (garage @alley)	None [e]	10 [b][c]	10[b][c]
LOT COVERAGE, Max.	None [c]	None	55%
BUILDING HEIGHT, Max.		45 [2]	35 [2]

- a. Single Family Detached homes to be permitted. For SFD in A POD apply B Pod setbacks.  
b. 10 foot rear yard for front access garage.  
c. Minimum rear yard for alley accessed garage is either 4' or 18'.  
d. Minimum side yard at alley is 5'.  
e. Franchise utilities to be located in front or side yard easements abutting right of way.  
1. The non-attached side of a dwelling unit shall be three feet, otherwise a zero-lot line is assumed.  
2. Maximum building height: three stories and a basement but not to exceed maximum building height.

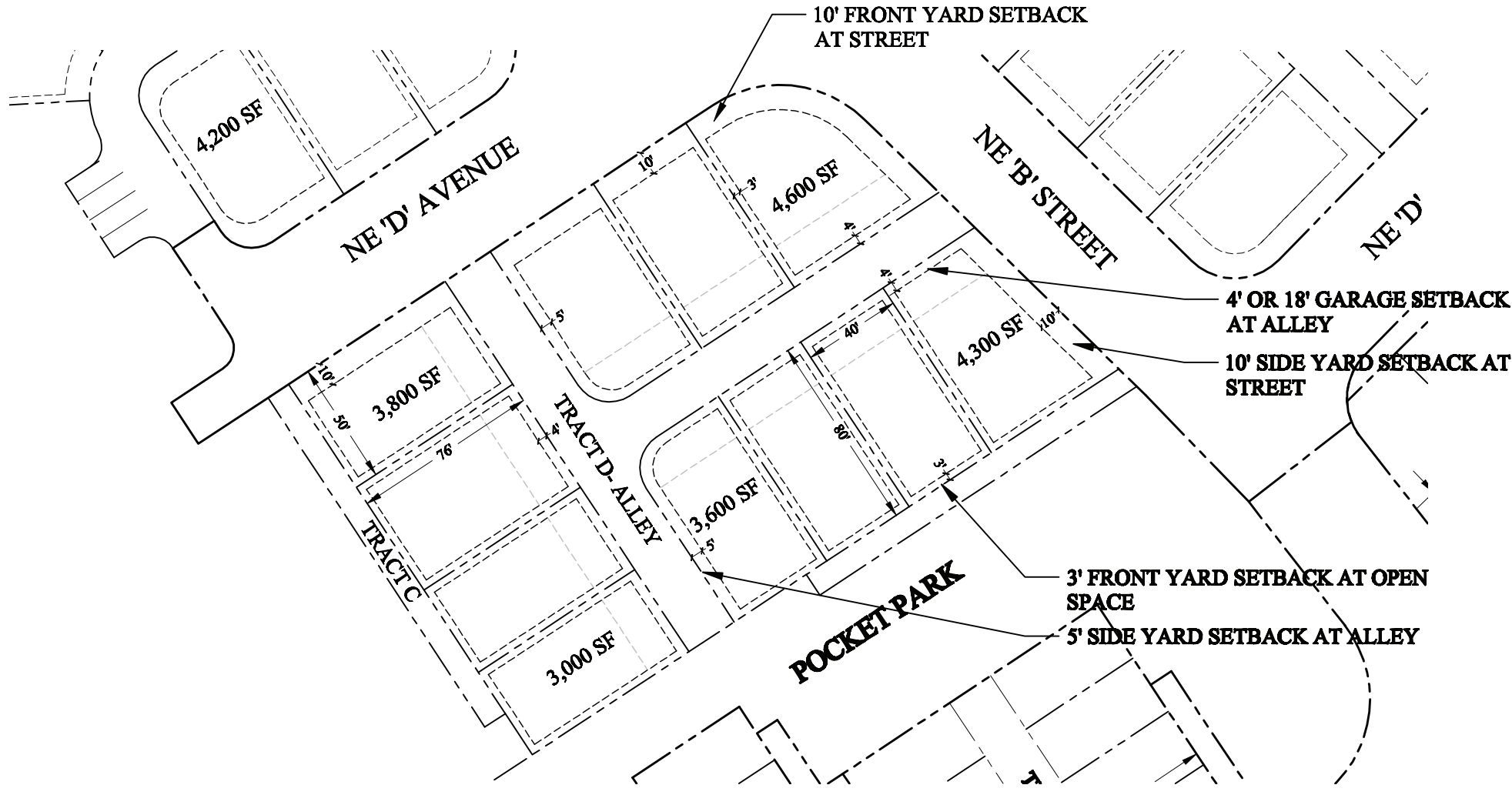
Density Transfer Lots	D POD	E POD	F POD	G POD
DENSITY	R-5	R-6	R-7.5	R-20
Max. du/gross ac	8.7	7.2	5.8	2.1
DENSITY TRANSFER LOTS				
Min. lot size (sq. ft.)	3,500 [a]	4,200	5250	14,000
Max. lot size (sq. ft.)	7,600	9,000	14,999	60,000
Min. lot width	40	50	60	90
Min. lot depth	80	80	80	100
LOT COVERAGE, Max.	45%	40%	40%	30%
BUILDING HEIGHT, MAX. (ft.)	35	35	35	35
SETBACKS based on lot size				
Min. front/at garage	Up to 4,999 sq. ft.	5,000 to 7,499 sq. ft.	7,500 to 14,999 sq. ft.	15,000 to 60,000 sq. ft.
Min. front/at garage	10/18	15/18	20	30
Min. side and corner lot rear yard (ft.)	4	5	5	15
Min. side yard flanking a street	10[d]	15[d]	15	30
Min. rear (garage @alley)	15[b][c]	20[b][c]	20[b][c]	30
Min. lot frontage on a cul-de-sac or curves (ft.)	25	30	30	40

- a. Single Family detached homes to be permitted.  
b. 10 foot rear yard for front access garage.  
c. Minimum rear yard for alley accessed garage is either 4' or 18'.  
d. Minimum side yard at alley is 5'.  
NOTE: POD lot sizes are not subject to lot size averaging.



POD B- TYPICAL LOT & DEVELOPMENT PATTERNS

LOT DIMENSIONS & BUILDING ENVELOPES



POD C- TYPICAL LOT & DEVELOPMENT PATTERNS

LOT DIMENSIONS & BUILDING ENVELOPES



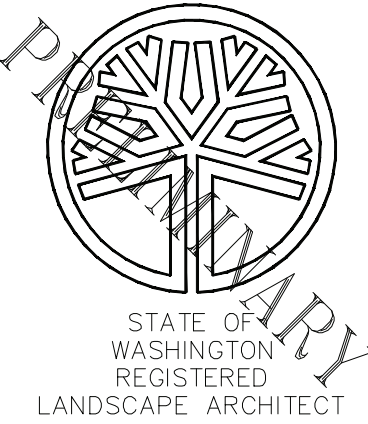
Land Planning  
Landscape  
Architecture

P.O. BOX 2392  
LAKE OSWEGO, OR  
97035  
503-294-0222

SCALE: AS NOTED

DESIGNED BY: WPH  
DRAWN BY: SH  
CHECKED BY: WPH

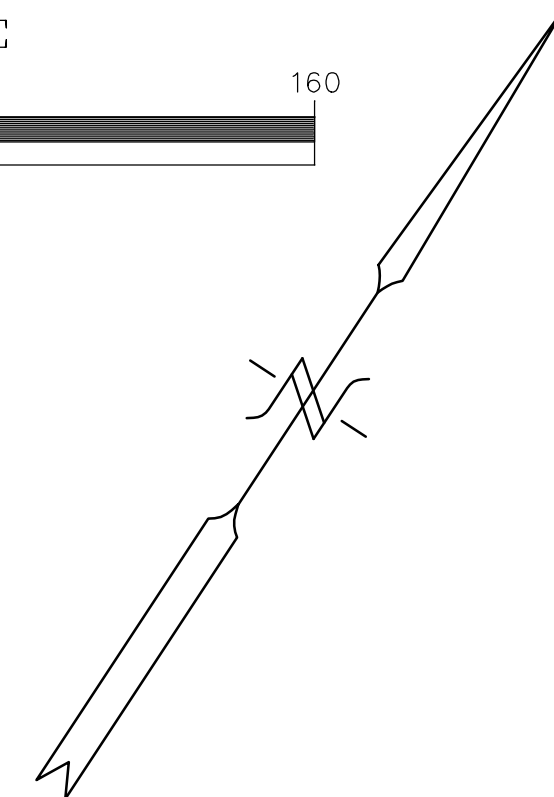
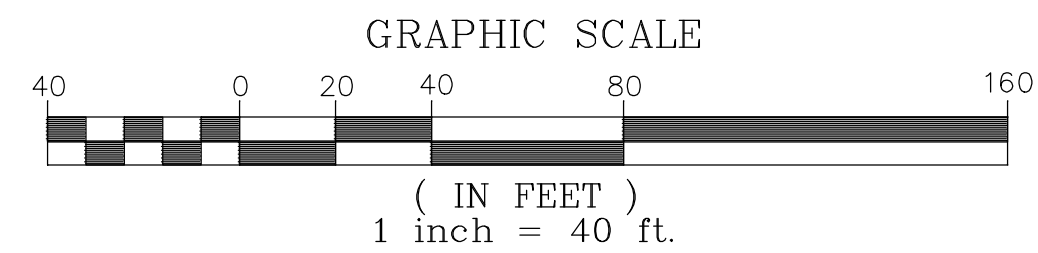
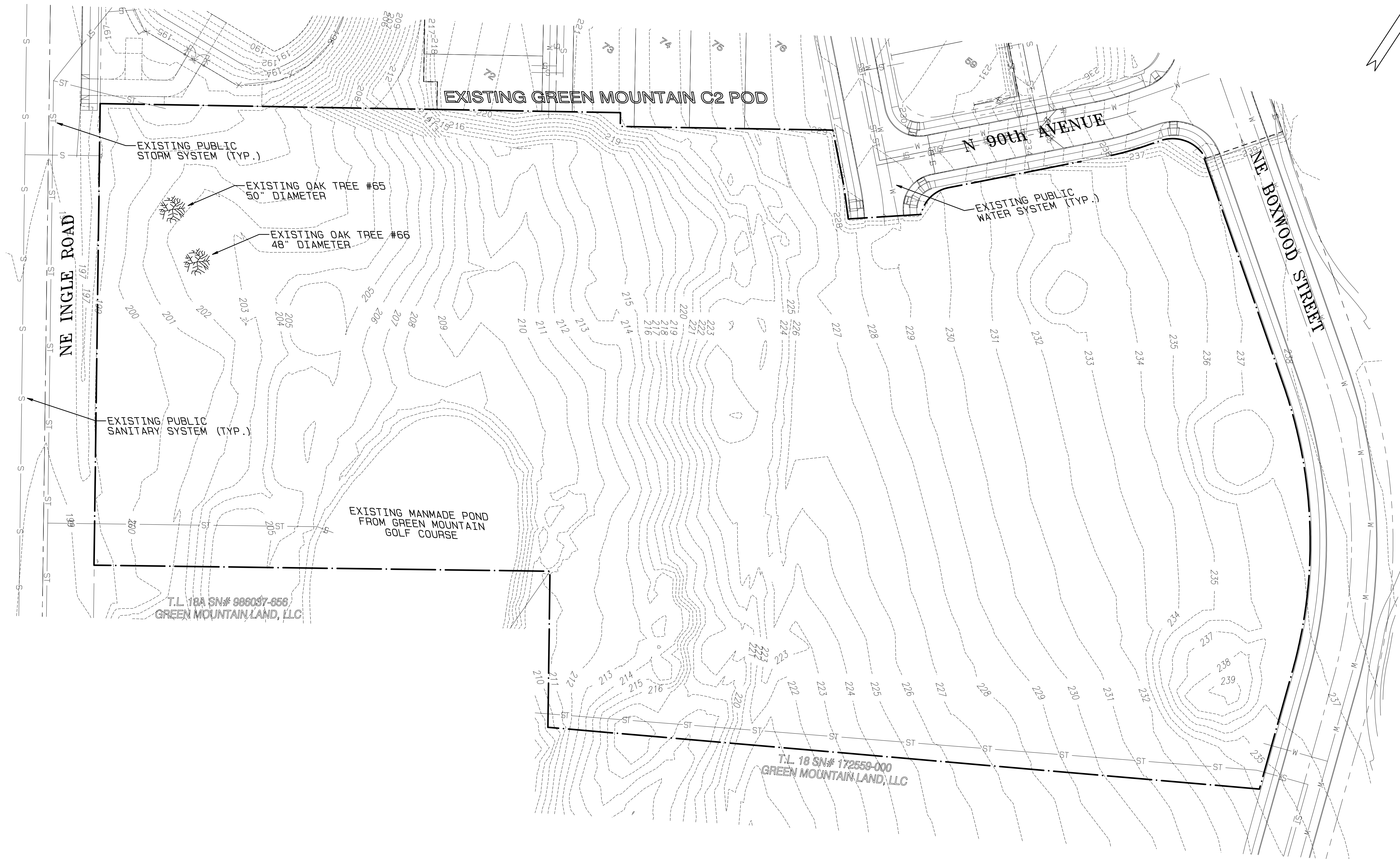
DATE: 01/29/15  
REVISED:



WILLIAM F. HORNING  
CERTIFICATE NO. 382

GREEN MOUNTAIN  
DEVELOPMENT STANDARDS & PHASING PLAN  
GREEN MOUNTAIN LAND, LLC.  
CAMAS, WASHINGTON





**SITE DATA:**

- TAX LOT(S): 22A, 22B & 22
- SERIAL NUMBER(S): 986037-307 & 173178-000
- SITE ADDRESS: NOT SITUATED
- AREA: 7.89 ACRES
- ZONING: MF-18
- COMPREHENSIVE PLAN: MFL

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FAX (360) 759-4983  
Mail@SterlingDesign.biz

**STERLING  
DESIGN, INC.**

**Sheet Description:**  
**EXISTING CONDITIONS  
PLAN**

**Project:**  
**GREEN MOUNTAIN  
B1 POD**

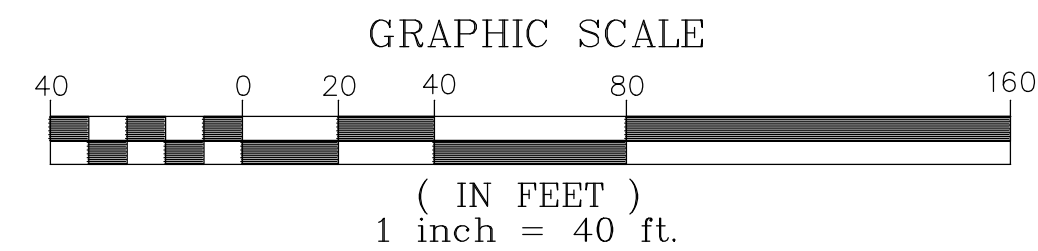


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Project Number: **791**  
Design/Drawn: **JGS/BC**  
Drawing Date: **OCT. 2018**  
Sheet **3** of **8** Sheet(s)



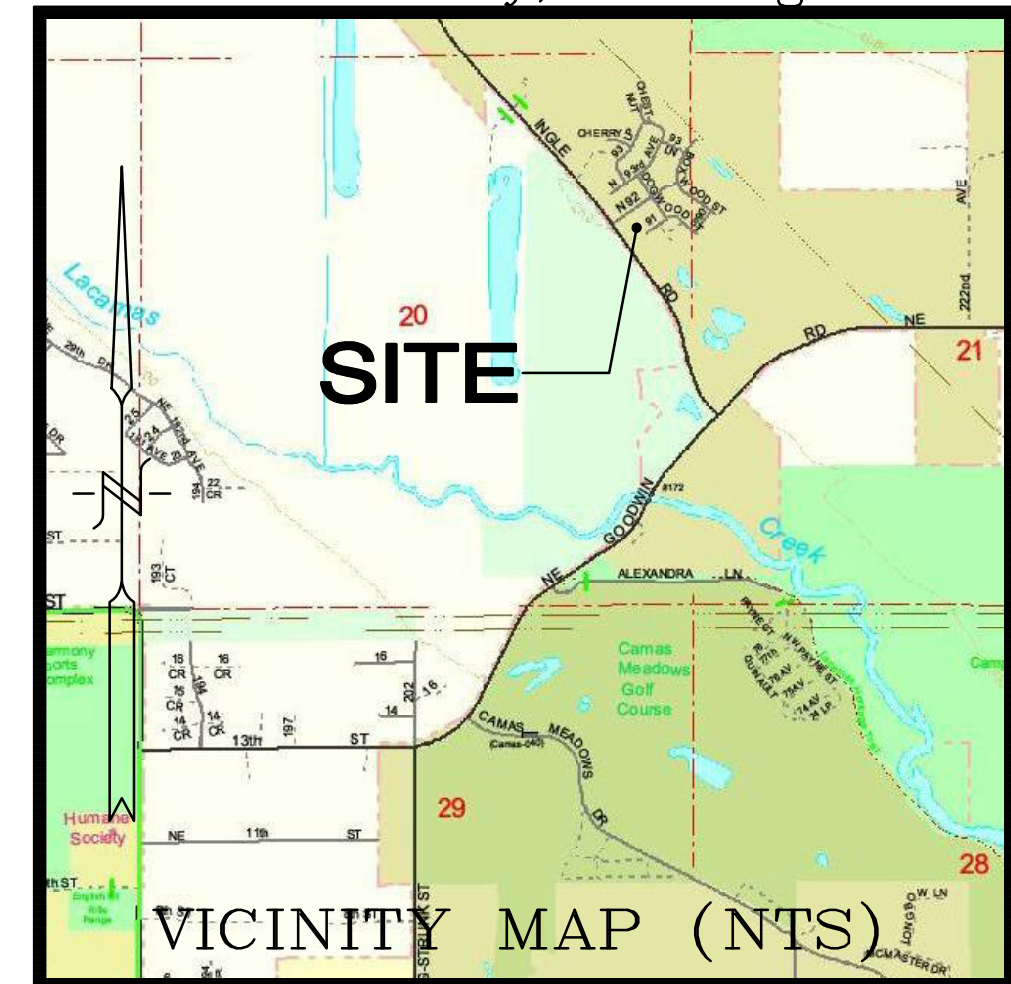
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**GREEN MOUNTAIN PRD**

A Preliminary Plat within  
a portion of the NE 1/4 of  
Sec. 20, T2N., R3E., W.M.  
Clark County, Washington



**SITE DATA:**

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- COMPREHENSIVE PLAN: MFL

**CENTERLINE CURVE DATA**

- |  |   |
|--|---|
| ① R=35.00ft<br>CH=49.60ft<br>A=55.12ft<br>T=35.15ft<br>EX=14.60ft<br>Delta=90 14'16"   | ⑦ R=301.00ft<br>CH=48.51ft<br>A=48.56ft<br>T=24.33ft<br>EX=0.98ft<br>Delta=9 14'38"     |
| ② R=70.00ft<br>CH=38.97ft<br>A=39.49ft<br>T=20.28ft<br>EX=2.88ft<br>Delta=32 19'17"    | ⑧ R=699.00ft<br>CH=156.76ft<br>A=157.09ft<br>T=78.88ft<br>EX=4.44ft<br>Delta=12 52'34"  |
| ③ R=100.00ft<br>CH=34.95ft<br>A=35.13ft<br>T=17.75ft<br>EX=1.56ft<br>Delta=20 07'40"   | ⑨ R=269.46ft<br>CH=150.64ft<br>A=152.67ft<br>T=78.45ft<br>EX=11.19ft<br>Delta=32 27'48" |
| ④ R=1000.00ft<br>CH=98.32ft<br>A=98.36ft<br>T=49.22ft<br>EX=1.21ft<br>Delta=5 38'08"   | ⑩ R=903.00ft<br>CH=202.51ft<br>A=202.93ft<br>T=101.90ft<br>EX=5.73ft<br>Delta=12 52'34" |
| ⑤ R=200.00ft<br>CH=70.78ft<br>A=71.16ft<br>T=35.96ft<br>EX=3.21ft<br>Delta=20 23'08"   | ⑪ R=35.00ft<br>CH=39.96ft<br>A=42.53ft<br>T=24.33ft<br>EX=7.63ft<br>Delta=69 36'52"     |
| ⑥ R=200.00ft<br>CH=70.78ft<br>A=71.16ft<br>T=35.96ft<br>EX=3.21ft<br>Delta=20 23'08"   |   |
| ⑥ R=800.00ft<br>CH=179.41ft<br>A=179.79ft<br>T=90.27ft<br>EX=5.08ft<br>Delta=12 52'34" |   |

**\*APPROVED w/PRD MASTER PLAN**

Green Mountain PRD PODs A-G and corresponding Camas Zones

	A POD	B POD*	C POD
DENSITY	MF-24	MF-18	MF-10
Max. du./gross ac	24	18	10
Min. du./gross ac	6	6	6
STANDARD LOTS			
Min. lot SF	1,000 [a]	1,000[a]	3,000 [a]
Min. lot width	20	20	30
Min. lot depth	80	50	70
Max. Floor Area per du	No Max	No Max	No Max
SETBACKS			
Min. front/at garage	None	6/3@OS/18	10/18
Min. side	3 [1]	3 [1] [d]	3 [1] [d]
Min. side Flanking Street	None [e]	10 [d]	10 [d]
Min. rear [garage @alley]	None [e]	10 [b][c]	10 [b][c]
LOT COVERAGE, Max.	None [c]	None	55%
BUILDING HEIGHT, Max.	80	45 [2]	35 [2]

a. Single Family Detached homes to be permitted. For SFD in A POD apply B Pod setbacks.

b. 10 foot rear yard for front access garage.

c. Minimum rear yard for alley accessed garage is either 4' or 18'.

d. Minimum side yard at alley is 5'.

e. Franchise utilities to be located in front or side yard easements abutting right of way.

1. The non-attached side of a dwelling unit shall be three feet, otherwise a zero-lot line is assumed.
2. Maximum building height: three stories and a basement but not to exceed maximum building height.

**PROPOSED PRELIMINARY PLAT SUMMARY:**

**Total Lots: 128**  
**Total Site Area:**  
**Minimum Lot Area:**  
**Maximum Lot Area:**  
**Average Lot Area:**  
**Public Right of Way Dedication:**  
**Privated Road Dedication:**  
**Alleys:**  
**Access Tract:**  
**\* Openspace:**

**\* PROPOSED SITE DENSITY: 16.2 LOTS/ACRE**

**35,368, 840 sf (7.89 Acres)**  
**1,200 sf.**  
**2,736 sf**  
**1,568 sf**  
**50,435 sf**  
**15,080 sf**  
**42,878 sf**  
**5,471 sf**  
**28,610 sf**

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STERLING  
DESIGN, INC.

Sheet Description:  
**PROPOSED DEVELOPMENT  
PLAN**

Project:  
**GREEN MOUNTAIN  
B1 POD**



Scale: AS-SHOWN

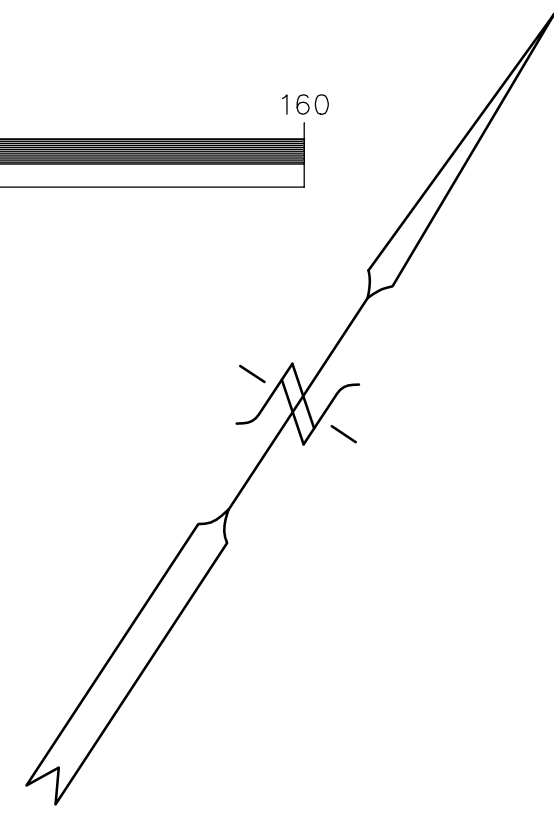
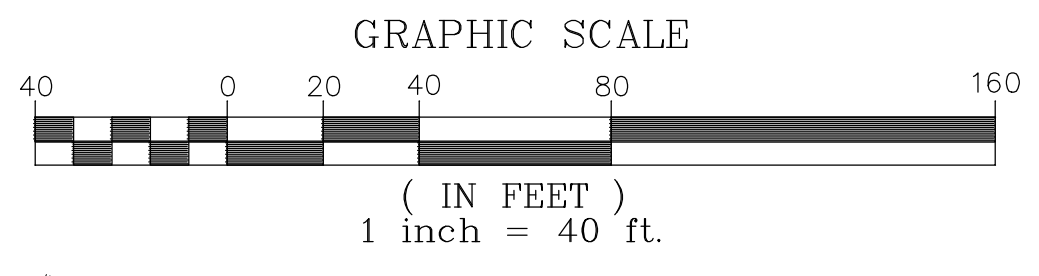
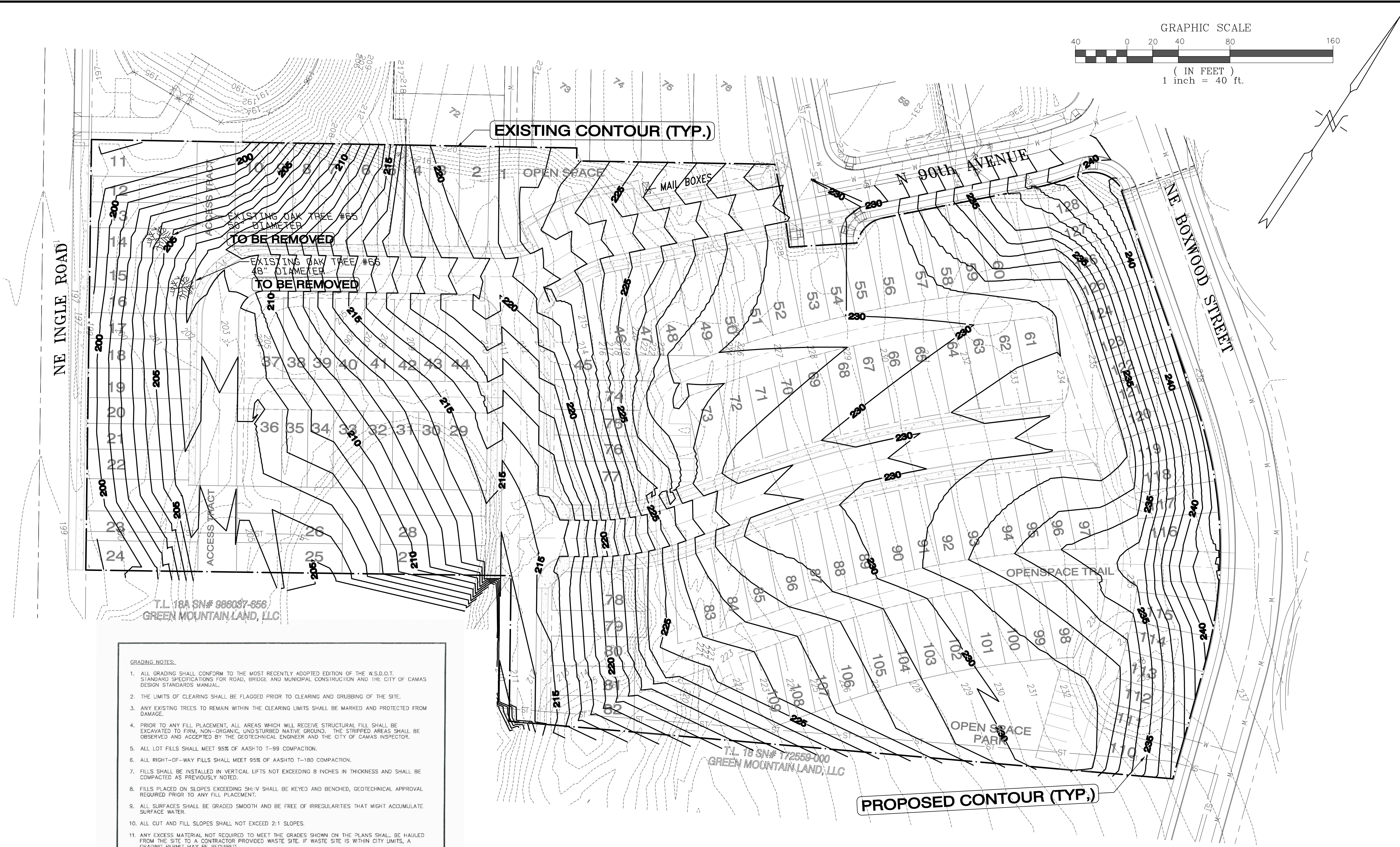
Project Number: 791

Design/Drawn: JGS/BC

Drawing Date: OCT. 2018

Sheet 4 of 8 Sheet(s)





**GRADING NOTES:**

1. ALL GRADING SHALL CONFORM TO THE MOST RECENTLY ADOPTED EDITION OF THE W.S.D.O.T. STANDARD SPECIFICATIONS FOR ROAD, BRIDGE AND MUNICIPAL CONSTRUCTION AND THE CITY OF CAMAS DESIGN STANDARDS MANUAL.
2. THE LIMITS OF CLEARING SHALL BE FLAGGED PRIOR TO CLEARING AND GRUBBING OF THE SITE.
3. ANY EXISTING TREES TO REMAIN WITHIN THE CLEARING LIMITS SHALL BE MARKED AND PROTECTED FROM DAMAGE.
4. PRIOR TO ANY FILL PLACEMENT, ALL AREAS WHICH WILL RECEIVE STRUCTURAL FILL SHALL BE EXCAVATED TO FIRM, NON-ORGANIC, UNDISTURBED NATIVE GROUND. THE STRIPPED AREAS SHALL BE OBSERVED AND ACCEPTED BY THE GEOTECHNICAL ENGINEER AND THE CITY OF CAMAS INSPECTOR.
5. ALL LOT FILLS SHALL MEET 95% OF AASHTO T-99 COMPACTION.
6. ALL RIGHT-OF-WAY FILLS SHALL MEET 95% OF AASHTO T-180 COMPACTION.
7. FILLS SHALL BE INSTALLED IN VERTICAL LIFTS NOT EXCEEDING 8 INCHES IN THICKNESS AND SHALL BE COMPACTED AS PREVIOUSLY NOTED.
8. FILLS PLACED ON SLOPES EXCEEDING 5H:1V SHALL BE KEYED AND BENCHED, GEOTECHNICAL APPROVAL REQUIRED PRIOR TO ANY FILL PLACEMENT.
9. ALL SURFACES SHALL BE GRADED SMOOTH AND BE FREE OF IRREGULARITIES THAT MIGHT ACCUMULATE SURFACE WATER.
10. ALL CUT AND FILL SLOPES SHALL NOT EXCEED 2:1 SLOPES.
11. ANY EXCESS MATERIAL NOT REQUIRED TO MEET THE GRADES SHOWN ON THE PLANS SHALL BE HAULED FROM THE SITE TO A CONTRACTOR PROVIDED WASTE SITE, IF WASTE SITE IS WITHIN CITY LIMITS, A GRADING PERMIT MAY BE REQUIRED.
12. ALL EXPOSED AND UNWORKED SOILS SHALL BE STABILIZED BY SUITABLE APPLICATION OF EROSION CONTROL BMP'S.
13. ALL SURFACES REQUIRING VEGETATION SHALL BE ROUGHENED PRIOR TO SEEDING (I.E. WHEEL TRACKED PERPENDICULAR TO SURFACE FLOW TO REDUCE EROSION AND HELP VEGETATION).
14. FINAL GEOTECHNICAL SUMMARY REPORT, INCLUDING ALL COMPACTION TESTING RESULTS, SHALL BE SUBMITTED UPON COMPLETION OF SITE GRADING WORK.

REV. NO.	DATE	BY	APPR.	DESCRIPTION
1	9/18/07	SCD	JC	
2	1/7/11	SCD	JC	

CITY OF CAMAS - EROSION CONTROL DETAIL  
GRADING NOTES  
1-4-11  
DATE

NOT TO SCALE

ECI

ECI-NOTES.DWG

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- SERIAL NUMBER(S): 986037-307 & 173178-000
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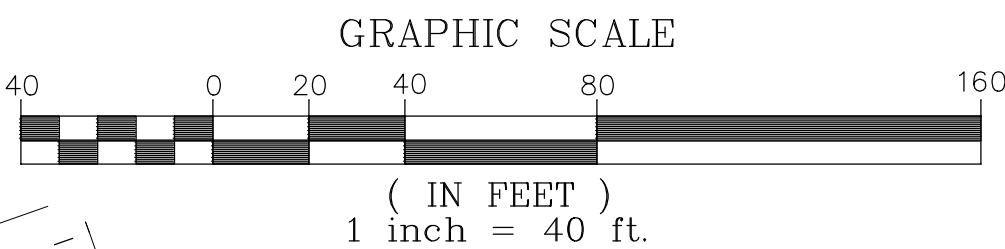
**Project:**  
GREEN MOUNTAIN  
B1-BODPSOUTH

**Sheet Description:**  
GRADING PLAN

**Scale:** AS SHOWN  
Project Number: 791  
Design/Drawn: JGS/B/C  
Drawing Date: OCT. 2018  
Sheet 5 of 8 Sheet(s)

10/31/18



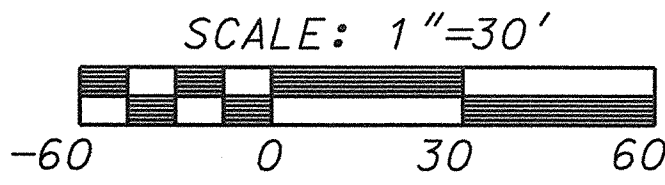
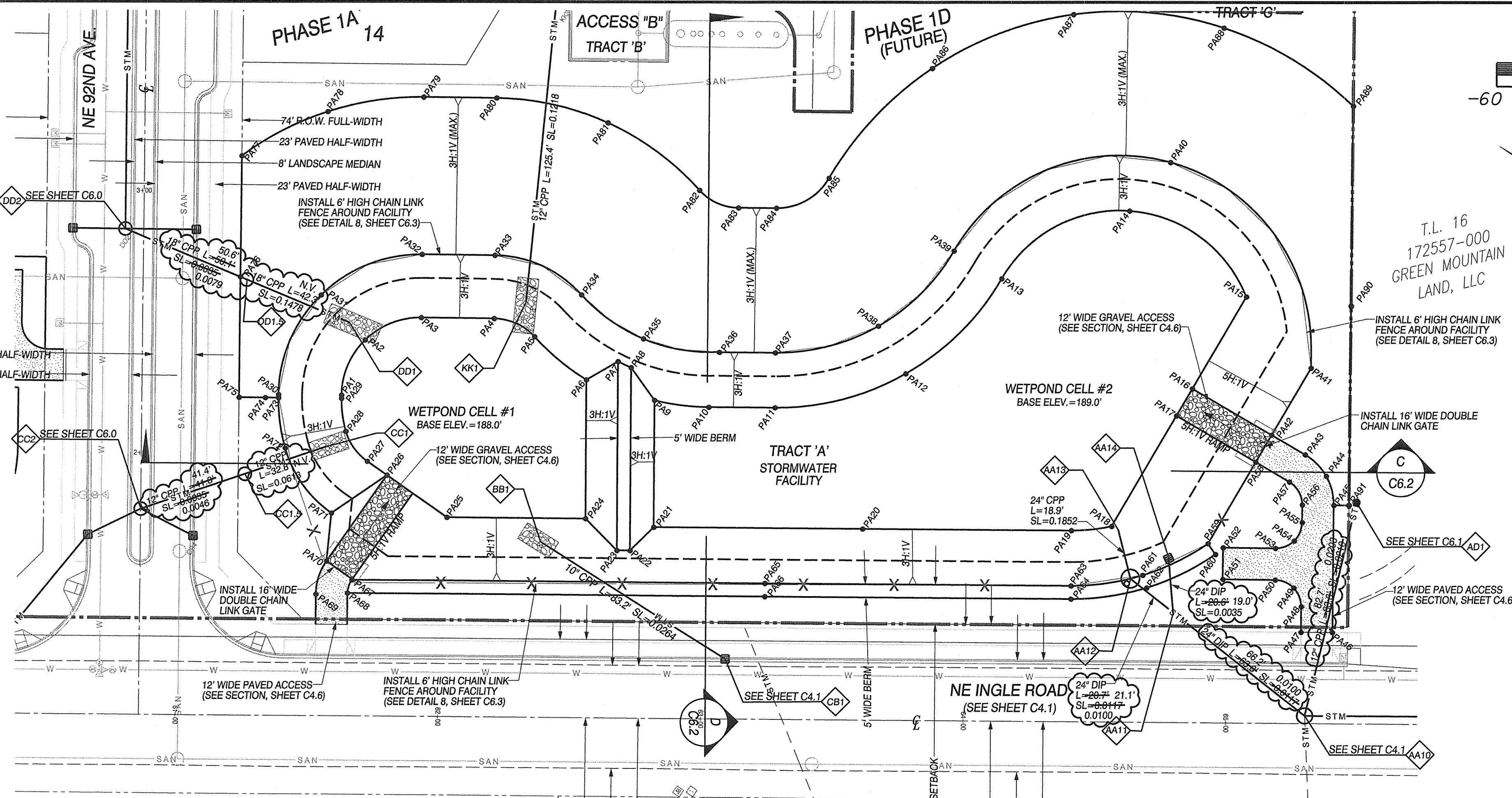


T.L. 18A SN# 986097-656  
GREEN MOUNTAIN LAND, LLC

T.L. 18 SN# 172559-000  
GREEN MOUNTAIN LAND, LLC

## Sheet 6 of 8 Sheet(s)





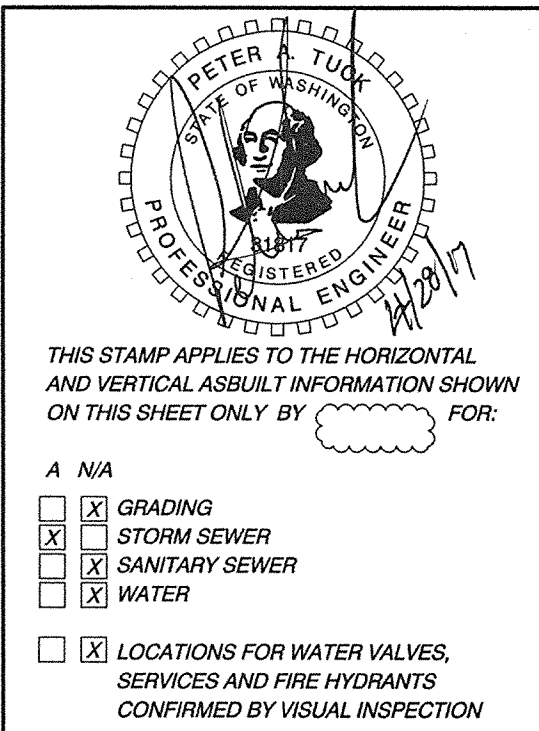
STORMWATER FACILITY CONSTRUCTION NOTES:

- 1) THE STORMWATER DRAINAGE FACILITY SHALL BE OWNED AND MAINTAINED BY THE H.O.A. WITH AN EASEMENT DEDICATED TO THE CITY OF CAMAS FOR ACCESS AND INSPECTION.
- 2) THE CONTRACTOR SHALL ENSURE THAT ALL EROSION CONTROL MEASURES ARE IN PLACE AND IN WORKING CONDITION PRIOR TO COMMENCEMENT OF DRAINAGE FACILITY CONSTRUCTION.
- 3) POND GRADING AND SEEDING SHALL OCCUR AS SOON AS POSSIBLE. ONCE SEEDING THE AREA SHALL BE WATERED AS REQUIRED TO GERMINATE AND MAINTAIN A HEALTHY GROWTH OF GRASS.
- 4) VEGETATION FOR THE FACILITY SHOULD BE A SEED MIX CONSISTING OF:
  - 30% CHATEAU KENTUCKY BLUEGRASS
  - 40% COCHISE TURF, TALL FESCUE TYPE
  - 30% DELAWARE DWARF PERENNIAL RYEGRASSPREPARE GROUND, SEEDING RATE, FERTILIZER, AND MULCHING AS PER THE MANUFACTURER'S RECOMMENDATIONS.
- 5) A 6 FOOT HIGH BLACK VINYL-COATED CYCLONE FENCE OR APPROVED EQUAL SHALL BE INSTALLED AROUND THE PERIMETER OF THE DRAINAGE FACILITY AND A STANDARD 16 FOOT WIDE GATE SHALL BE INSTALLED FOR POND ACCESS.

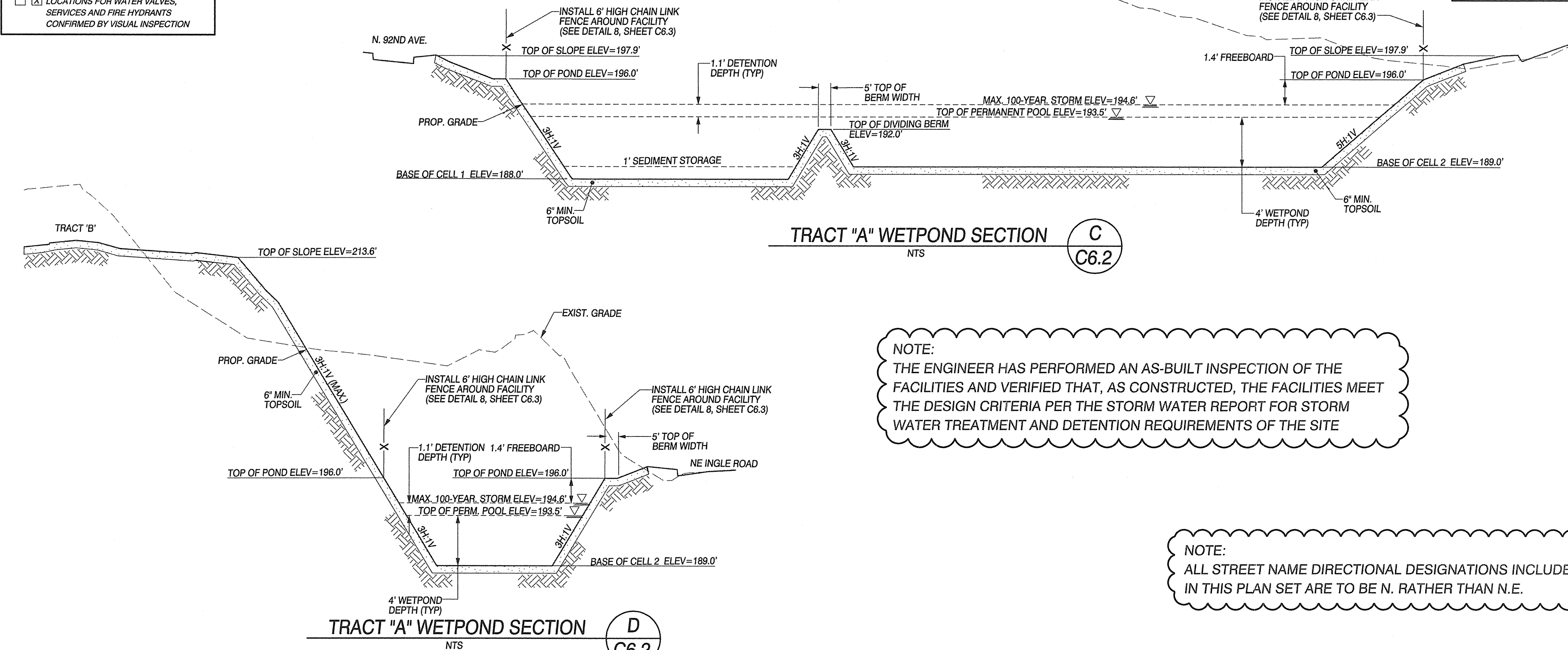
STORMWATER FACILITY STAKING TABLE

POINT	NORTHING	EASTING	ELEV.	POINT	NORTHING	EASTING	ELEV.
PA1	120272.22	2499619.49	188.02	PA47	119919.10	2499749.11	197.86
PA2	120276.55	2499642.04	188.00	PA48	119924.49	2499757.30	197.86
PA3	120263.66	2499661.04	188.00	PA49	119930.83	2499761.60	197.73
PA4	120240.47	2499676.31	188.00	PA50	119938.34	2499760.15	197.41
PA5	120223.84	2499679.14	188.00	PA51	119955.05	2499749.16	196.50
PA6	120198.33	2499676.53	188.00	PA52	119961.65	2499759.18	196.50
PA7	120192.25	2499689.07	192.00	PA53	119944.94	2499770.18	197.41
PA8	120186.83	2499689.95	192.00	PA54	119940.65	2499776.51	197.65
PA9	120172.49	2499684.62	189.00	PA55	119942.09	2499784.03	197.86
PA10	120153.88	2499683.99	189.00	PA56	119945.76	2499789.60	197.86
PA11	120132.91	2499707.92	189.00	PA57	119954.74	2499794.09	197.34
PA12	120098.91	2499746.56	189.00	PA58	119969.54	2499793.15	196.00
PA13	120088.91	2499797.04	189.00	PA59	119967.28	2499757.22	196.00
PA14	120062.89	2499845.65	189.00	PA60	119962.62	2499755.39	196.00
PA15	120077.79	2499843.53	189.00	PA61	119981.18	2499733.32	196.00
PA16	120052.23	2499802.93	189.00	PA62	119977.29	2499730.18	196.00
PA17	120044.77	2499790.95	189.00	PA63	120001.62	2499714.70	196.00
PA18	120031.39	2499742.11	189.00	PA64	119988.85	2499710.54	196.00
PA19	120013.24	2499732.19	189.00	PA65	120098.70	2499650.21	196.00
PA20	120079.45	2499688.21	189.00	PA66	120095.93	2499646.05	196.00
PA21	120145.65	2499644.23	189.00	PA67	120229.59	2499563.26	196.00
PA22	120148.17	2499631.75	192.00	PA68	120228.19	2499558.18	196.00
PA23	120152.34	2499628.98	192.00	PA69	120237.91	2499551.11	196.00
PA24	120168.97	2499632.34	188.00	PA70	120241.58	2499563.73	196.00
PA25	120212.90	2499603.16	188.00	PA71	120250.42	2499579.92	196.00
PA26	120240.76	2499603.73	188.00	PA72	120278.65	2499590.63	196.00
PA27	120249.83	2499603.91	188.00	PA73	120291.59	2499605.25	196.00
PA28	120263.11	2499608.91	188.00	PA74	120295.76	2499602.50	196.00
PA29	120271.54	2499618.45	188.00	PA75	120304.12	2499597.01	197.65
PA30	120292.27	2499606.29	196.00	PA76	120329.41	2499635.42	201.52
PA31	120300.06	2499646.88	196.00	PA77	120354.70	2499673.84	206.58
PA32	120276.86	2499681.09	196.00	PA78	120336.98	2499706.20	210.29
PA33	120253.67	2499696.35	196.00	PA79	120309.85	2499731.20	213.11
PA34	120218.02	2499702.42	196.00	PA80	120286.66	2499746.47	215.03
PA35	120189.13	2499701.73	196.00	PA81	120246.31	2499762.32	215.06
PA36	120162.71	2499713.44	196.00	PA82	120202.99	2499760.51	213.95
PA37	120144.53	2499725.41	196.00	PA83	120186.99	2499763.23	212.46
PA38	120117.75	2499755.86	196.00	PA84	120174.96	2499771.23	211.80
PA39	120109.86	2499795.63	196.00	PA85	120164.74	2499791.93	211.86
PA40	120060.32	2499869.72	196.00	PA86	120155.60	2499848.75	212.34
PA41	119972.16	2499834.77	196.02	PA87	120122.49	2499895.82	213.57
PA42	119970.30	2499805.13	196.00	PA88	120072.11	2499923.63	213.12
PA43	119955.50	2499806.06	197.03	PA89	120014.64	2499926.56	209.51
PA44	119944.29	2499803.79	197.91	PA90	119972.77	2499862.97	188.78
PA45	119935.74	2499796.20	197.92	PA91	119930.91	2499799.98	197.97
PA46	119909.11	2499755.75	197.92				

EXAMPLE WETPOND DESIGN DEMONSTRATING THAT THE GREEN MOUNTAIN PRD B1 POD WILL BE ABLE TO CONSTRUCT A SIMILAR FACILITY WITHIN 1-ACRE OF OFF-SITE PROPERTY



- A N/A
- ☒ GRADING
  - ☒ STORM SEWER
  - ☒ SANITARY SEWER
  - ☒ WATER
- ☒ LOCATIONS FOR WATER VALVES, SERVICES AND FIRE HYDRANTS CONFIRMED BY VISUAL INSPECTION



NOTE: THE ENGINEER HAS PERFORMED AN AS-BUILT INSPECTION OF THE FACILITIES AND VERIFIED THAT, AS CONSTRUCTED, THE FACILITIES MEET THE DESIGN CRITERIA PER THE STORM WATER REPORT FOR STORM WATER TREATMENT AND DETENTION REQUIREMENTS OF THE SITE

NOTE: ALL STREET NAME DIRECTIONAL DESIGNATIONS INCLUDED IN THIS PLAN SET ARE TO BE N. RATHER THAN N.E.

STORM SEWER NOTES

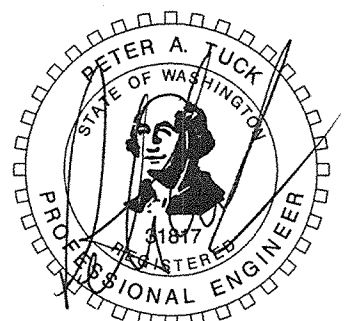
- AA10 SEE SHEET C4.1
- AA11 STA 64+79.54 (42.15' LT-NE INGLE ROAD) INSTALL: (1) 18" - 45° WYE IE=183.30
- AA12 STA 64+63.17 (54.87' LT-NE INGLE ROAD) INSTALL 12" STORM SEWER FLOW CONTROL MH. (SEE DETAIL 3, SHEET C6.3)
- AA13 STA 64+58.45 (73.21' LT-NE INGLE ROAD) INSTALL 24" PIPE OUTLET WITH DEBRIS BARRIER. IE=190.00 (SEE DETAIL 6, SHEET C6.3)
- AA14 STA 64+77.71 (62.64' LT-NE INGLE ROAD) INSTALL EMERGENCY OVERFLOW DITCH INLET RIM=195.00 IE=193.39 (SEE DETAIL SD6, SHEET C9.8)
- BB1 STA 62+38.45 (67.00' LT-NE INGLE RD) INSTALL 10" OUTFALL W/ HAND-PLACED RIP RAP. (SEE DETAIL 5, SHEET C6.3)
- CC1 STA 2+02.92 (70.43' RT-NE 92ND AVE.) INSTALL 12" OUTFALL W/ HAND-PLACED RIP RAP. (SEE DETAIL 5, SHEET C6.3)
- CC1.5 STA 1+92.16 (39.50' RT-NE 92ND AVE.) INSTALL STD. STORM SEWER MH.
- DD1 STA 2+50.61 (78.71' RT-NE 92ND AVE.) INSTALL 18" OUTFALL W/ HAND-PLACED RIP RAP. (SEE DETAIL 5, SHEET C6.3)
- DD1.5 STA 2+66.44 (39.50' RT-NE 92ND AVE.) INSTALL STD. STORM SEWER MH.
- KK1 STA 1+74.86 (125.33' LT-NE 92ND AVE.) INSTALL 12" OUTFALL W/ HAND-PLACED RIP RAP. (SEE DETAIL 5, SHEET C6.3)

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M:\Microstation V8\pen tables\OCE table setup\OCE stormpond.tbl

ASBUILTS

TRACT "A" STORMWATER FACILITY PLAN AND SECTIONS FOR:  
**GREEN MOUNTAIN MIXED USE P.R.D.**  
**PHASES 1A & 1B**

**OLSON** LAND SURVEYORS  
ENGINEERS  
ENGINEERING INC. 222 E. EVERGREEN BLVD., VANCOUVER, WA 98660  
509.585.4885  
509.585.9986



CHANGES / REVISIONS

DESCRIPTION:	DATE:
STREET NAMES	6/17/16
STORM SEWER DEPTH	7/22/16
FENCE HEIGHT	8/16/16

DESIGNED: RWP

DRAWN: RWP

CHECKED: PAT

DATE: MARCH 2016

SCALE: H: 1"=30'  
V:

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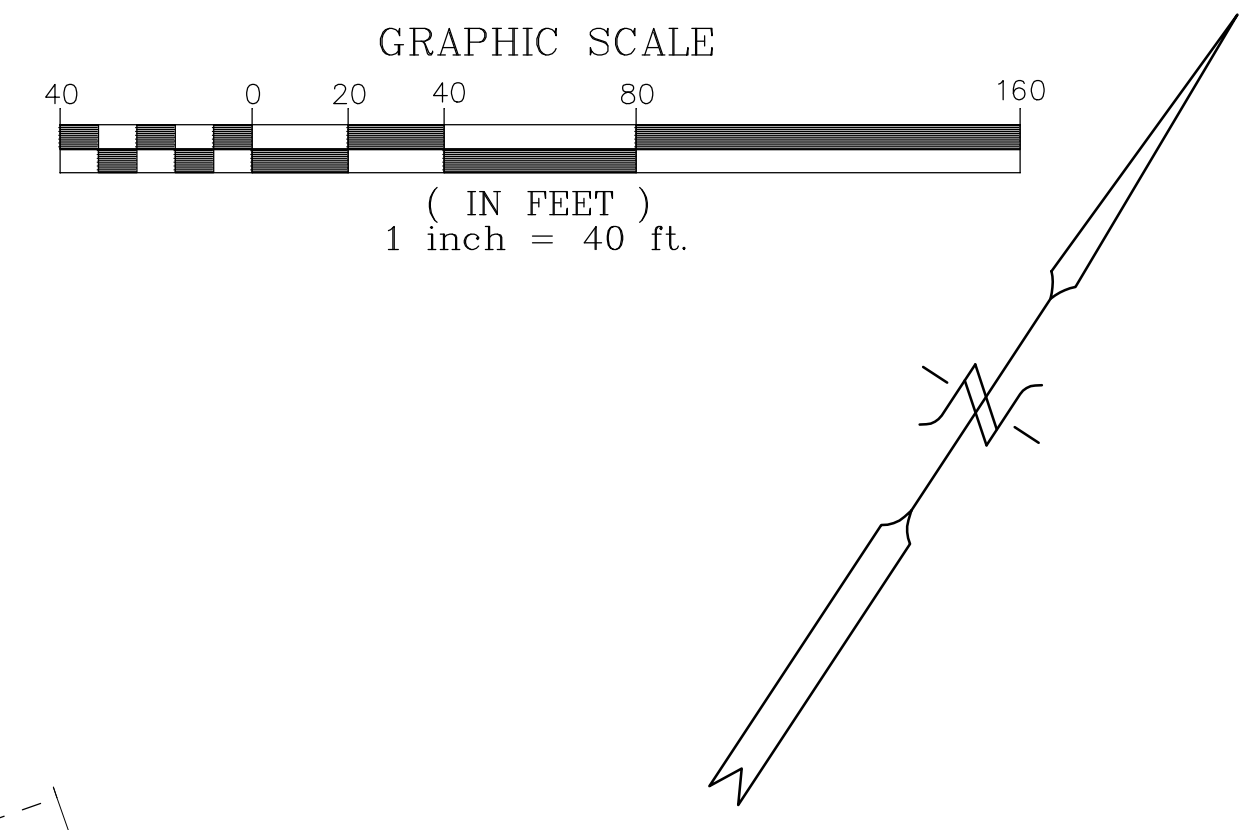
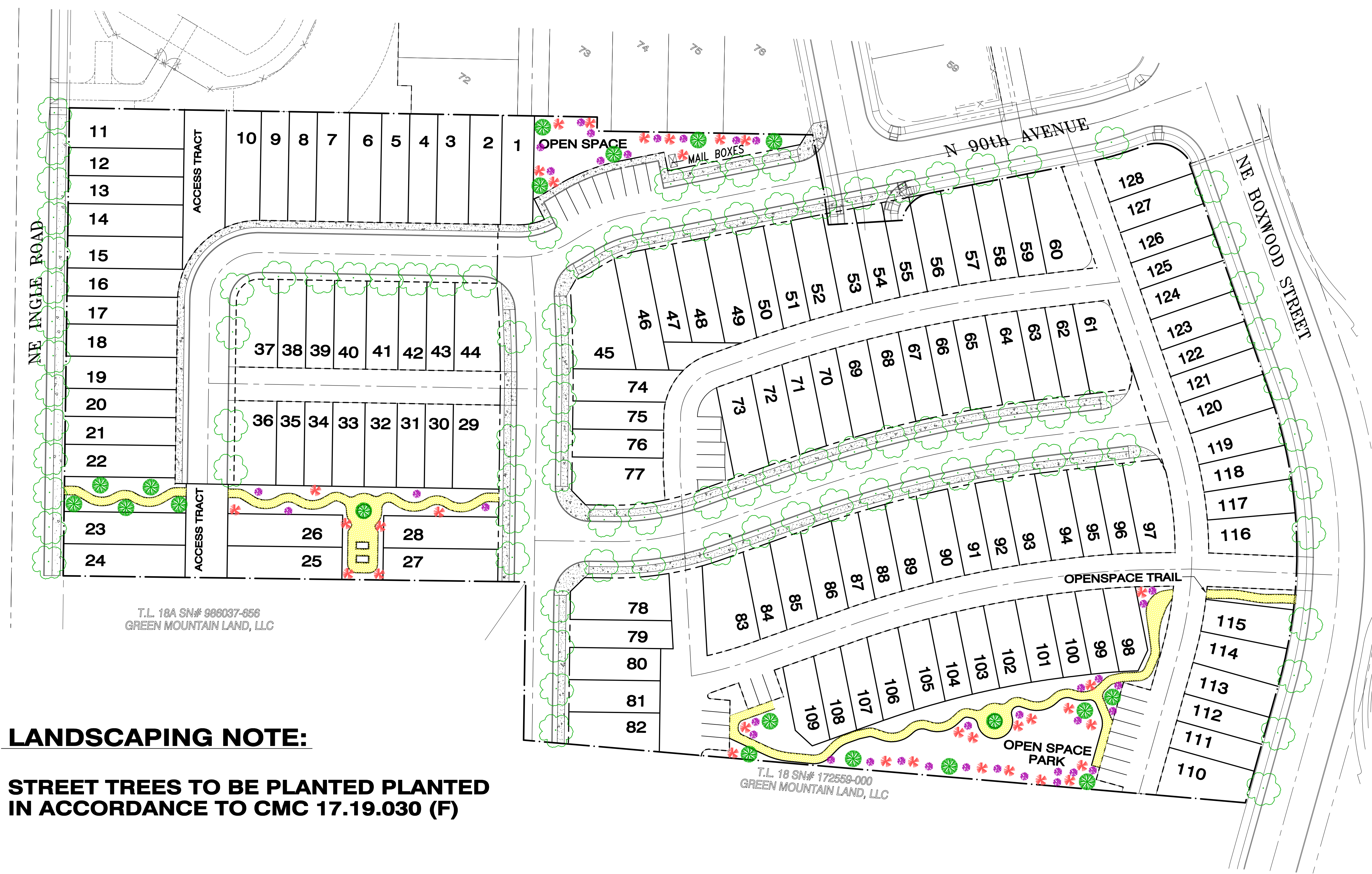
GREEN MOUNTAIN MIXED USE P.R.D.  
PHASES 1A & 1B

8938.01.02

SHEET

C6.2





### LANDSCAPING NOTE:

## STREET TREES TO BE PLANTED PLANTED IN ACCORDANCE TO CMC 17.19.030 (F)

## OPENSOURCE LANDSCAPING

**EXACT SIZE, LOCATION, AND SPECIES OF PROPOSED PLANTINGS SHALL BE FINALIZED DURING FINAL CONSTRUCTION PLAN REVIEW, A FINAL LANDSCAPE PLAN WILL BE SUBMITTED FOR REVIEW AND APPROVAL**

**PREPARED BY:**  
STERLING DESIGN, INC.  
2208 E. EVERGREEN BLVD  
VANCOUVER, WA 98661  
PH. (360) 759-1794  
FAX (360) 759-4983  
Mail@SterlingDesign.biz

STERLING  
DESIGN, INC.

Sheet Description:

# PRELIMINARY LANDSCAPE PLAN

Project: GREEN MOUNTAIN  
B1 POD



Scale:	AS SHOWN
Project Number:	791
Design/ Drawn	JGS/BC
Drawing Date:	OCT. 2018
Sheet	8 of 8 Sheet(s)