

PROJECT DESCRIPTION:

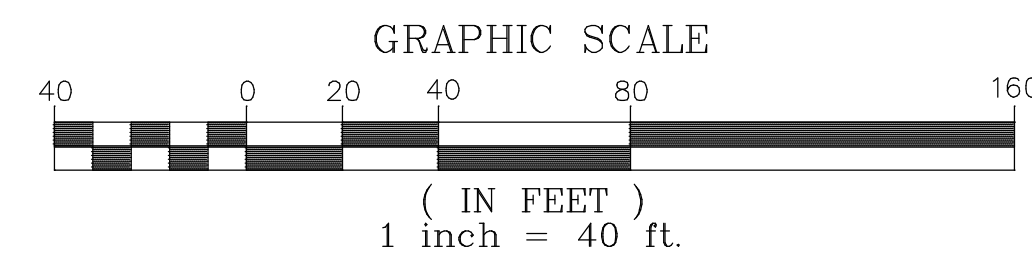
APPROVAL TO SUBDIVIDE B1 POD OF THE GREEN MOUNTAIN PRD DEVELOPMENT INTO A TOTAL OF 111 RESIDENTIAL LOT(S) FOR A COMBINATION OF ATTACHED AND DETACHED SINGLE FAMILY HOMES

DESIGN & DEVELOPMENT TEAM

PROPERTY OWNER:
AE GREEN MOUNTAIN LLC
2551 W 1st STREET
WASHOUGAL WA, 98671

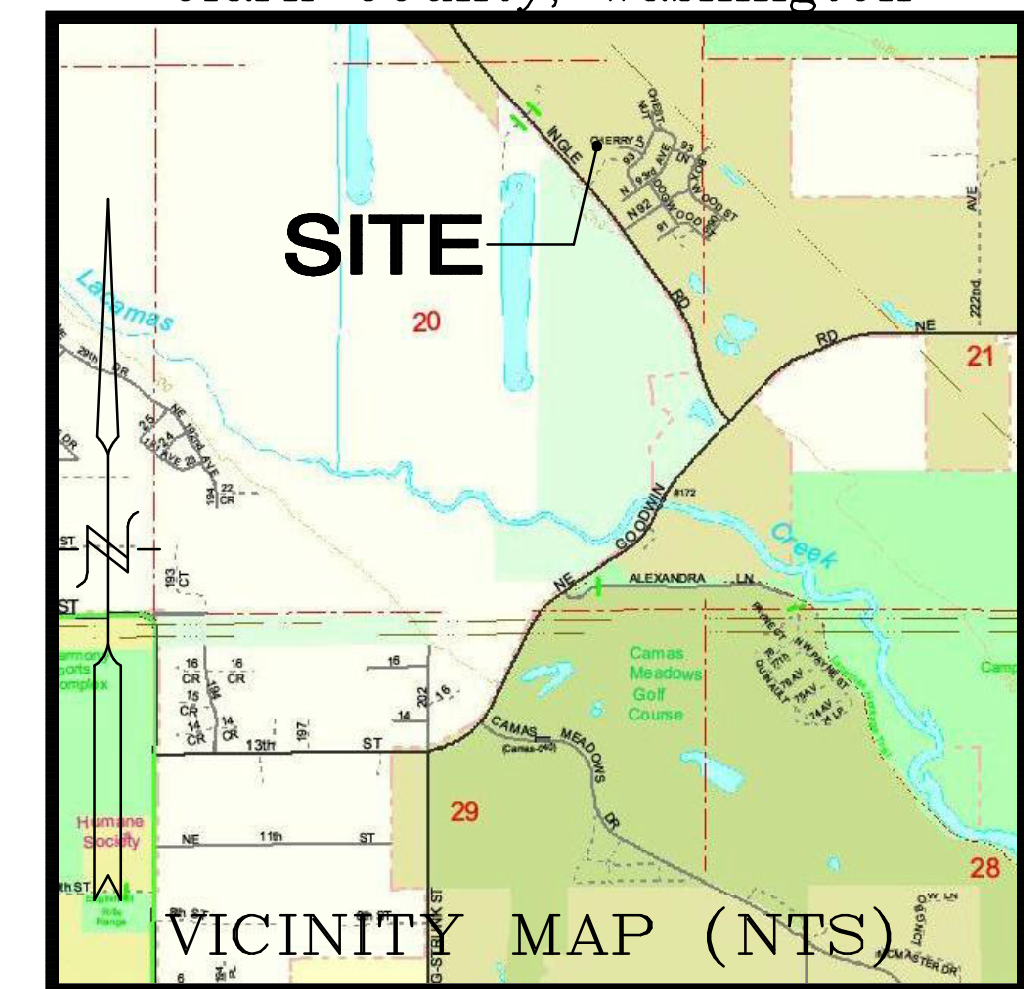
CIVIL ENGINEER/
LAND USE PLANNING:
STERLING DESIGN, INC.
JOEL STIRLING, PE
2208 E. EVERGREEN BLVD.
VANCOUVER, WA 98661
(360) 759-1794
FAX: (360) 759-4983
EMAIL: Joel@SterlingDesign.biz

SURVEYOR:
OLSEN ENGINEERING
222 E. EVERGREEN BLVD.
VANCOUVER WA, 98660
PH: (360) 695-1385
FAX: (360) 695-8117
EMAIL: SURVEYING@OLSENENGR.COM



GREEN MOUNTAIN PRD

A Preliminary Plat within a portion of the NE 1/4 of Sec. 20, T2N., R3E., W.M. Clark County, Washington



SHEET INDEX

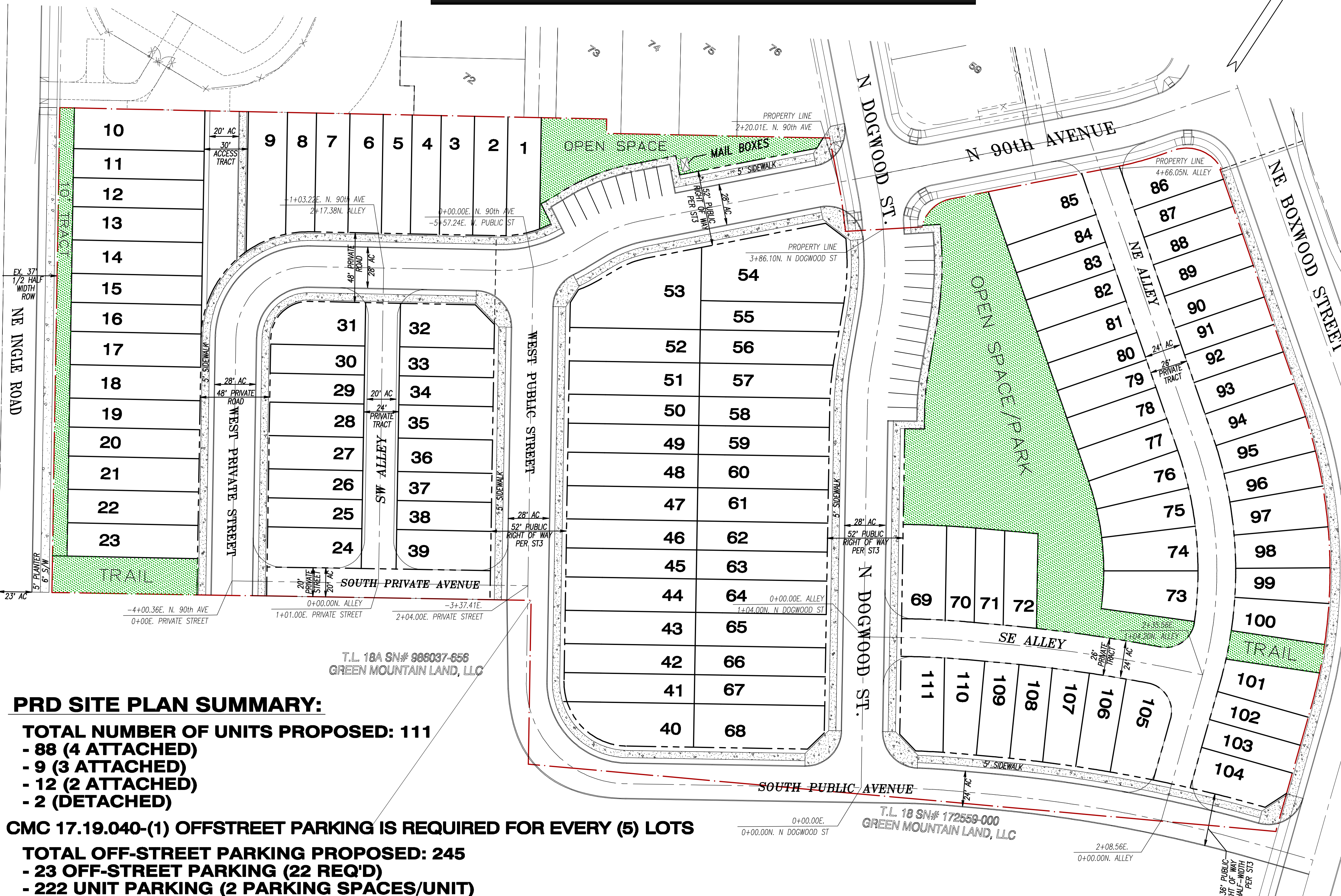
PRD SITE PLAN COVER SHEET	1
APPROVED GREEN MOUNTAIN PRD DEVELOPMENT STD'S & PHASING PLAN	2
EXISTING CONDITIONS PLAN	3
PRELIMINARY DEVELOPMENT PLAN B1-POD SOUTH	4
PRELIMINARY GRADING PLAN	5
PRELIMINARY DRAINAGE PLAN	6
PRELIMINARY UTILITY PLAN	7
PRELIMINARY LANDSCAPE PLAN	8

LEGEND

	CURB & SIDEWALK
	PROPOSED EASEMENT
	PROPOSED LOT LINE
	EXISTING RIGHT-OF-WAY
	PROPOSED SANITARY SEWER LINE
	PROPOSED STORM SEWER LINE
	PROPOSED PERFORATED STORM LINE
	PROPOSED ROADWAY CENTERLINE
	EXISTING ELECTRIC
	EXISTING TELEPHONE LOCATE PAINT
	EXISTING WATER LOCATE PAINT
	EXISTING EDGE OF PAVEMENT/GRAVEL
	EXISTING SANITARY SEWER LINE
	EXISTING STORM LINE
	EXISTING FENCE
	EXISTING GROUND CONTOUR
	PROPOSED GROUND CONTOUR (1')
	DIRECTION OF STORMWATER FLOW
	EROSION CONTROL SILT FENCE
	INLET PROTECTION
	PROPOSED SANITARY CLEANOUT
	PROPOSED FIRE HYDRANT
	STD 1" WATER METER SERVICE
	PROPOSED MANHOLE
	PROPOSED DRYWELL
	PROPOSED CATCH BASIN
	PROPOSED COMBINATION CURB INLET
	PROPOSED STORMFILTER
	EXISTING POWER POLE WITH NUMBER AND DIRECTION OF OVERHEAD LINES
	EXISTING GUY ANCHOR
	EXISTING TELEPHONE PEDESTAL
	EXISTING STORM DRAIN MANHOLE
	EXISTING CATCH BASIN
	EXISTING ADA RAMP
	EXISTING ELECTRICAL SERVICE BOX
	EXISTING SANITARY MANHOLE
	EXISTING SANITARY CLEANOUT
	EXISTING FIRE HYDRANT
	EXISTING WATER SERVICE
	EXISTING WATER VALVE
	PROPOSED STREET TREES 30' O.C.
	PROPOSED STREET LIGHT 70' SPACING

SITE DATA:

- TAX LOT(S): 22A, 22B & 22
- SERIAL NUMBER(S): 986037-307 & 173178-000
- SITE ADDRESS: NOT SITUATED
- AREA: 7.89 ACRES
- ZONING: MF-18
- COMPREHENSIVE PLAN: MFL



PRD SITE PLAN SUMMARY:

TOTAL NUMBER OF UNITS PROPOSED: 111

- 88 (4 ATTACHED)
- 9 (3 ATTACHED)
- 12 (2 ATTACHED)
- 2 (DETACHED)

CMC 17.19.040-(1) OFFSTREET PARKING IS REQUIRED FOR EVERY (5) LOTS

TOTAL OFF-STREET PARKING PROPOSED: 245

- 23 OFF-STREET PARKING (22 REQ'D)
- 222 UNIT PARKING (2 PARKING SPACES/UNIT)

* OPENSACE PROPOSED (ON-SITE): 0.81 ACRES

GREEN MOUNTAIN MASTER PRD NOTE:

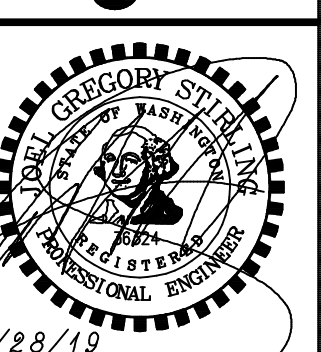
- *REFER TO THE APPROVED GREEN MOUNTAIN DEVELOPMENT STANDARDS & PHASING PLAN FOR:
 - OPEN SPACE DEDICATION THAT HAS BEEN COMPLETED AND APPROVED WITH GREEN MOUNTAIN PRD DEVELOPMENT STANDARDS & PHASING PLAN.
 - DENSITY AND SETBACKS REQUIREMENTS FOR THIS PROJECT HAVE BEEN OUTLINED WITH THE GREEN MOUNTAIN PRD DEVELOPMENT STANDARDS & PHASING PLAN AS DEPICTED ON SHEET 2 OF 8.

PREPARED BY:
STERLING DESIGN, INC.
2208 E. EVERGREEN BLVD
VANCOUVER, WA 98661
PH: (360) 759-1794
FAX: (360) 759-4983
Mail@SterlingDesign.biz

STERLING
DESIGN, INC.

PRD SITE PLAN
COVER SHEET

Project:
GREEN MOUNTAIN
B1 POD



Scale: AS SHOWN

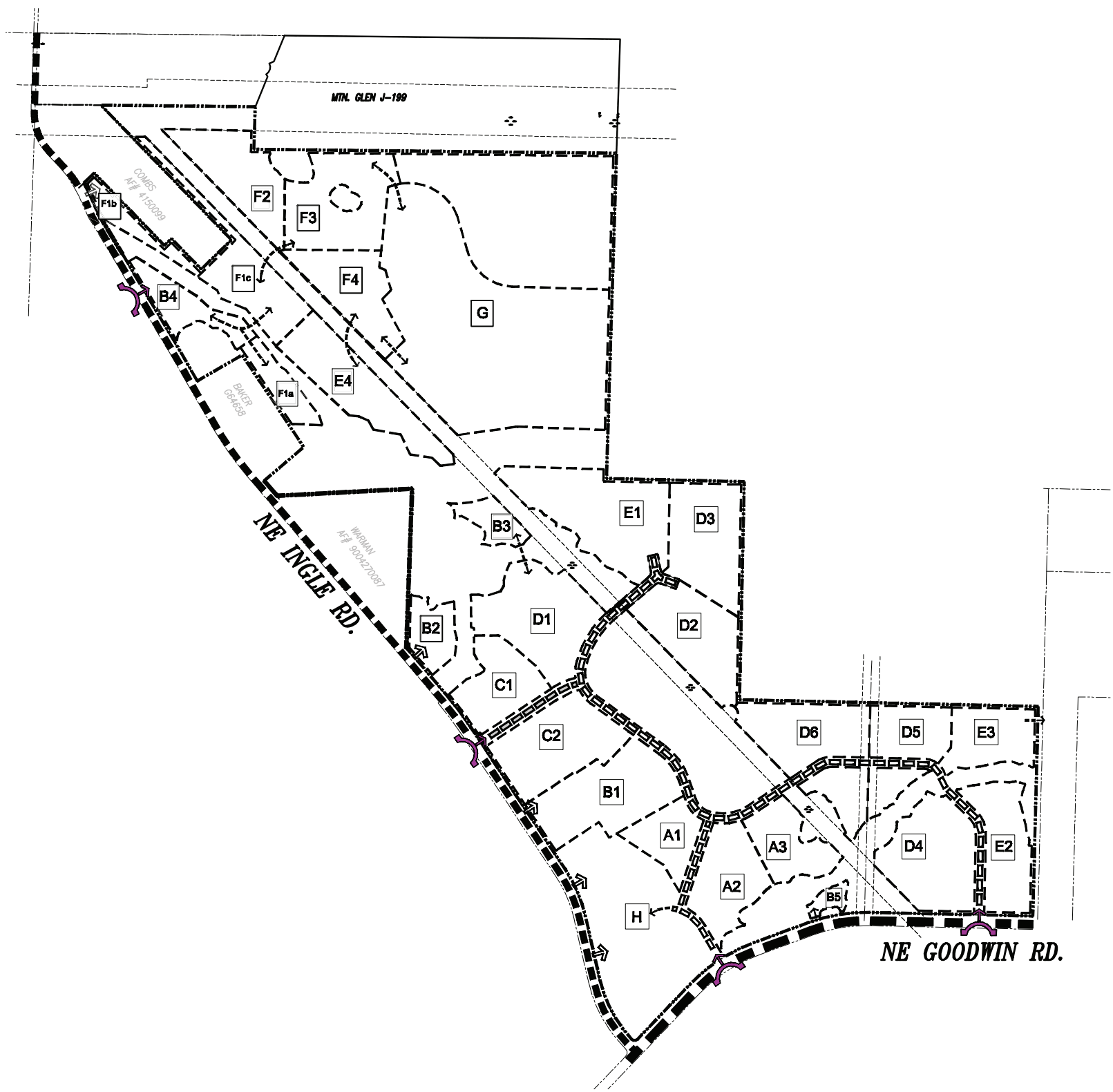
Project Number: 791

Design/Drawn: JGS/DJF

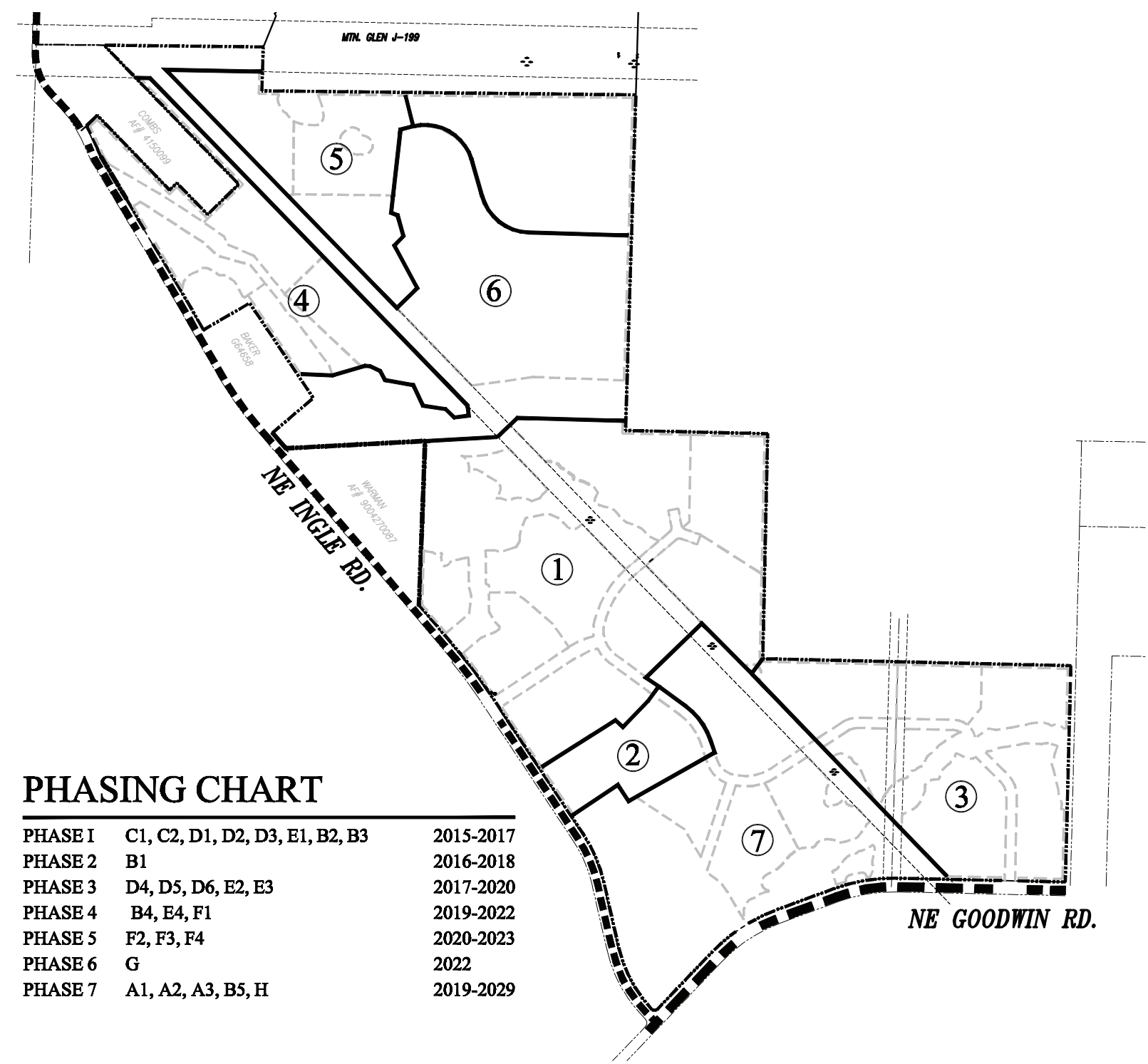
Drawing Date: MAR. 2019

Sheet 1 of 8 Sheet(s)

GREEN MOUNTAIN
DEVELOPMENT STANDARDS & PHASING PLAN



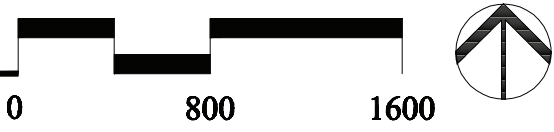
PLANNING UNITS



PHASING CHART

PHASE 1	C1, C2, D1, D2, D3, E1, B2, B3	2015-2017
PHASE 2	B1	2016-2018
PHASE 3	D4, D5, D6, E2, E3	2017-2020
PHASE 4	B4, E4, F1	2019-2022
PHASE 5	F2, F3, F4	2020-2023
PHASE 6	G	2022
PHASE 7	A1, A2, A3, B5, H	2019-2029

PHASING PLAN



PLANNING STANDARDS

URBAN VILLAGE AREA

URBAN VILLAGE AREA - Mixed Use, Community Commercial, A and B PODs	
Urban Village Area	Minimum of 8.8 acres with ground floor Employment/Commercial Use (as provided for in 18.07.030 Table 1). Allow horizontal and vertical Mixed Use PODs H, A1, A2, A3, B5 and 100 Units at the Village Center

DENSITY & DIMENSIONS

Green Mountain PRD PODs A-G and corresponding Camas Zones

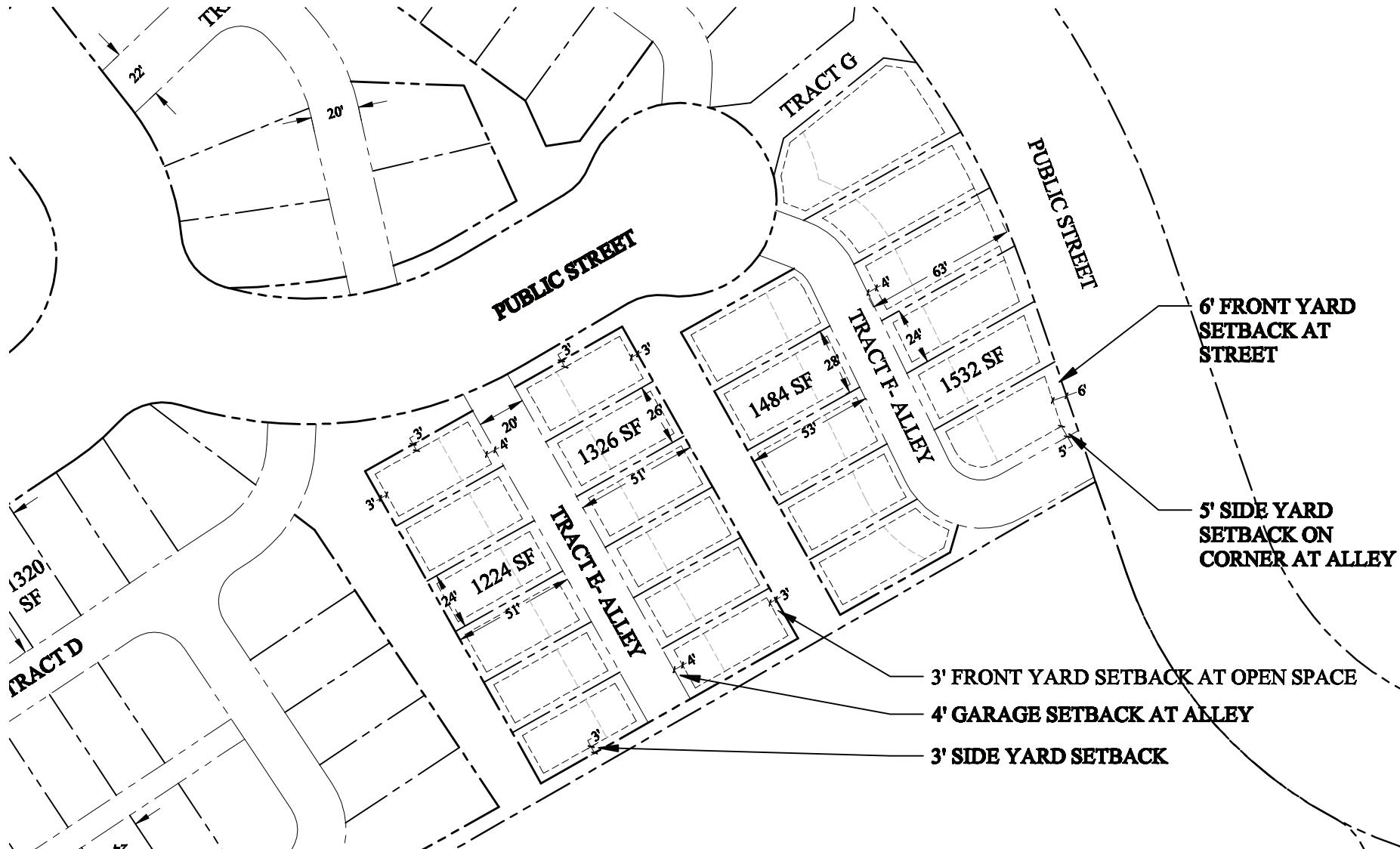
	A POD	B POD	C POD
DENSITY	MF-24	MF-18	MF-10
Max. du./gross ac.	24	18	10
Min. du./gross ac.	6	6	6
STANDARD LOTS			
Min. lot SF	1,000 [a]	1,000[a]	3,000 [a]
Min. lot width	20	20	30
Min. lot depth	50	50	70
Max. Floor Area per du.	No Max	No Max	No Max
SETBACKS			
Min. front/at garage	None	6/3@OS/18	10/18
Min. side	3 [1]	3 [1] [d]	3 [1] [d]
Min. side Flanking Street	None [e]	10 [d]	10 [d]
Min. rear (garage @alley)	None [e]	10 [b][c]	10[b][c]
LOT COVERAGE, Max.	None [c]	None	55%
BUILDING HEIGHT, Max.	60	45 [2]	35 [2]

- a. Single Family Detached homes to be permitted. For SFD in A POD apply B Pod setbacks.
- b. 10 foot rear yard for front access garage.
- c. Minimum rear yard for alley accessed garage is either 4' or 18'.
- d. Minimum side yard at alley is 5'.
- e. Franchise utilities to be located in front or side yard easements abutting right of way.
1. The non-attached side of a dwelling unit shall be three feet, otherwise a zero-lot line is assumed.
2. Maximum building height: three stories and a basement but not to exceed maximum building height.

Density Transfer Lots	D POD	E POD	F POD	G POD
DENSITY	R-5	R-6	R-7.5	R-20
Max. du./gross ac.	8.7	7.2	5.8	2.1
DENSITY TRANSFER LOTS				
Min. lot size (sq. ft.)	3,500 [a]	4,200	5250	14,000
Max. lot size (sq. ft.)	7,600	9,000	14,999	60,000
Min. lot width	40	50	60	90
Min. lot depth	80	80	80	100
LOT COVERAGE, Max.	45%	40%	40%	30%
BUILDING HEIGHT, MAX. (ft.)	35	35	35	35
SETBACKS based on lot size				
Min. front/at garage	Up to 4,999 sq. ft.	5,000 to 7,499 sq. ft.	7,500 to 14,999 sq. ft.	15,000 to 60,000 sq. ft.
Min. side and corner lot rear yard (ft.)	10/18	15/18	20	30
Min. side yard flanking a street	4	5	5	15
Min. rear (garage @alley)	10[d]	15[d]	15	30
Min. rear (garage @alley)	15[b][c]	20[b][c]	20[b][c]	30
Min. lot frontage on a cul-de-sac or curve (ft.)	25	30	30	40

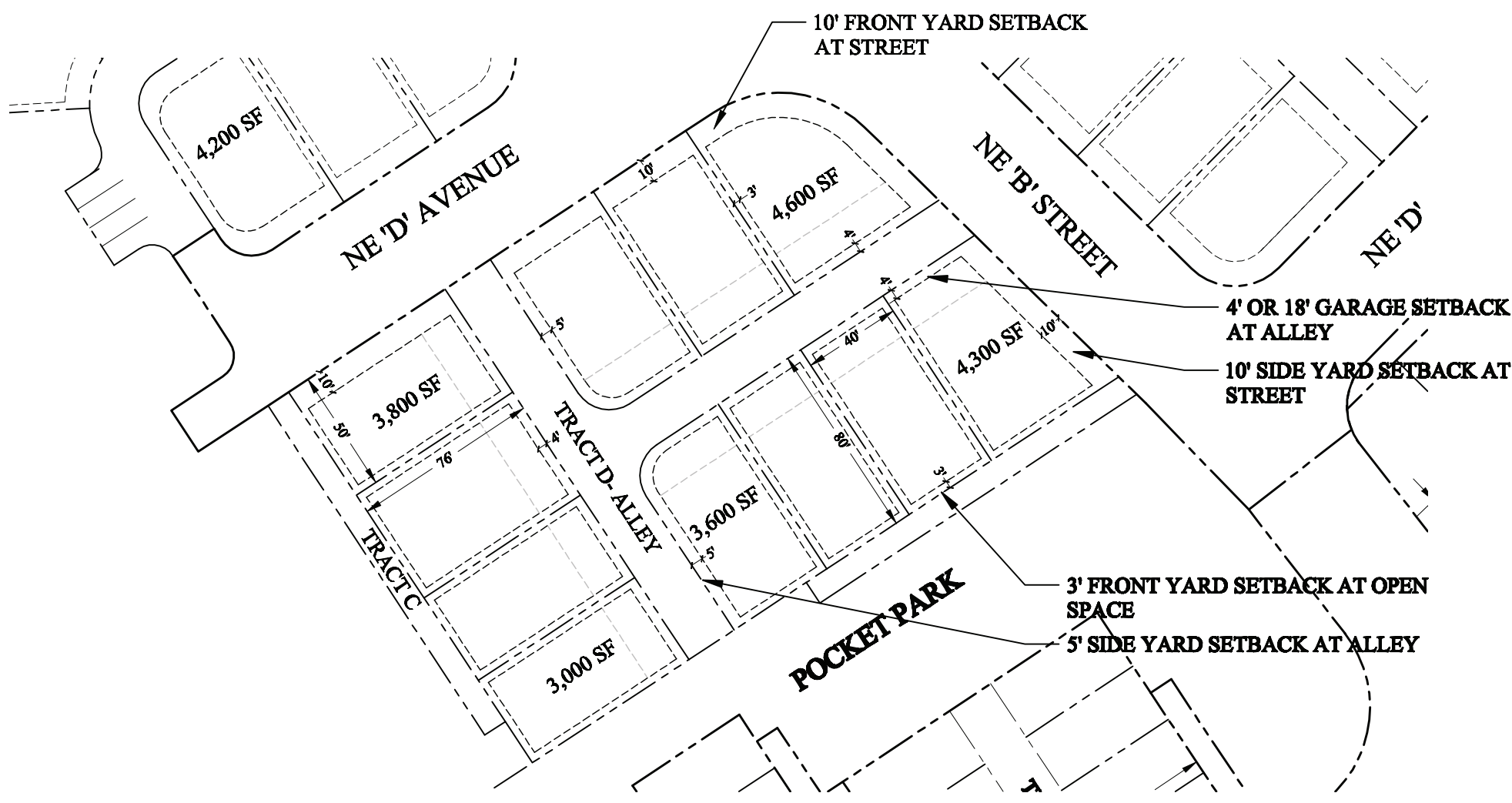
- a. Single Family detached homes to be permitted.
- b. 10 foot rear yard for front access garage.
- c. Minimum rear yard for alley accessed garage is either 4' or 18'.
- d. Minimum side yard at alley is 5'.
- NOTE: POD lot sizes are not subject to lot size averaging.

CAMAS, WASHINGTON
GREEN MOUNTAIN LAND, LLC.



POD B- TYPICAL LOT & DEVELOPMENT PATTERNS

LOT DIMENSIONS & BUILDING ENVELOPES



POD C- TYPICAL LOT & DEVELOPMENT PATTERNS

LOT DIMENSIONS & BUILDING ENVELOPES



Land Planning
Landscape
Architecture

P.O. BOX 2392
LAKE OSWEGO, OR
97035
503-294-0222

SCALE: AS NOTED

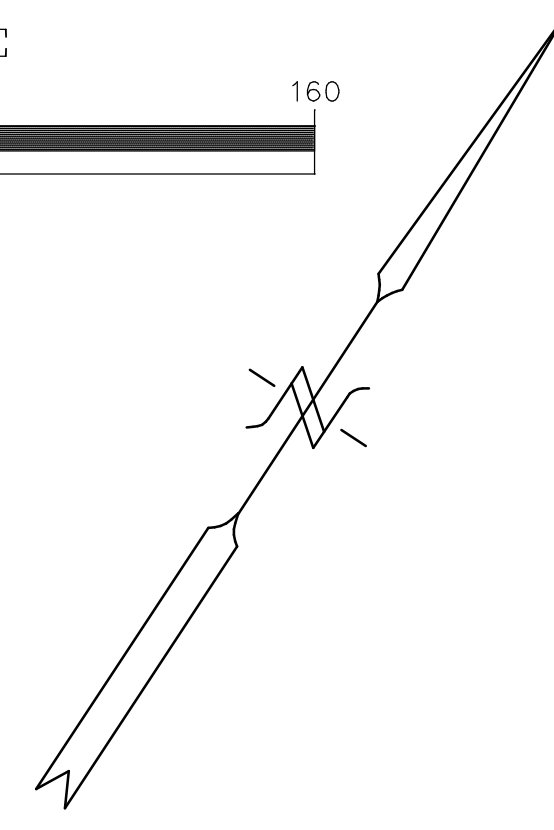
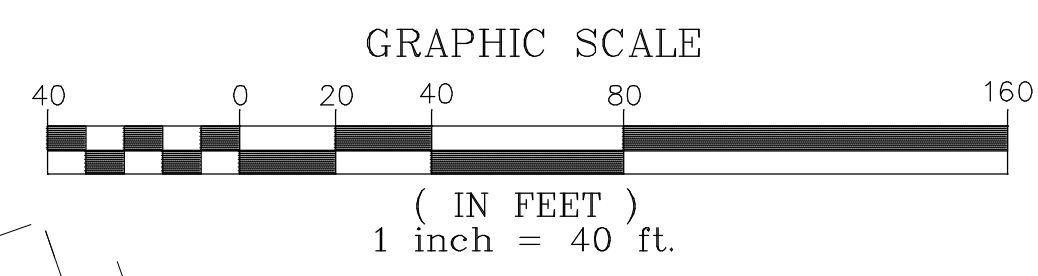
DESIGNED BY: WPH
DRAWN BY: SH
CHECKED BY: WPH

DATE: 01/29/15
REVISED:



WILLIAM F. HORNING
CERTIFICATE NO. 382

GREEN MOUNTAIN
DEVELOPMENT STANDARDS & PHASING PLAN
GREEN MOUNTAIN LAND, LLC.
CAMAS, WASHINGTON



SITE DATA:

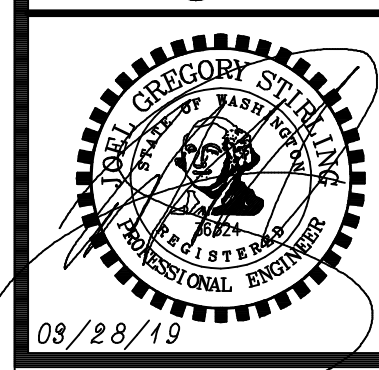
- TAX LOT(S): 22A, 22B & 22
- SERIAL NUMBER(S): 986037-307 & 173178-000
- SITE ADDRESS: NOT SITUATED
- AREA: 7.89 ACRES
- ZONING: MF-18
- COMPREHENSIVE PLAN: MFL

PREPARED BY:
STERLING DESIGN, INC.
2208 E. EVERGREEN BLVD
VANCOUVER, WA 98661
PH. (360) 759-1794
FAX (360) 759-4993
Mail@SterlingDesign.biz

**STERLING
DESIGN, INC.**

Sheet Description:
**EXISTING CONDITIONS
PLAN**

Project:
**GREEN MOUNTAIN
B1 POD**

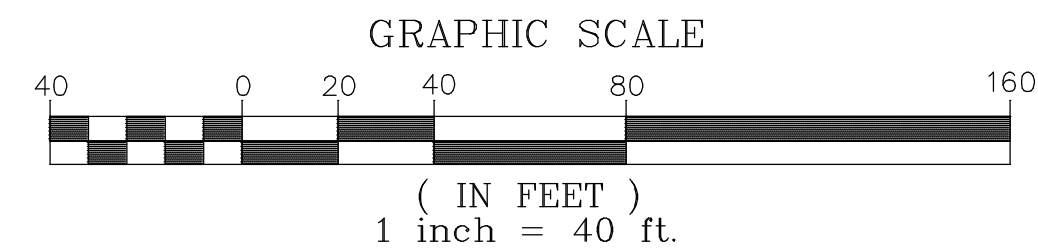


Scale: **AS SHOWN**
Project Number: **791**
Design/Drawn: **JGS/DJF**
Drawing Date: **MAR. 2019**
Sheet **3** of **8** Sheet(s)

GREEN MOUNTAIN MASTER PRD NOTE:

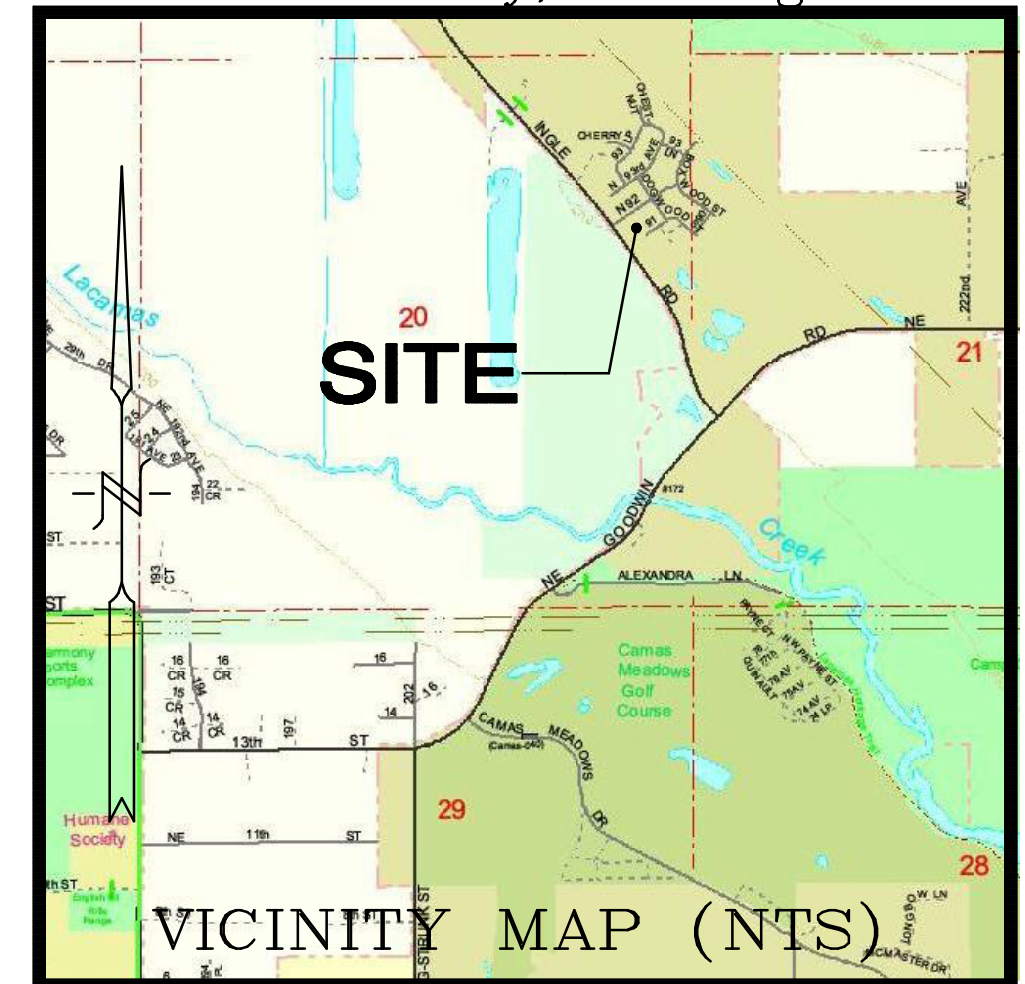
*REFER TO THE APPROVED GREEN MOUNTAIN DEVELOPMENT STANDARDS & PHASING PLAN FOR:

- OPEN SPACE DEDICATION THAT HAS BEEN COMPLETED AND APPROVED WITH GREEN MOUNTAIN PRD DEVELOPMENT STANDARDS & PHASING PLAN.
- DENSITY AND SETBACKS REQUIREMENTS FOR THIS PROJECT HAVE BEEN OUTLINED WITH THE GREEN MOUNTAIN PRD DEVELOPMENT STANDARDS & PHASING PLAN



GREEN MOUNTAIN PRD

A Preliminary Plat within
a portion of the NE 1/4 of
Sec. 20, T2N., R3E., W.M.
Clark County, Washington



SITE DATA:

- TAX LOT(S): 22A, 22B & 22
- SERIAL NUMBER(S): 986037-307 & 173178-000
- SITE ADDRESS: NOT SITUATED
- AREA: 7.89 ACRES
- ZONING: MF-18
- COMPREHENSIVE PLAN: MFL

CENTERLINE CURVE DATA

- R=50.00ft
CH=70.86ft
A=78.75ft
T=50.21ft
EX=20.86ft
Delta=90 14'16"
- R=100.00ft
CH=65.67ft
A=58.41ft
T=28.98ft
EX=4.11ft
Delta=32 19'17"
- R=100.00ft
CH=34.95ft
A=35.13ft
T=17.75ft
EX=1.56ft
Delta=20 07'40"
- R=200.00ft
CH=45.90ft
A=46.00ft
T=23.10ft
EX=1.33ft
Delta=13 10'42"
- R=200.00ft
CH=31.04ft
A=31.07ft
T=15.57ft
EX=0.60ft
Delta=8 54'06"
- R=488.00ft
CH=35.78ft
A=35.79ft
T=17.90ft
EX=0.33ft
Delta=4 12'07"
- R=988.00ft
CH=183.76ft
A=184.02ft
T=92.28ft
EX=4.30ft
Delta=10 40'19"
- R=70.00ft
CH=98.99ft
A=109.96ft
T=70.00ft
EX=28.99ft
Delta=90 00'00"

*APPROVED w/PRD MASTER PLAN

Green Mountain PRD PODs A-G and corresponding Camas Zones

	A POD	B POD*	C POD
DENSITY	MF-24	MF-18	MF-10
Max. du./gross ac	24	18	10
Min. du./gross ac	6	6	5
STANDARD LOTS			
Min. lot SF	1,000 [a]	1,000[a]	3,000 [a]
Min. lot width	20	20	30
Min. lot depth	30	50	70
Max. Floor Area per du	No Max	No Max	No Max
SETBACKS			
Min. front/at garage	None	6/3@OS/18	10/18
Min. side	3 [1]	3 [1] [d]	3 [1] [d]
Min. side Flanking Street	None [e]	10 [d]	10 [d]
Min. rear [garage @alley]	None [e]	10 [b][c]	10 [b][c]
LOT COVERAGE, Max.	None [c]	None	55%
BUILDING HEIGHT, Max.	30	45 [2]	35 [3]

a. Single Family Detached homes to be permitted. For SFD in A POD apply B Pod setbacks.

b. 10 foot rear yard for front access garage.

c. Minimum rear yard for alley accessed garage is either 4' or 18'.

d. Minimum side yard at alley is 5'.

e. Franchise utilities to be located in front or side yard easements abutting right of way.

1. The non-attached side of a dwelling unit shall be three feet, otherwise a zero-lot line is assumed.

2. Maximum building height: three stories and a basement but not to exceed maximum building height.

T.L. 18A SN# 986037-656
GREEN MOUNTAIN LAND, LLC

PROPOSED PRELIMINARY PLAT SUMMARY:

Total Lots: 111

Total Site Area:

Minimum Lot Area:

Maximum Lot Area:

Average Lot Area:

Public Right of Way Dedication:

Privated Road Dedication:

Alleys:

Access Tract:

* Openspace:

* PROPOSED SITE DENSITY: 14.1 LOTS/ACRE

35,368, 840 sf (7.89 Acres)
1,300 sf.
4,622 sf
1,770 sf
61,841 sf
21,616 sf
21,145 sf
3,439 sf
35,390 sf

PREPARED BY:
STERLING DESIGN, INC.
2208 E. EVERGREEN BLVD
VANCOUVER, WA 98661
PH (360) 759-1794
FAX (360) 759-4993
Mail@SterlingDesign.biz

STERLING
DESIGN, INC.

Sheet Description:
PROPOSED DEVELOPMENT
PLAN

Project:
GREEN MOUNTAIN
B1 POD



08/28/19

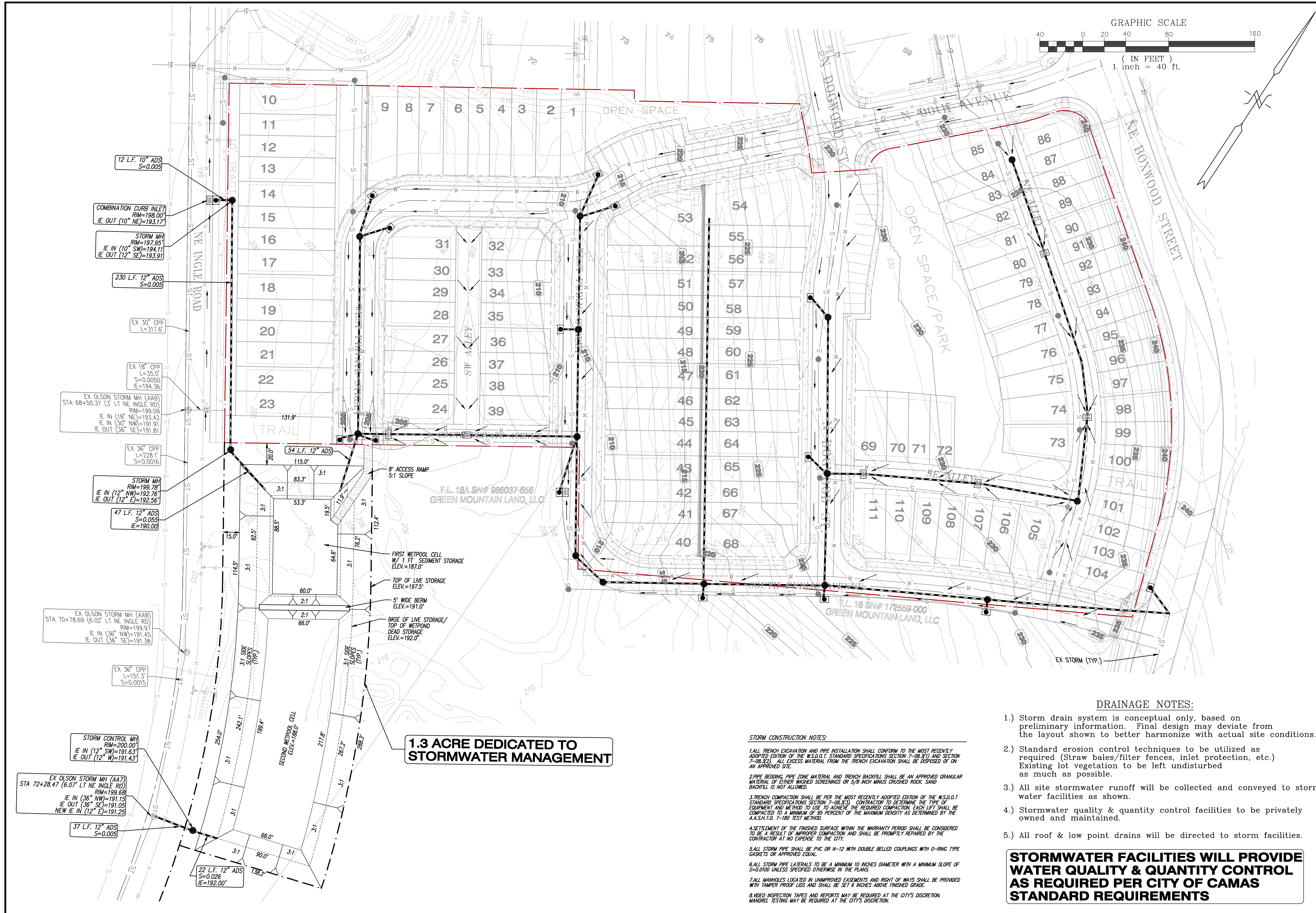
Scale: AS SHOWN

Project Number: 791

Design/Drawn: JGS/DJF

Drawing Date: MAR. 2019

Sheet 4 of 8 Sheet(s)



DRAINAGE NOTES:

- 1.) Storm drain system is conceptual only, based on preliminary information. Final design may deviate from the layout shown to better harmonize with actual site conditions.
- 2.) Standard erosion control techniques to be utilized as required (Straw bales/filter fences, inlet protection, etc.) Existing lot vegetation to be left undisturbed as much as possible.
- 3.) All site stormwater runoff will be collected and conveyed to storm-water facilities as shown.
- 4.) Stormwater quality & quantity control facilities to be privately owned and maintained.
- 5.) All roof & low point drains will be directed to storm facilities.

STORMWATER FACILITIES WILL PROVIDE WATER QUALITY & QUANTITY CONTROL AS REQUIRED PER CITY OF CAMAS STANDARD REQUIREMENTS

STORM CONSTRUCTION NOTES:

1. ALL TRENCH EXCAVATION AND PIPE INSTALLATION SHALL CONFORM TO THE MOST RECENTLY ADOPTED EDITION OF THE W.S.D.O.T. STANDARD SPECIFICATIONS SECTION 7-08.3(1) AND SECTION 7-08.3(2). ALL EXCESS MATERIAL FROM THE TRENCH EXCAVATION SHALL BE DISPOSED OF ON AN APPROVED SITE.
2. PIPE BEDDING, PIPE ZONE MATERIAL AND TRENCH BACKFILL SHALL BE AN APPROVED GRANULAR MATERIAL OF EITHER WASHED SCREENINGS OR 3/8 INCH MINUS CRUSHED ROCK. SAND BACKFILL IS NOT ALLOWED.
3. TRENCH COMPACTION SHALL BE PER THE MOST RECENTLY ADOPTED EDITION OF THE W.S.D.O.T. STANDARD SPECIFICATIONS SECTION 7-08.3(3). CONTRACTOR TO DETERMINE THE TYPE OF EQUIPMENT AND METHOD TO USE TO ACHIEVE THE REQUIRED COMPACTION. EACH LIFT SHALL BE COMPACTED TO A MINIMUM OF 95 PERCENT OF THE MAXIMUM DENSITY AS DETERMINED BY THE A.A.S.H.T.O. T-100 TEST METHOD.
4. SETTLEMENT OF THE FINISHED SURFACE WITHIN THE WARRANTY PERIOD SHALL BE CONSIDERED TO BE A RESULT OF IMPROPER COMPACTION AND SHALL BE PROMPTLY REPAIRED BY THE CONTRACTOR AT NO EXPENSE TO THE CITY.
5. ALL STORM PIPE SHALL BE PVC OR N-12 WITH DOUBLE BELLED COUPLINGS WITH O-RING TYPE GASKETS OR APPROVED EQUAL.
6. ALL STORM PIPE LATERALS TO BE A MINIMUM 10 INCHES DIAMETER WITH A MINIMUM SLOPE OF S=0.0100 UNLESS SPECIFIED OTHERWISE IN THE PLANS.
7. ALL MANHOLES LOCATED IN UNIMPROVED EASEMENTS AND RIGHT OF WAYS SHALL BE PROVIDED WITH TAMPER PROOF LIDS AND SHALL BE SET 6 INCHES ABOVE FINISHED GRADE.
8. VIDEO INSPECTION TAPES AND REPORTS MAY BE REQUIRED AT THE CITY'S DISCRETION. MANDREL TESTING MAY BE REQUIRED AT THE CITY'S DISCRETION.

PREPARED BY:
STERLING DESIGN, INC.
2208 E. EVERGREEN BLVD
VANCOUVER, WA 98661
PH: (360) 759-1794
FAX: (360) 759-4993
Mail@SterlingDesign.biz

STERLING
DESIGN, INC.

Sheet Description:
**PRELIMINARY
DRAINAGE PLAN**

Project:
**GREEN MOUNTAIN
B1 POD**



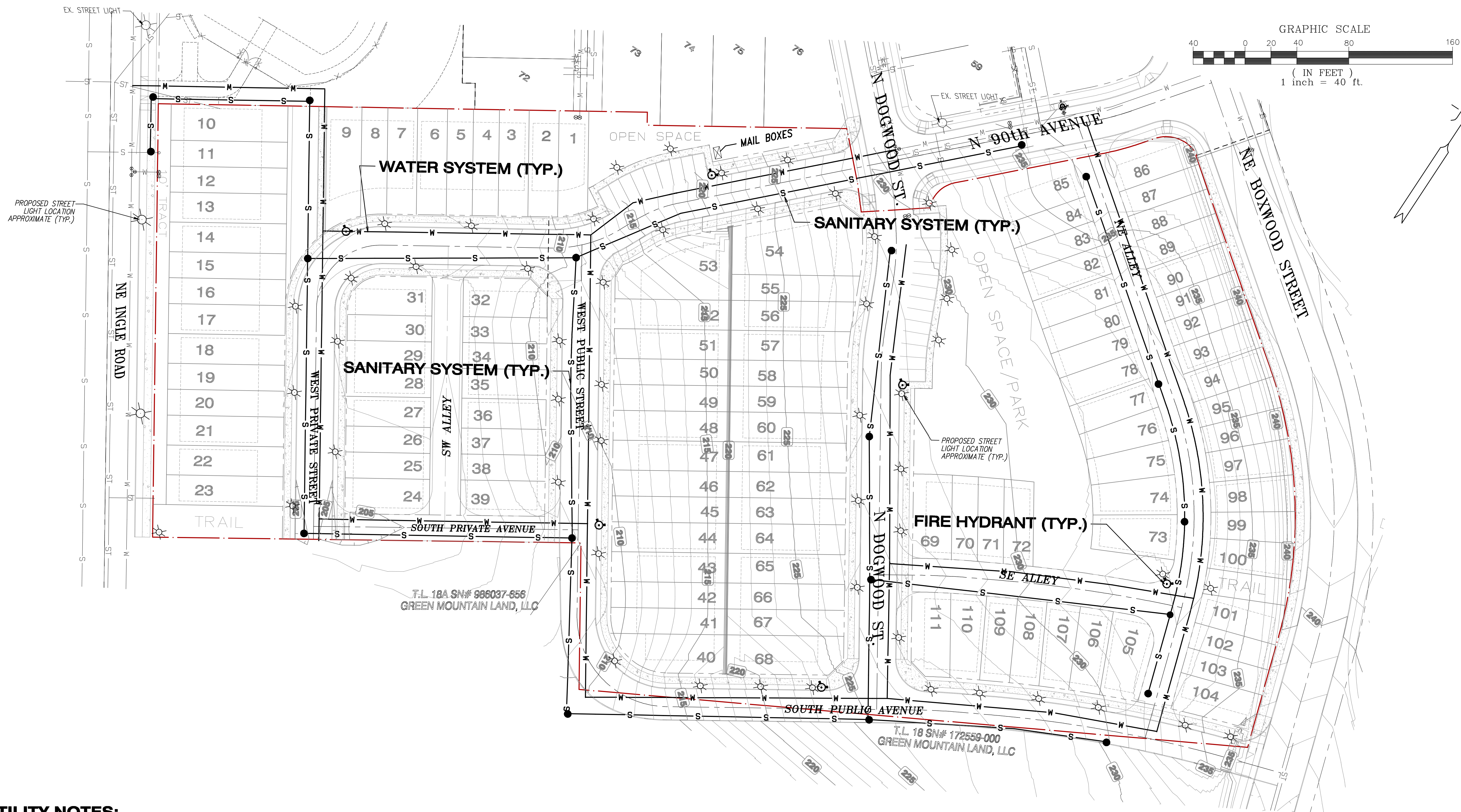
Scale: AS SHOWN

Project Number: 791

Design/Drawn: JGS/DJF

Drawing Date: MAR. 2019

Sheet 6 of 8 Sheet(s)



UTILITY NOTES:

PUBLIC WATER SYSTEM WILL BE EXTENDED ON-SITE FROM EXISTING WATER LINE WITHIN NE INGLE ROAD. (1) RESIDENTIAL WATER SERVICE WILL BE PROVIDED TO EACH LOT

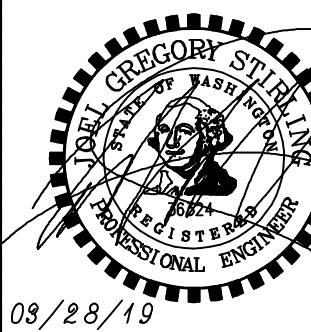
PUBLIC SANITARY SYSTEM WILL BE EXTENDED ON-SITE FROM EXISTING SANITARY LINE WITHIN NE INGLE ROAD. (1) SANITARY LATERAL SERVICE WILL BE PROVIDED TO EACH LOT

PREPARED BY:
STERLING DESIGN, INC.
2208 E. EVERGREEN BLVD
VANCOUVER, WA 98661
PH. (360) 759-1794
FAX (360) 759-4983
Mail@SterlingDesign.biz

STERLING
DESIGN, INC.

Sheet Description:
UTILITY PLAN

Project:
**GREEN MOUNTAIN
B1 POD**



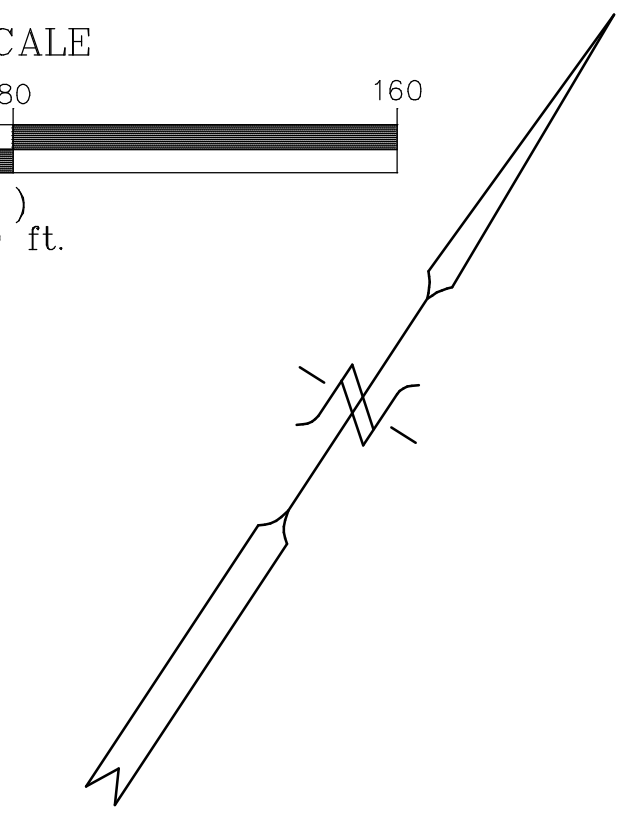
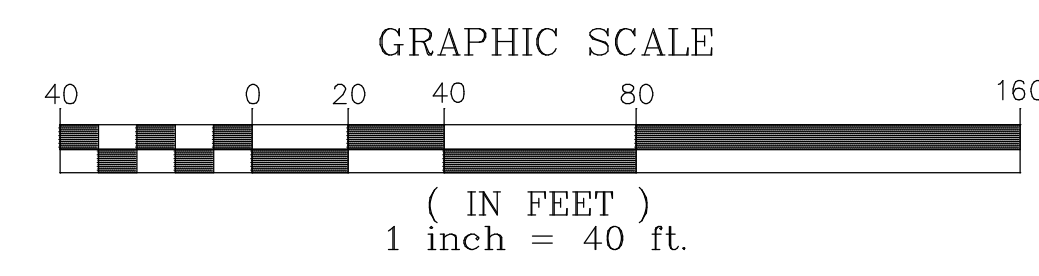
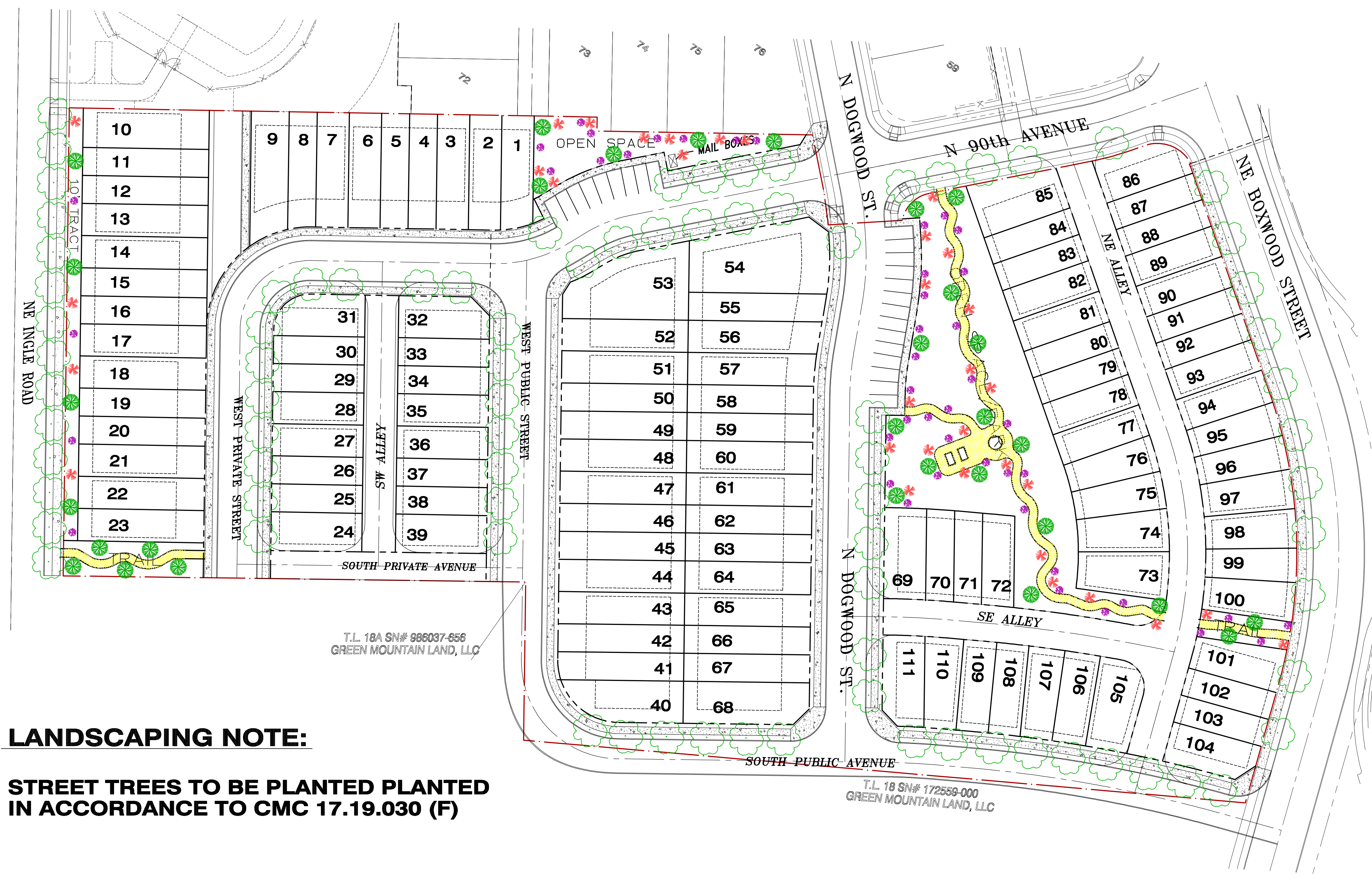
Scale: **AS SHOWN**

Project Number: **791**

Design/Drawn: **JGS/DJF**

Drawing Date: **MAR. 2019**

Sheet **7** of **8** Sheet(s)



LANDSCAPING NOTE:

**STREET TREES TO BE PLANTED PLANTED
IN ACCORDANCE TO CMC 17.19.030 (F)**

OPENSACE LANDSCAPING

**EXACT SIZE, LOCATION, AND SPECIES OF PROPOSED PLANTINGS
SHALL BE FINALIZED DURING FINAL CONSTRUCTION PLAN REVIEW,
A FINAL LANDSCAPE PLAN WILL BE SUBMITTED FOR REVIEW
AND APPROVAL**

PREPARED BY:
STERLING DESIGN, INC.
2208 E. EVERGREEN BLVD
VANCOUVER, WA 98661
PH. (360) 759-1794
FAX (360) 759-4983
Mail@SterlingDesign.biz

**STERLING
DESIGN, INC.**

**PRELIMINARY LANDSCAPE
PLAN**

Project:
**GREEN MOUNTAIN
B1 POD**



Scale: **AS SHOWN**
 Project Number: **791**
 Design/Drawn: **JGS/DJF**
 Drawing Date: **MAR. 2019**
 Sheet **8** of **8** Sheet(s)