

STERLING DESIGN, INC.

2208 E. Evergreen Blvd.

Vancouver, WA 98661

Ph. (360) 759-1794/ Fax: (360) 759-4983

Email: Joel@SterlingDesign.biz

TYPE III CONDITIONAL USE PERMIT

FRANKLIN DUPLEX SOUTH

File PA 16-24

January 2017

Tax Lot 115 Serial Number 178207-000

**Located in a portion of the SW ¼ of Section 35, Township 2 North, Range 3
East, Willamette Meridian, Clark County, Washington.**

Owner:
DEP 2 LLC
PO Box 805
Camas WA, 98607

Applicant/Contact Person: Joel Stirling
STERLING DESIGN, INC.
2208 E. Evergreen Blvd.
Vancouver, WA 98661
Ph. (360) 759-1794/ Fax: (360) 759-4983
Joel@SterlingDesign.biz

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<p><u>TAB A.</u> APPLICATION FORM(S) & FEE(S)</p>



Community Development Department | Planning
616 NE Fourth Avenue | Camas, WA 98607
(360) 817-1568 | www.cityofcamas.us

General Application Form

Case Number:

Applicant Information

Applicant/Contact: Sterling Design, Inc. Phone: (360) 759-1794
Address: 2208 E. Evergreen Blvd. Joel@SterlingDesign.biz
Street Address E-mail Address
Vancouver WA 98661
City State ZIP Code

Property Information

Property Address: 4033 NE Franklin Street 178207-000
Street Address County Assessor # / Parcel #
Camas WA 98607
City State ZIP Code
Zoning District R-7.5 Site Size 0.23 acres

Description of Project

Brief description: Site plan approval to construct (1) Duplex structure on a 0.23 acre lot zoned R-7.5.


Are you requesting a consolidated review per CMC 18.55.020(B)? YES ☐ NO ☐
Permits Requested: ☐ Type I ☐ Type II ☐ Type III ☐ Type IV, BOA, Other

Property Owner or Contract Purchaser

Owner's Name: DEP 2 LLC Phone: () Unavailable
Last First
Address: PO Box 805 Camas, WA 98607
Street Address Apartment/Unit #
E mail Address: Unavailable
City State Zip

Signature

I authorize the applicant to make this application. Further, I grant permission for city staff to conduct site inspections of the property.

Signature: 

Date: 11/30/2016

Note: If multiple property owners are party to the application, an additional application form must be signed by each owner. If it is impractical to obtain a property owner signature, then a letter of authorization from the owner is required.

Date Submitted: Pre-Application Date:

Staff: Related Cases #

Validation of Fees

Application Checklist and Fees [January 1, 2016]

◇ Annexation	\$260 - 10% petition; \$1,300 - 60% petition	001-00-345-890-00	\$
◇ Appeal Fee		001-00-345-810-00	\$350.00 \$
◇ Archaeological Review		001-00-345-810-00	\$120.00 \$ 120.00
◇ Binding Site Plan	\$1,650 + \$21 per unit	001-00-345-810-00	\$
◇ Boundary Line Adjustment		001-00-345-810-00	\$90.00 \$
◇ Comprehensive Plan Amendment		001-00-345-810-00	\$1,730.00 \$
◇ Conditional Use Permit			
Residential	\$3,000 + \$95 per unit	001-00-345-810-00	\$ 3,190
Non-Residential		001-00-345-810-00	\$3,800.00 \$
◇ Continuance of Public Hearing		001-00-345-810-00	\$300.00 \$
◇ Critical or Sensitive Areas (fee per type)		001-00-345-810-00	\$680.00 \$
(wetlands, steep slopes or potentially unstable soils, streams and watercourses, vegetation removal, wildlife habitat)			
◇ Design Review			
Minor		001-00-345-810-00	\$380.00 \$
Committee		001-00-345-810-00	\$1,750.00 \$
◇ Development Agreement	\$770 first hearing; \$300 ea. add'l hearing	001-00-345-810-00	\$
◇ Engineering Department Review			
Review Fee	3% of estimated construction costs	001.00.345.830.20	\$
Modification to Approved Construction Plans		001.00.345.810.00	\$370.00 \$
◇ Fire Department Review			
Short Plat or other Development Review		001-00-345-830-10	\$125.00 \$
Short Plat or other Development Inspection		001-00-322-110-00	\$125.00 \$
Subdivision or PRD Review		001-00-345-830-10	\$155.00 \$
Subdivision or PRD Inspection		001-00-322-110-00	\$155.00 \$
Site Plan Review		001-00-322-110-00	\$185.00 \$
Site Plan Inspection		001-00-322-110-00	\$185.00 \$
◇ *Fisher Basin storm development charge (See CMC 13.88.100)		419-00-379-000-00	\$
*For Final Plats within Fisher Basin, storm development fees due at time of final plat application			
◇ Home Occupation			
Minor - Notification (No fee)			\$0.00
Major		001-00-321-900-00	\$60.00 \$
◇ LI/BP Development	\$3800 + \$36.00 per 1000 sf of GFA	001-00-345-810-00	\$
◇ Minor Modifications to approved development		001-00-345-810-00	\$175.00 \$
◇ Planned Residential Development	\$30 per unit + subdivision fees	001-00-345-810-00	\$
◇ Plat, Preliminary			
Short Plat	4 lots or less: \$1700.00 per lot	001-00-345-810-00	\$
Short Plat	5 lots or more: \$6,300 + \$220 per lot	001-00-345-810-00	\$
Subdivision	\$6,300 + \$220 per lot	001-00-345-810-00	\$
◇ Plat, Final:			
Short Plat		001-00-345-810-00	\$175.00 \$
Subdivision		001-00-345-810-00	\$1,050.00 \$
◇ Plat Modification/Alteration		001-00-345-810-00	\$540.00 \$
◇ Pre-Application (Type III or IV Permits)			
No fee for Type I or II			
General		001-00-345-810-00	\$310.00 \$
Subdivision		001-00-345-810-00	\$800.00 \$
◇ SEPA		001-00-345-890-00	\$710.00 \$
◇ Shoreline Permit		001-00-345-890-00	\$770.00 \$
◇ Sign Permit			
General Sign Permit	(Exempt if building permit is required)	001.00.322.400.00	\$35.00 \$
Master Sign Permit		001.00.322.400.00	\$110.00 \$
◇ Site Plan Review			
Residential	\$1,010 + \$30 per unit	001-00-345-810-00	\$
Non-Residential	\$2,525 + \$60 per 1000 sf of GFA	001-00-345-810-00	\$
Mixed Residential/Non Residential		001-00-345-810-00	\$
\$3,560 + \$30 per res unit + \$60 per 1000 sf of GFA			
◇ Temporary Use Permit		001-00-321-990-00	\$70.00 \$
◇ Variance (Minor or Major)		001-00-345-810-00	\$610.00 \$
◇ Zone Change (single tract)		001-00-345-810-00	\$1,720.00 \$

Adopted by Res. 1023, Aug 2005; Revised by Res. 1113, Sept. 2007; Revised by Res. 1163, Oct. 2009; Revised by Res. 1204, Nov 2010

Revised by Res. 15-001 Jan 2015; Revised by Res. 15-007 May 2015; Revised by RES 15-018, Dec 2015

For office use only

Total Fees Due: \$ 3,310

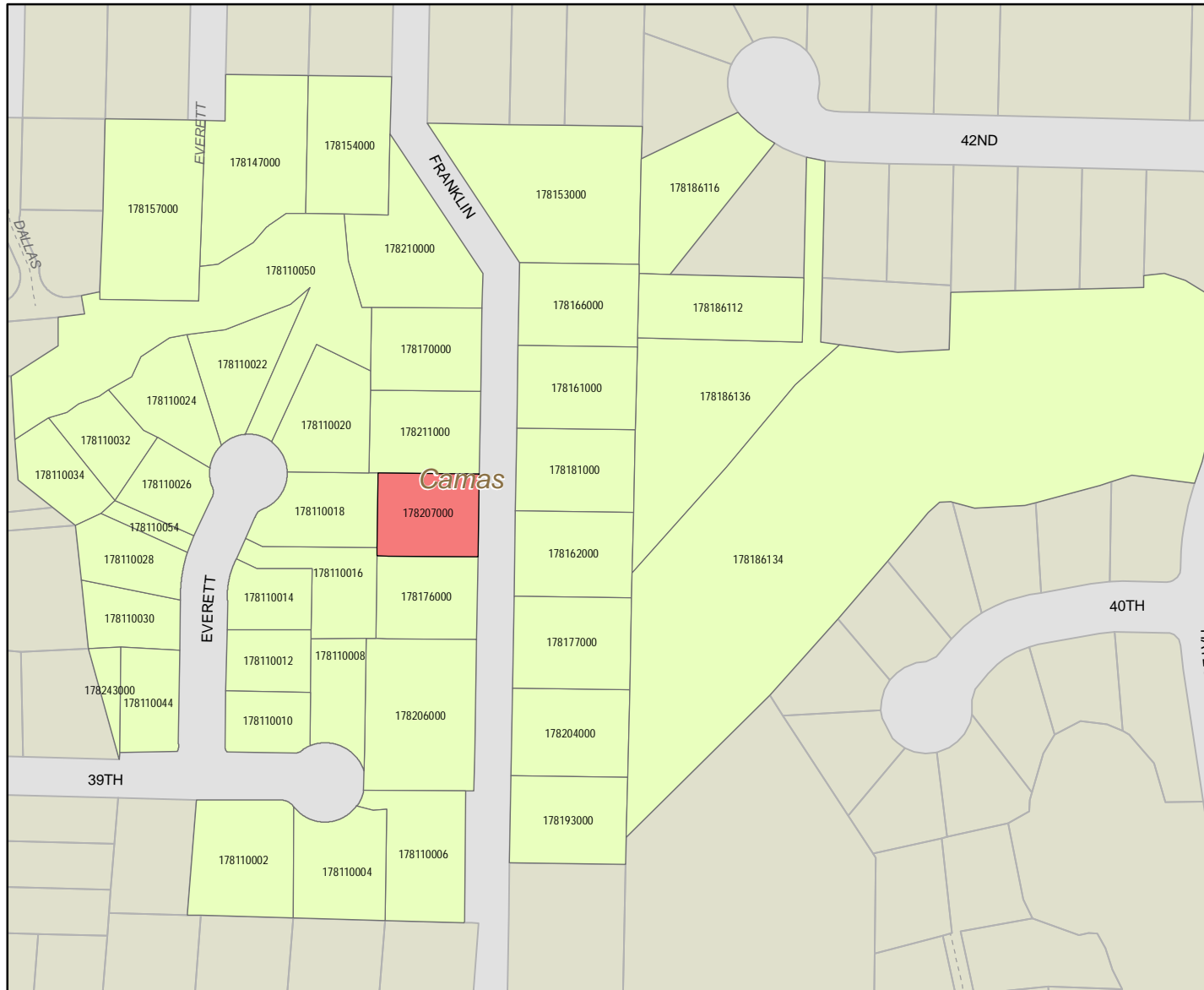
TAB B.
PERMIT APPROVALS SOUGHT

- **GENERAL APPLICATION**
- **TYPE III – CONDITIONAL USE PERMIT**

TAB C.
MAILING LIST & LABELS WITHIN
300' RADIUS OF SITE

PID(s): 178207000 , 300 Foot Buffer

Locator



Legend

- Subject Property
- Buffer Selection
- Parcels
- Water Body
- Incorporated
- Urban Growth Area
- Unincorporated



Scale: 1:2,117



NOTE: This data is compiled from many sources and scales. Clark county makes this information available as a service, and accepts no responsibility for any inaccuracy, actual or implied.

GIS Order Number: 171154

Printed: 12/27/2016

Path: \\olympus\gis\programs\GISTools\Orders\Scripts\Development\MailingListPacket\xxPID_178207000_235667\MailingListPacket.mxd



Owner Name	Mailing Address
BECKER DAVID R JR & BECKER CAROLYN ETAL	23007 NE 179TH ST, BRUSH PRAIRIE, WA, 98606
BERG ROBERT L & BERG CAROL A	3945 NE FRANKLIN ST, CAMAS, WA, 98607
BERLINER AUBREY AARON III & BERLINER TERESA RENE A	54112 NW JACKSON LOOP, CAMAS, WA, 98607
BOAM JANNIE L	3922 NE FRANKLIN ST, CAMAS, WA, 98607
BRUMBAUGH BERT C	4015 NE FRANKLIN ST, CAMAS, WA, 98607
CITY OF CAMAS	616 NE 4TH AVE, CAMAS, WA, 98607
COLLETT SHERRY A	4122 NE FRANKLIN ST, CAMAS, WA, 98607
DEP 2 LLC	PO BOX 805, CAMAS, WA, 98607
ENOS MATTHEW	642 NE 42ND CIR, CAMAS, WA, 98607
FAN ANDREW RUEY HONG	4175 NE EVERETT CT, CAMAS, WA, 98607
FORBES CORY W & FORBES STACEY	1276 ALMA LN, MECHANICSBURG, PA, 17055
FRENCH JUDITH C	4117 NE FRANKLIN ST, CAMAS, WA, 98607
GIBSON ROBIN C & GIBSON VICKIE A	107 SE 202ND AVE, CAMAS, WA, 98607
GMELIN FRANK & GMELIN MICHELLE	4001 NE EVERETT CT, CAMAS, WA, 98607
HERBERT ARON M & SMITH MARIA G TRUSTESS	509 NE 39TH AVE, CAMAS, WA, 98607
HICKS ROBERT H JR & RHONDA L HICKS	4026 NE EVERETT CT, CAMAS, WA, 98607
HUANG MATTHEW M & HUANG GRACE CHIA-HUEI	17005 SE 16TH ST, VANCOUVER, WA, 98683
JESTER JEANETTE MARGARET	4211 NE FRANKLIN STREET, CAMAS, WA, 98607
KELLY ELIZABETH	3948 NE EVERETT ST, CAMAS, WA, 98607
KING TERRY & KING PATRICIA	4150 NE FRANKLIN ST, CAMAS, WA, 98607
KOESTER MARTIN & KOESTER SAM TRUSTEES	510 NE 39TH AVE, CAMAS, WA, 98607
LANGSTON LARRY W & LANGSTON LYNELLE E	4039 NE EVERETT CT, CAMAS, WA, 98607
MANISTIQUE LLC	13217 NW 30TH ST, VANCOUVER, WA, 98685
MAY RICHARD H II & MAY TARA Z	3942 NE EVERETT CT, CAMAS, WA, 98607
MOORE TIMOTHY S & MOORE CARMEN J	4030 NE EVERETT CT, CAMAS, WA, 98607
NILES GEOERL & NILES JULIANNE E	4024 NE FRANKLIN ST, CAMAS, WA, 98607
PARKER SCOTT M & PARKER TAMAR A	710 NE 42ND CIR, CAMAS, WA, 98607
PATRICIO PAMELA J & PATRICIO JAN C	5318 S PINEBROOK CT, SPOKANE, WA, 98206
POSNER ROBERT L & POSNER KATHRYN G TRUSTEES	10250 KAYLEN PL, BELLEVUE, WA, 98004
RHYASEN MICHAEL & RHYASEN MELISSA	4027 NE EVERETT CT, CAMAS, WA, 98607
RITCHIE DAVID	4033 NE EVERETT CT, CAMAS, WA, 98607
SAMPEY JOSHUA P & SAMPEY BRYNA E	438 NE 39TH AVE, CAMAS, WA, 98607
SHAHIDI JILLEEN L	4021 NE EVERETT CT, CAMAS, WA, 98607
SHEPLEY KRISTINA	4014 NE EVERETT CT, CAMAS, WA, 98607
SPENCER ROBERT L & SPENCER MEGAS K	4003 NE EVERETT CT, CAMAS, WA, 98607
STEELE GERALD K & STEELE LARHEA M	4046 NE FRANKLIN ST, CAMAS, WA, 98607
STREHMEL UW E & STREHMEL BRIGITTA E	508 NE 39TH AVE, CAMAS, WA, 98607
TIMBER GROVE LLC	1625 NW IVY ST, CAMAS, WA, 98607
TOTH KIM C & TOTH RODNEY C	1802 C ST APT 2, WASHOUGAL, WA, 98671
WATKINS MICAIAH D	4110 NE FRANKLIN ST, CAMAS, WA, 98607
WINTERS SANDRA	4015 NE EVERETT CT, CAMAS, WA, 98607

This document created by the Clark County,
Washington Geographic Information System

Number of records 41

Number of Pages 2

Date Created 12/27/11

Employee Signature 

Employee Name Bob Pool



Owner Name	Mailing Address
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Occupant PID 178206000
3945 NE FRANKLIN ST
CAMAS, WA 98607

Occupant PID 178170000
4117 NE FRANKLIN ST
CAMAS, WA 98607

Occupant PID 178110012
3942 NE EVERETT CT
CAMAS, WA 98607

Occupant PID 178204000
3940 NE FRANKLIN ST
CAMAS, WA 98607

Occupant PID 178210000
4143 NE FRANKLIN ST
CAMAS, WA 98607

Occupant PID 178110020
4030 NE EVERETT CT
CAMAS, WA 98607

Occupant PID 178193000
3922 NE FRANKLIN ST
CAMAS, WA 98607

Occupant PID 178110044
4001 NE EVERETT CT
CAMAS, WA 98607

Occupant PID 178162000
4024 NE FRANKLIN ST
CAMAS, WA 98607

Occupant PID 178176000
4015 NE FRANKLIN ST
CAMAS, WA 98607

Occupant PID 178110008
509 NE 39TH AVE
CAMAS, WA 98607

Occupant PID 178186112
710 NE 42ND CIR
CAMAS, WA 98607

Occupant PID 178186136
712 NE 42ND CIR
CAMAS, WA 98607

Occupant PID 178110018
4026 NE EVERETT CT
CAMAS, WA 98607

Occupant PID 178110024
4035 NE EVERETT CT
CAMAS, WA 98607

Occupant PID 178166000
4122 NE FRANKLIN ST
CAMAS, WA 98607

Occupant PID 178147000
4202 NE EVERETT CT
CAMAS, WA 98607

Occupant PID 178110010
437 NE 39TH AVE
CAMAS, WA 98607

Occupant PID 178207000
4033 NE FRANKLIN ST
CAMAS, WA 98607

Occupant PID 178154000
4211 NE FRANKLIN ST
CAMAS, WA 98607

Occupant PID 178110032
4027 NE EVERETT CT
CAMAS, WA 98607

Occupant PID 178186116
642 NE 42ND CIR
CAMAS, WA 98607

Occupant PID 178153000
4150 NE FRANKLIN ST
CAMAS, WA 98607

Occupant PID 178110026
4033 NE EVERETT CT
CAMAS, WA 98607

Occupant PID 178157000
4175 NE EVERETT CT
CAMAS, WA 98607

Occupant PID 178110006
510 NE 39TH AVE
CAMAS, WA 98607

Occupant PID 178110002
438 NE 39TH AVE
CAMAS, WA 98607

Occupant PID 178110016
4018 NE EVERETT CT
CAMAS, WA 98607

Occupant PID 178110022
4039 NE EVERETT CT
CAMAS, WA 98607

Occupant PID 178110034
4021 NE EVERETT CT
CAMAS, WA 98607

Occupant PID 178110014

4014 NE EVERETT CT
CAMAS, WA 98607

Occupant PID 178110030

4003 NE EVERETT CT
CAMAS, WA 98607

Occupant PID 178181000

4046 NE FRANKLIN ST
CAMAS, WA 98607

Occupant PID 178110004

508 NE 39TH AVE
CAMAS, WA 98607

Occupant PID 178211000

4055 NE FRANKLIN ST
CAMAS, WA 98607

Occupant PID 178177000

4008 NE FRANKLIN ST
CAMAS, WA 98607

Occupant PID 178161000

4110 NE FRANKLIN ST
CAMAS, WA 98607

Occupant PID 178110028

4015 NE EVERETT CT
CAMAS, WA 98607

TAB D.
NARRATIVE

CONDITIONAL USE PERMIT NARRATIVE:

The Franklin Duplex South proposal is to construct a Residential Duplex on one property of record, serial number: 178207-000, located in a portion of the SW ¼ quarter of Section 35, Township 2 North, Range 3 East of the Willamette Meridian, Clark County, Washington. The property is located within the R-7.5 zone standards and is currently vacant land heavily vegetated with blackberry bushes, a few trees, and other vegetation.

CMC18.43.050 – Approval Criteria

- A. The proposed use will not be materially detrimental to the public welfare, or injurious to the property or improvements in the vicinity of the proposed use, or in the district in which the subject property is situated;***

Response: The proposed duplex structure will not be materially detrimental to the public welfare and not injurious to the other properties in the vicinity of the property. There are a mix of housing types along NE Franklin Street already and another existing duplex located approximately 500 feet to the north at the intersection of NE Franklin Street and NE 43rd Avenue. Currently the property is overgrown with heavy vegetation with the majority of the vegetation being noxious weeds. Construction of a duplex on the property will clean up the property which will be beneficial to adjacent properties by eliminating a source of weed seeds along with eliminating a location where transients are able to utilize the dense vegetation as screening for illegal camping/occupations.

- B. The proposed use shall meet or exceed the development standards that are required in the zoning district in which the subject property is situated;***

Response: The lot size is 10,019 sq.ft. which exceeds the average lot size of 7,500 sq.ft. that is required within the R-7.5 zoning district. Since the lot is already existing, and no land division is proposed, exceeding the 7,500 sq.ft. lot size is not an issue. The property dimensions are within all of the minimum requirements of the R-7.5 zone. The proposed construction of the Residential Duplex will adhere to the setback requirements outlined within CMC18.09.040 – Table 2 which requires a minimum of a 20 foot Front Yard Setback, minimum 5 foot Side Yard Setbacks, and a 25 foot Rear Yard Setback. The Residential Duplex will be provided with either one (1), or two (2) separate sanitary sewer connections, along with two (2) separate water services as required by CMC17.19.020(C.)(2.)(b.) & CMC17.19.020(C.)(4.)(b.). Construction of the Residential Duplex will create less than 5,000 sq.ft. of new hard surfaces so no Stormwater Quality or Quantity Control Facilities are proposed as part of the project.

- C. The proposed use shall be compatible with the surrounding land uses in terms of traffic and pedestrian circulations, density, building, and site design;***

Response: The proposed Residential Duplex is compatible with the mix of surrounding single family homes that are near the property. There is also another existing Residential Duplex structure located approximately 500 feet to the north which further supports the capability of a Residential Duplex with the mix of existing homes located along NE Franklin Street. Traffic and pedestrian circulation comparisons between a

Residential Duplex and a Single Family Home are not significantly different and since there are no existing curbs or sidewalks along NE Franklin Street, none will be constructed as part of the Residential Duplex construction. This will further assure that the proposed use is compatible with the surrounding land uses. The proposed Residential Duplex will be designed to blend with the existing single family homes by providing more area for living space windows facing Franklin Street and a lesser percentage of garage door frontage. Yard areas will be maintained in grass and vegetation similar to the surrounding single family home uses.

D. Appropriate measures have been taken to minimize the possible adverse impacts that the proposed use may have on the area in which it is located;

Response: The proposed Residential Duplex will be designed to blend with the existing single family homes by providing more area for living space windows facing Franklin Street and a lesser percentage of garage door frontage. Yard areas will be maintained in grass and vegetation similar to the surrounding single family home uses. The Residential Duplex will provide housing that is similar to many of the smaller single family homes located near the property on NE Franklin Street and also similar to the existing Residential Duplex that is located approximately 500 feet to the north of the property. A decorative street tree will be planted within the front yard of the Residential Duplex to add to the character of NE Franklin Street and to provide for buffering of the new structure from the street.

E. The proposed use is consistent with the goals and policies expressed in the comprehensive plan;

Response: The proposed Residential Duplex will provide for much needed additional residential housing within the City of Camas. The Comprehensive Plan outlines the need for both additional single family housing and also a mix of other residential uses to meet the needs of a growing community. A Residential Duplex provides an alternative to a single family home that often time is more affordable and also requires less physical up-keep due to the yard areas being smaller then the standard single family home. In a time when many residents of the City of Camas are working longer hours to keep up with higher costs of living, a Residential Duplex meets both the need of more affordable housing and helps offset the amount of time that is needed to maintain the yard areas.

F. Any special conditions and criteria established for the proposed use have been satisfied. In granting a conditional use permit the hearings examiner may stipulate additional requirements to carry out the intent of the Camas Municipal Code and comprehensive plan.

Response: At this time there are no special conditions or criteria for the proposed use. If there are additional measures required by the hearings examiner, they will be implemented with the project as required.

Pre-Application Conference:

A Pre-Application Conference was held for the project on September 1, 2016 and the Pre-Application Report is included herein. The specific issues discussed in the conference are addressed further on within this document.

Sterling Design, Inc. has prepared a formal Site Plan Application packet for the Franklin Duplex South which includes the required submittal items listed within the City of Camas Code. An Archaeological Pre-Determination was completed on the property by Archaeological Services of Clark County and is included within the application materials. Copies of the Pre-Determination have been sent to the appropriate agencies for review and concurrence. No artifacts were discovered on the property.

All Building Division requirements will be met at the time that the building permit for the Residential Duplex is submitted for review and approval.

Sanitary sewer is located along the front of the property within NE Franklin Street and one (1), or two (2), sanitary sewer services will be extended to the Residential Duplex as required by CMC17.19.020(C.)(2.)(b.). The existing sanitary sewer system is identified by the City of Camas as being a 3" STEP/STEF system.

Water is also available within NE Franklin Street and two (2) water services will be provided to the Residential Duplex as required by CMC17.19.020(C.)(4.)(b.). The existing water system is identified by the City of Camas as being a 4" water line.

The project will create less than 5,000 sq.ft. of new hard surfaces therefore no Stormwater Quality or Quantity Control Facilities are proposed as part of the project.

The new Residential Duplex will be provided with Residential Fire Sprinklers as required by City of Camas Code.


The development of this site into a Residential Duplex will aid in meeting the zoning and comprehensive plan goals for the area. The development of this site will provide for a variety of building opportunities. The full build out of this development will provide housing consistent with the goals of the Growth Management Act and will provide housing that is compatible with the existing housing types located in the vicinity.

Applications submitted for this project:

- **General Application**
- **Conditional Use Permit**

Please review the enclosed data and contact us as soon as possible if you have any questions or need any additional data.

Thank you for your assistance,



Joel G. Stirling, P.E.
STERLING DESIGN, INC.

TAB E.
PRELIMINARY PLAN SET

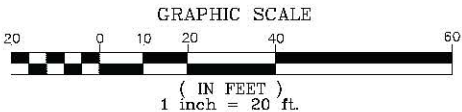
PRE APPLICATION:

• PA16-24

PERMITS REQUESTED:

- CONDITIONAL USE PERMIT
- GENERAL APPLICATION

TYPE III CONDITIONAL USE PERMIT



FRANKLIN DUPLEX

A Preliminary Site within
a portion of the SW 1/4
of Sec. 35, T2N., R3E., W.M.
Clark County, Washington



VICINITY MAP (NTS)

PROPERTY OWNER:
DEP 2 LLC
PO BOX 805
CAMAS WA, 98607

CONTACT:
JOEL STIRLING
STERLING DESIGN, INC.
2208 E. EVERGREEN BLVD.
VANCOUVER, WA 98661
PH.: (360) 759-1794
FAX: (360) 759-4983
EMAIL: Joel@SterlingDesign.biz

SITE INFORMATION:

- AREA: 0.23 ACRES
- TAX LOT: 115
- SERIAL NUMBER: 178207-000
- SITE ADDRESS: 4033 NE FRANKLIN ST, CAMAS, 98607
- ZONING: R-7.5
- COMPREHENSIVE PLAN: SFM

SHEET INDEX

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CITY OF CAMAS

CITY ENGINEER		DATE	
REVISION NO.	SHEETS AFFECTED	INITIAL APPROVAL	DATE

SITE INFORMATION

ALIGNMENT & FIELD DATA:		MINISTER & GLASSER SURVEYING, INC. (360) 694-3313	
SOIL TYPE(S):	HYDROLOGIC GROUP: C	AASHTO CLASSIFICATION: A-7	Project Number: 708
SOILS TESTING BY:	DATE:	Design/Drawn: JGS/BC	Drawing Date: JAN. 2017
SITE LOCATION: CLARK COUNTY, WA	APPROX. SURFACE ELEV.: 270'-294"	FILENAME: S:\708-Prelim.pro	Sheet 1 of 10 Sheet(s)
SITE AREA: 0.23 ACRES			

NOTE:
Existing utilities shown are approximate only from utility records and as visible at the site. Contractor shall verify presence, location, depth & slope of any and all existing utilities prior to construction. Contact One Call Concepts at (800) 424-5555.

GENERAL NOTES:

1. ALL CONSTRUCTION MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE 2006 EDITION OF THE WSDOT/APWA STANDARD SPECIFICATIONS FOR ROAD, BRIDGE, AND MUNICIPAL CONSTRUCTION AND STANDARD DETAIL SHEETS ATTACHED HERE IN.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE LOCATION OF ALL EXISTING UNDERGROUND UTILITIES, INCLUDING THE INVERT AND TOP ELEVATIONS AT CROSSING LOCATIONS, PRIOR TO THE START OF CONSTRUCTION AND TO NOTIFY THE ENGINEER OF ANY POTENTIAL CONFLICTS.
3. CONTRACTOR SHALL CALL CLARK COUNTY'S 24-HOUR UTILITY NOTIFICATION CENTER AT (360) 696-4848 OR (800) 553-4344 FOR UTILITIES LOCATE, A MINIMUM OF 48 HOURS PRIOR TO THE START OF CONSTRUCTION.
4. ALL EXISTING MONUMENTS, PROPERTY CORNERS AND SURVEY MARKERS SHALL BE PROTECTED. REPLACEMENT OF LOST, DESTROYED OR DAMAGED MARKERS SHALL BE DONE BY A LICENSED LAND SURVEYOR IN ACCORDANCE WITH R.C.W. 58.17 AT THE CONTRACTOR'S EXPENSE.
5. THE CONTRACTOR SHALL NOT EXCAVATE OVER FOUR FEET IN DEPTH WITHOUT USING ADEQUATE SAFETY MEASURES. THE CONTRACTOR IS REFERRED TO TITLE 296 W.A.C., PART N FOR EXCAVATION, TRENCHING AND SHORING REQUIREMENTS.
6. ALL UTILITIES SHALL HAVE A GRANULAR BACKFILL APPROVED BY THE CITY OF CAMAS. WATER SETTLEMENT OF UTILITY TRENCHES IS NOT ALLOWED.
7. ALL EROSION/SEDIMENT CONTROL MEASURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE EROSION/SEDIMENT CONTROL PLAN AND CITY OF CAMAS EROSION/SEDIMENT CONTROL DETAILS PRIOR TO ANY CLEARING OR THE START OF ANY CONSTRUCTION.
8. IF THE CITY INSPECTOR OR ENGINEER(S) HAS EVIDENCE OF POOR CONSTRUCTION PRACTICES OR EROSION CONTROL TECHNIQUES, A STOP WORK ORDER SHALL BE ISSUED UNTIL PROPER MEASURES HAVE BEEN TAKEN AND APPROVED BY THE CITY ENGINEERING STAFF.
9. THE CONTRACTOR SHALL SUBMIT A TRAFFIC CONTROL PLAN TO THE CITY OF CAMAS PUBLIC WORKS DEPARTMENT. APPROVAL SHALL BE OBTAINED PRIOR TO THE START OF CONSTRUCTION.
10. THE DEVELOPER/CONTRACTOR SHALL ARRANGE A PRE-CONSTRUCTION MEETING WITH THE CITY OF CAMAS ENGINEERING DEPARTMENT PRIOR TO COMMENCING ANY WORK.
11. ANY SIGNIFICANT DEVIATIONS FROM THE PLANS WILL REQUIRE A SUBMITTAL FROM THE APPLICANT'S ENGINEER AND APPROVAL FROM THE CITY OF CAMAS ENGINEERING DEPARTMENT.
12. AN EROSION/SEDIMENT CONTROL BOND WILL BE REQUIRED BY THE CITY OF CAMAS PRIOR TO WORK COMMENCING.

PREPARED BY:

STERLING DESIGN, INC.
2208 E. EVERGREEN BLVD
VANCOUVER, WA 98661
PH: (360) 759-1794
FAX: (360) 759-4983
mail@sterlingdesign.biz

STERLING
DESIGN, INC.

Sheet Description:

COVER SHEET

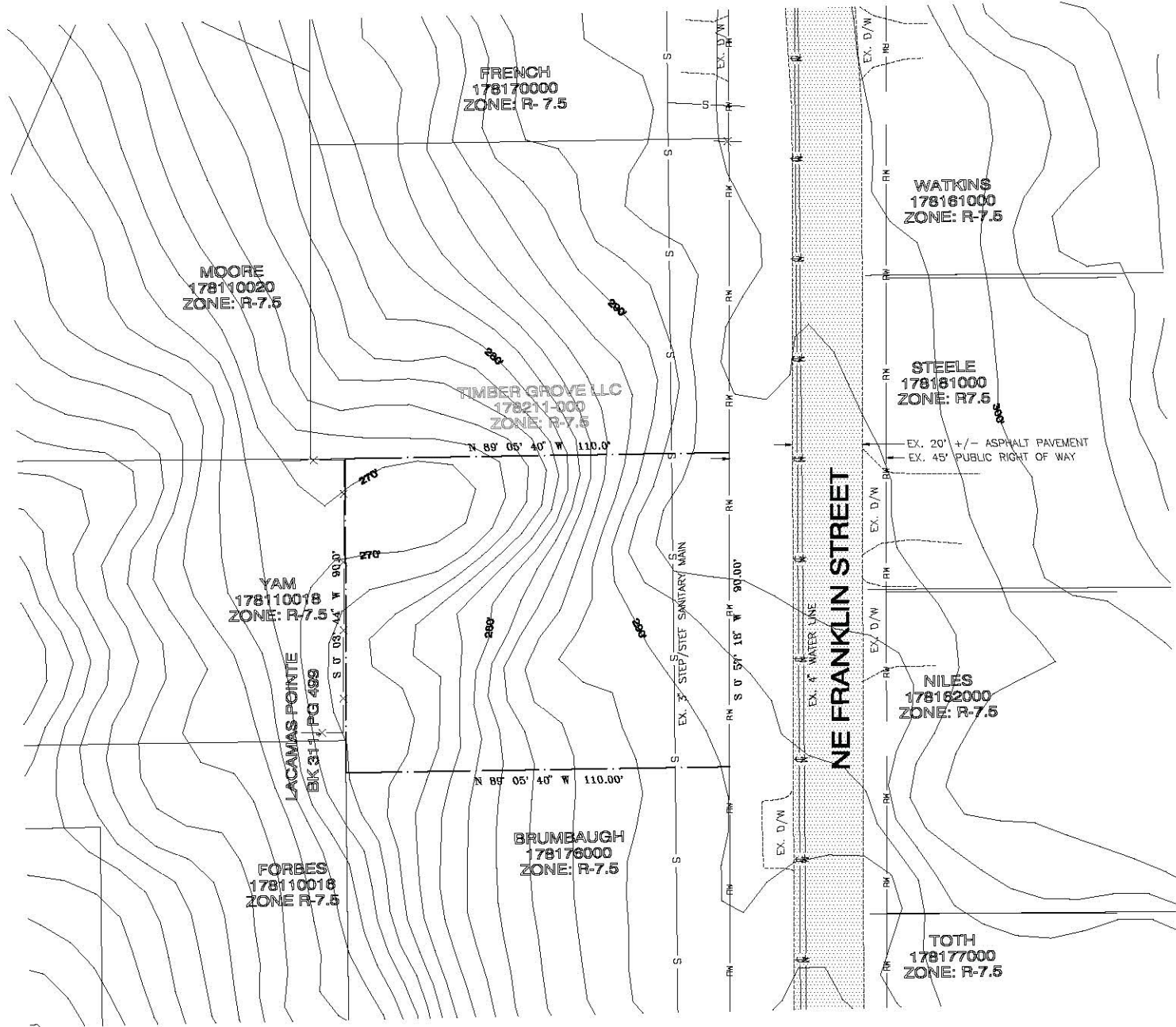
Project:

FRANKLIN DUPLEX
SOUTH



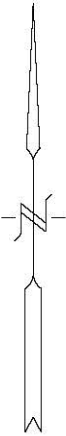
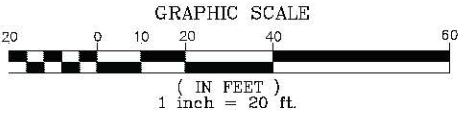
Scale: AS SHOWN

REFER TO SHEET 3 FOR
SITE SURVEY INFORMATION



DRY UTILITY NOTE:
POWER, CA TV AND OTHER FRANCHISE
UTILITIES ARE ON OVERHEAD LINES
ALONG THE EAST SIDE OF FRANKLIN ST.

NOTE:
Existing utilities shown are approximate only from utility
records and as visible at the site. Contractor shall verify
presence, location, depth & slope of any and all existing
utilities prior to construction. Contact One Call Concepts
at (800) 424-5555.



SITE INFORMATION

ALIGNMENT & FIELD DATA: MINISTER & GLAESER SURVEYING, INC. (360) 694-3313		Scale: AS SHOWN
SITE LOCATION: CLARK COUNTY, WA	APPROX. SURFACE ELEV.: 270'-294"	Project Number: 708
SITE AREA: 0.23 ACRES	FILENAME: S:\708-Prelim.pro	Drawing Date: JAN. 2017
SOL TYPE(s): HYDROLOGIC GROUP: C AASHTO CLASSIFICATION: A-7		Design/Drawn: JGS/BC
SOLS TESTING BY: DATE:		Sheet 2 of 10 Sheet(s)



Project:

FRANKLIN DUPLEX
SOUTH

Sheet Description:

EXISTING CONDITIONS
PLAN

STERLING
DESIGN, INC.

PREPARED BY:

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FAX (360) 759-4993
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SURVEY
IN A PORTION OF THE
SE 1/4 OF THE SW 1/4
OF SECTION 35
T. 2 N., R. 3 E., W. M.
CITY OF CAMAS
CLARK COUNTY, WASHINGTON

LEGEND:

- INDICATES 1/2" x 24" IRON ROD WITH "BETHJE 37535" CAP FOUND PER SURVEY REFERENCE #1
- ⊙ INDICATES 1/2" x 24" IRON ROD WITH "DENNY 32451" CAP SET
- () INDICATES RECORD DISTANCE
- X- INDICATES RIGHT-OF-WAY
- ASSR. NO. INDICATES ASSESSOR TAX IDENTIFICATION NUMBER

SURVEY REFERENCES:

- 1) LACAMAS POINTE BOOK 311, PAGE 499
- 2) TOWLE SURVEY BOOK 048, PAGE 068
- 3) TOWLE SURVEY BOOK 049, PAGE 168
- 4) LACAMAS SUMMIT PHASE 2 BOOK 310, PAGE 894

DEED REFERENCES:

ADDRESS: 4055 NE FRANKLIN ST.
GRANTOR: ROGER NEERLAND AND OLLIE NEERLAND
GRANTEE: DONALD GRAFTON AND JOY GRAFTON
AP NO.: 0 738295
DATE: 09-27-76

ADDRESS: 4033 NE FRANKLIN ST.
GRANTOR: RALPH LYNDEN JOHNSON
GRANTEE: DONALD GRAFTON AND JOY GRAFTON
AP NO.: 6738294
DATE: 09-27-76

NARRATIVE:

THE PURPOSE OF THIS SURVEY WAS TO MONUMENT THE PERIMETER BOUNDARIES OF PARCELS IDENTIFIED AS ASSR. NO.'S 17821000 & 178207000. I HELD SURVEY REFERENCE NO. 1 TO CONTROL THE BASIS OF BEARING AND THE WEST LINE OF SAID PARCELS. I HELD THE EAST LINE OF THE SOUTHWEST QUARTER OF SECTION 35 TO CONTROL THE NORTHERLY DIRECTION OF THE DEED CALLS. THIS CORRESPONDS WITH AUDITOR'S FILE NO.'S 3386062, 8704300141 & 8610210062 RECORDS OF CLARK COUNTY, OF WHICH DEFINE THE LOCATION OF THE EAST LINE OF NE FRANKLIN STREET (FORMERLY KNOWN AS LAKEVIEW COUNTY ROAD) TO BE PARALLEL WITH SAID EAST LINE OF THE SOUTHWEST QUARTER OF SECTION 35. I HELD THE EASTERLY & WESTERLY DIRECTION OF THE DEED CALLS TO BE PARALLEL WITH THE SOUTH LINE OF SAID SOUTHWEST QUARTER OF SECTION 35.

AUDITOR'S CERTIFICATE

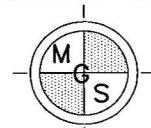
FILED FOR RECORD THIS 27 DAY OF July, 2016
AT 7:40 O'CLOCK PM, IN BOOK 65 OF SURVEYS,
AT PAGE 165
AT THE REQUEST OF MINISTER AND GLAESER SURVEYING INC.

John B. ...
DEPUTY/COUNTY AUDITOR

SURVEYOR'S CERTIFICATE

THIS MAP CORRECTLY REPRESENTS A SURVEY MADE BY ME OR UNDER MY DIRECTION IN CONFORMANCE WITH THE REQUIREMENTS OF THE SURVEY RECORDING ACT AT THE REQUEST OF DAVE GALANTER, IN JUNE 2016.

Edmund Denny Jr. 2-25-2016
EDMUND DENNY, JR., PROFESSIONAL LAND SURVEYOR, LS# 32451

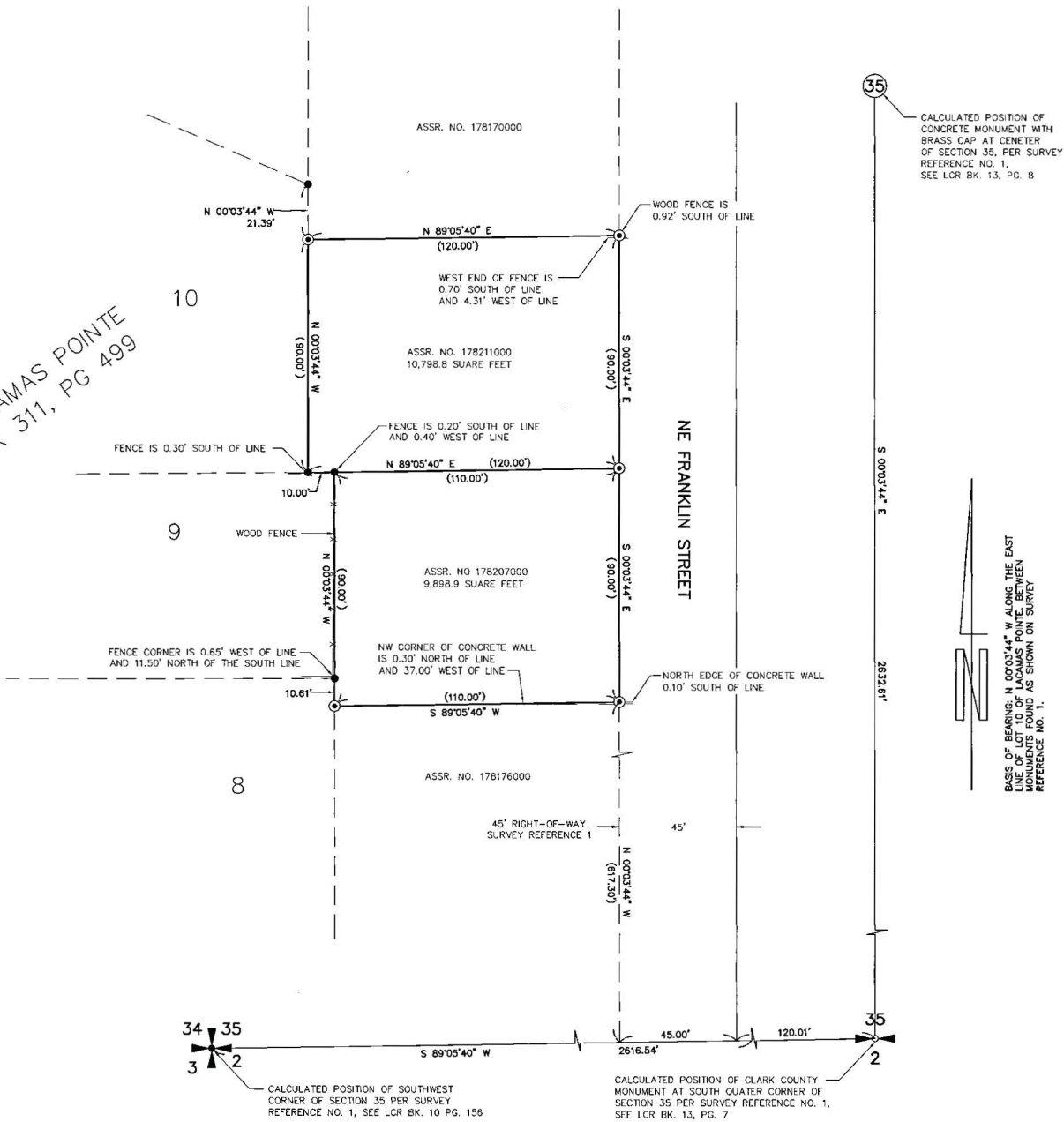


MINISTER-GLAESER
SURVEYING INC.
2200 E. EVERGREEN BLVD.
VANCOUVER, WA 98661
(360) 694-3313

SCALE: 1"=30'
JOB NO. 16-318
DATE: 07-25-16
CALC BY: ED
DRAWN BY: ED
CHECKED BY: ED
SHEET 1 OF 1

65-165

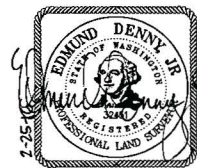
LACAMAS POINTE
Bk 311, PG 499



MINISTER AND GLAESER SURVEYING, INC. MAKES NO WARRANTIES AS TO MATTERS OF UNWRITTEN TITLE SUCH AS ADVERSE POSSESSION, ACQUESCENCE, ESTOPPLE, ETC.

A FIELD TRAVERSE WAS PERFORMED USING A ONE SECOND TOTAL STATION. THE FIELD TRAVERSE MET THE MINIMUM STANDARDS FOR SURVEYS AS DESIGNATED IN WAC 332-130-090. ALL CORNERS NOTED AS FOUND WERE VISITED ON 06-30-16.

SCALE 1 INCH = 30 FEET



PRELIMINARY SITE INFORMATION
GENERAL INFORMATION

- APPLICANT/CONTACT:
JOEL STIRLING
2208 E. EVERGREEN BLVD.
VANCOUVER, WA 98661
PH. (360) 759-1794
JOEL@STERLINGDESIGN.BIZ
- PROPERTY OWNER:
DEP 2 LLC
PO BOX 805
CAMAS WA, 98607
AREA: 0.23 ACRES
- TAX LOT: 115
- SERIAL NUMBER: 178207-000
- SITE ADDRESS: 4033 NE FRANKLIN STREET, CAMAS, 98607
- ZONING: R-7.5
- COMPREHENSIVE PLAN: SFM

EXISTING CONDITIONS (REFER TO SHEETS 2 & 3)

- Environmental**
- TOPOGRAPHY IS SHOWN ON THE PROPOSED DEVELOPMENT PLAN.
- THERE ARE NO SITE WATERCOURSES (STREAMS, RIVERS, ETC) OR AREAS PRONE TO FLOODING AS SHOWN.
- THERE ARE NO FEMA DESIGNATED FLOODPLAINS, FLOOD FRINGE, OR FLOODWAYS ON THE SITE.
- THERE ARE NO DESIGNATED SHORELINE AREAS ON THE SITE.
- THERE ARE NO WATER BODIES OR WETLANDS ON THE SITE.
- THERE ARE NO WETLAND DELINEATION AREAS ON THE SITE.
- THERE ARE UNSTABLE SLOPES OR LANDSLIDE HAZARD AREAS ON THE SITE PER CLARK COUNTY MAPS ONLINE.
- THERE ARE NO KNOWN RIPARIAN HABITAT AND OR VEGETATION BUFFERS ON THE SITE. (SEE REPORT BY CASCADIA ECOLOGICAL LAND SERVICES)
- THERE ARE NO KNOWN SIGNIFICANT HISTORIC, CULTURAL OR ARCHAEOLOGICAL RESOURCES ON THE SITE.
- Land Use and Transportation**
- THE PROPOSED SITE AREA IS APPROX. 0.23 ACRES. THE LAYOUT AND DIMENSIONS OF EXISTING PARCEL ARE SHOWN.
- THERE ARE EXISTING STRUCTURES ON THE SITE.
- EXISTING ACCESS, DRAINAGE & UTILITY EASEMENT LOCATIONS & WIDTHS ARE AS SHOWN.
- NAME, LOCATION & WIDTH OF EXISTING RIGHT OF WAY IS SHOWN.
- LOCATIONS & DIMENSIONS OF CENTERLINE & RIGHT-OF-WAY FOR NW 10th AVE. ARE SHOWN.
- NAME, LOCATION, WIDTH & SURFACING MATERIAL OF ROADWAY & EASEMENTS AND WHETHER PUBLIC OR PRIVATE ARE SHOWN.
- LOCATION OF EXISTING DRIVEWAYS ALONG NW 10th AVE ARE SHOWN.
- LOCATION & WIDTH OF PEDESTRIAN & BICYCLE FACILITIES WITHIN 100' OF THE SITE ARE AS SHOWN.
- THERE ARE NO TRANSIT ROUTES & STOPS WITHIN 600' OF THE DEVELOPMENT SITE. (PER THE GIS PACKET)
- Water and Sewer**
- THE NEAREST EXISTING FIRE HYDRANTS TO THE SITE ARE SHOWN.
- THERE ARE NO KNOWN SEPTIC SYSTEM(S) OR WELL(S) ON THIS SITE.

PROPOSED IMPROVEMENTS

- Environmental**
- THERE ARE NO WETLANDS, STEEP SLOPE BUFFER AREAS/PROTECTED AREAS, OR PLANNED ENHANCEMENT AREAS LOCATED ON THE PORTION OF THE SITE WHERE NEW HOMES WILL BE CONSTRUCTED.
- PLANTING & BUFFER ENHANCEMENT WILL OCCUR WITHIN PRIVATE TRACTS.
- Land Use and Transportation**
- THE CONFIGURATION & DIMENSIONS OF BOUNDARIES, PROPOSED LOTS, DRAINAGE TRACTS & EASEMENTS ARE SHOWN ON THE PLAN. THERE ARE NO PARKS OR OPEN SPACES PROPOSED AS PART OF THE SHORT PLAT.
- DIMENSIONS OF ALL PROPOSED EASEMENTS ARE SHOWN ON PLAN.
- THERE ARE EXISTING STRUCTURES ON THE SITE THAT WILL REMAIN.
- ALL LOCATIONS AND DIMENSIONS OF ROAD RIGHT-OF-WAYS OR ADJACENT TO THE SITE ARE SHOWN ON THE PLAN.
- PEDESTRIAN FACILITIES ARE NOT PROPOSED WITH THIS PROJECT.
- THERE ARE NO TRANSIT ROUTES FRONTING THE SITE.

TABLE 18.09.040	
BUILDING SETBACKS:	
FRONT:	20'
SIDE STREET:	20'
SIDE INTERIOR:	5'
REAR:	25'
MAX. LOT COVERAGE:	40%
MAX. BLDG. HEIGHT:	35'

RESIDENTIAL DUPLEX WILL BE SUBJECT TO
THE PAYMENT OF REQUIRED IMPACT FEES
AT THE TIME OF BUILDING PERMIT ISSUANCE

MOORE
178110020
ZONE: R-7.5

FRENCH
178170000
ZONE: R-7.5

WATKINS
178161000
ZONE: R-7.5

STEELE
178181000
ZONE: R7.5

NILES
178162000
ZONE: R-7.5

TOTH
178177000
ZONE: R-7.5

TIMBER GROVE LLC
178211-000
ZONE: R-7.5

YAM
178110018
ZONE: R-7.5

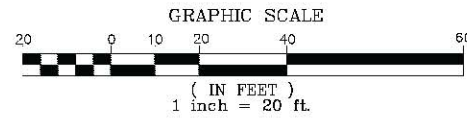
LACAMAS POINTE
BK 311 PG 499

FORBES
178110018
ZONE R-7.5

BRUMBAUGH
178176000
ZONE: R-7.5

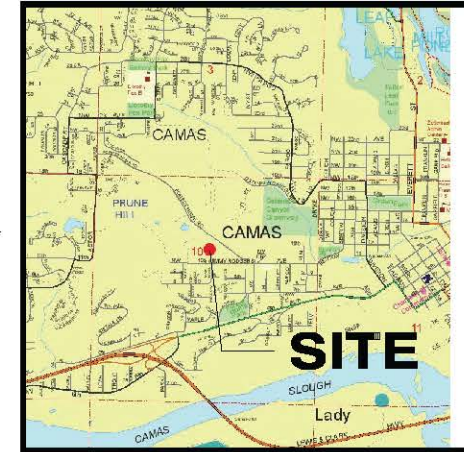
BUILDING FOOTPRINT NOTE:
THE RESIDENTIAL DUPLEX BUILDING
FOOT PRINT SHOWN IS FOR THE PURPOSES
OF APPROVAL OF THE CONDITIONAL USE
PERMIT. ACTUAL BUILDING PLANS MAY
CHANGE DURING BUILDING PERMIT
SUBMITTAL AND REVIEW TO BETTER FIT
WITH CITY OF CAMAS COMPATIBILITY
STANDARDS. THE PROPOSED RESIDENTIAL
DUPLEX WILL MEET ALL APPLICABLE SETBACK
AND LOT COVERAGE REQUIREMENTS
OF THE CITY OF CAMAS CODE.

NOTE:
Existing utilities shown are approximate only from utility records and as visible at the site. Contractor shall verify presence, location, depth & slope of any and all existing utilities prior to construction. Contact One Call Concepts at (800) 424-5555.



FRANKLIN DUPLEX

A Preliminary Site within
a portion of the SW 1/4
of Sec. 35, T2N., R3E., W.M.
Clark County, Washington



VICINITY MAP (NTS)

PREPARED BY:
STERLING DESIGN, INC.
2208 E. EVERGREEN BLVD
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FAX (360) 759-4993
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STERLING
DESIGN, INC.

PRELIMINARY SITE PLAN

FRANKLIN DUPLEX
SOUTH



SITE INFORMATION

ALIGNMENT & FIELD DATA: MINISTER & GLAESER SURVEYING, INC. (360) 694-3313		Scale: AS SHOWN
SITE LOCATION: CLARK COUNTY, WA	APPROX. SURFACE ELEV.: 270'-294'	Project Number: 708
SITE AREA: 0.23 ACRES	FILENAME: S:\708-Prelim.pro	Design/Drawn: JGS/BC
DATE: 1/13/17		Drawing Date: JAN. 2017
SHEET 4 of 10 Sheet(s)		

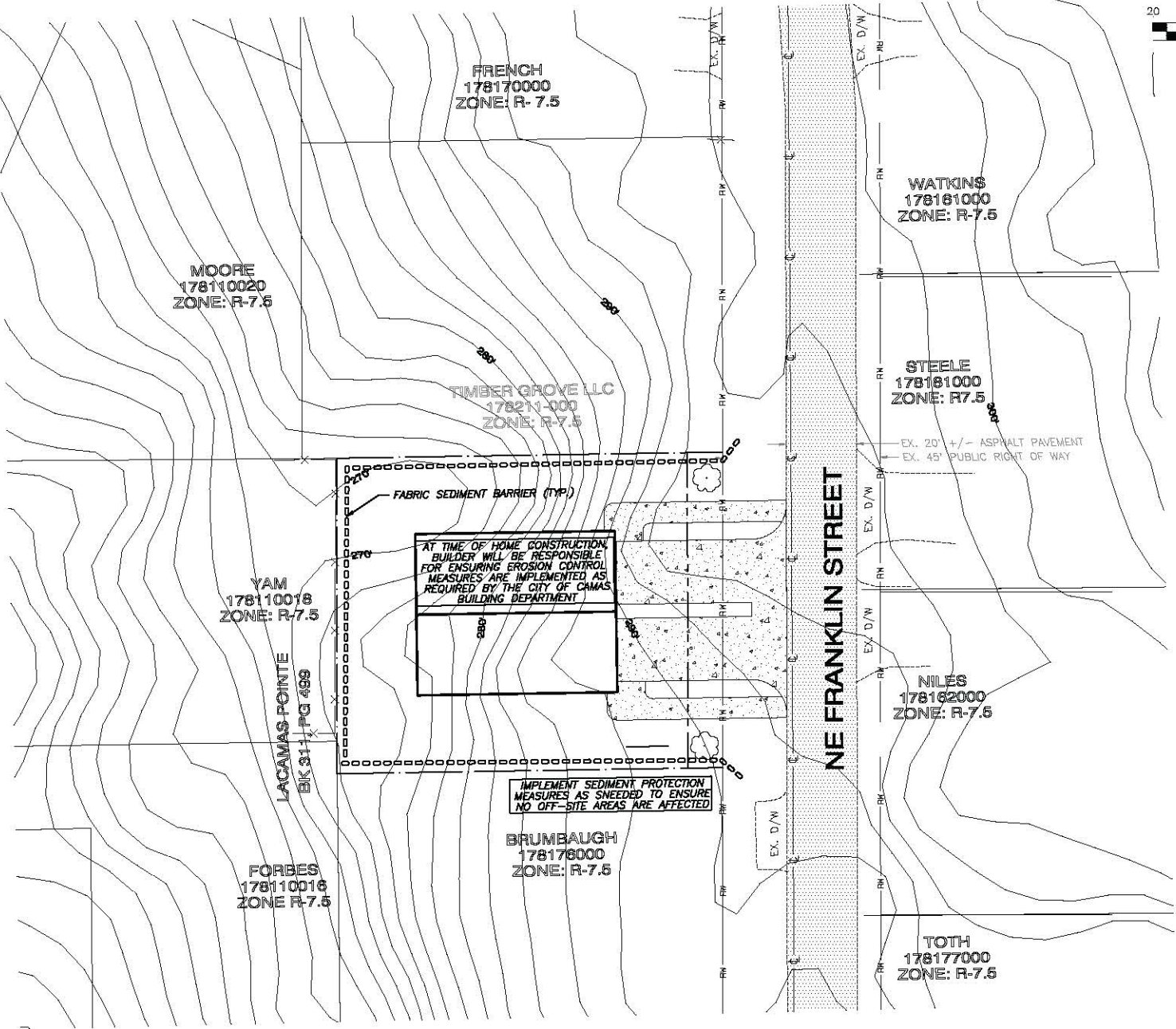
EROSION/SEDIMENT CONTROL NOTES:

1. THE EROSION/SEDIMENT CONTROL (ESC) PLAN IS TO BE UTILIZED AS A GUIDE TO CONTROL THE TRANSPORT OF LOOSE SOILS TO THE PROPERTY OUTSIDE OF THE CONSTRUCTION AREA AND AROUND THE CONSTRUCTION SITE. THE ESC MEASURES SHALL BE UPGRADED AS NEEDED FOR UNEXPECTED STORM EVENTS AND TO ENSURE THAT SEDIMENT AND SEDIMENT LADEN WATER DOES NOT LEAVE THE SITE.
2. THE IMPLEMENTATION OF THE ESC PLANS AND THE CONSTRUCTION, MAINTENANCE, REPLACEMENT AND UPGRADE OF THE ESC MEASURES IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ALL CONSTRUCTION IS COMPLETED AND APPROVED AND PERMANENT VEGETATION/LANDSCAPING IS ESTABLISHED.
3. IF THE CITY INSPECTOR OR ENGINEER(S) HAS EVIDENCE OF POOR CONSTRUCTION PRACTICES OR EROSION CONTROL TECHNIQUES, A STOP WORK ORDER SHALL BE ISSUED UNTIL PROPER MEASURES HAVE BEEN TAKEN AND APPROVED BY THE CITY ENGINEERING STAFF.
4. THE CONTRACTORS SHALL BE RESPONSIBLE TO FAMILIARIZE THEMSELVES WITH THE CITY OF CAMAS EROSION/SEDIMENT CONTROL HANDBOOK AND THE STORMWATER MANUAL IN WASHINGTON STATE (LATEST EDITION), VOL. II.
5. ALL EROSION/SEDIMENT CONTROL MEASURES SHALL BE IN PLACE AND IN WORKING CONDITION PRIOR TO DISTURBING AND EXPOSING ANY SOIL SURFACES (I.E. CONSTRUCTION ENTRANCES, FILTER FABRIC/STRAWBALE SEDIMENT BARRIERS, AND SEDIMENTATION TRAPS) AND MAINTAINED FOR THE DURATION OF THE PROJECT. TRAPPED SEDIMENT IN EXCESS OF 1 FOOT SHALL BE REMOVED OR STABILIZED ON-SITE. DISTURBED SOIL AREAS RESULTING FROM VEGETATION REMOVAL SHALL BE PERMANENTLY STABILIZED. ADDITIONAL MEASURES MAY BE REQUIRED TO ENSURE THAT ALL PAVED AREAS ARE KEPT CLEAN FOR THE DURATION OF THE PROJECT.
6. TO MINIMIZE EROSION AND SEDIMENTATION TRANSPORTATION, EARTHWORK SHALL NOT BE PERFORMED WHILE SOILS ARE MORE THAN 5% ABOVE OPTIMUM MOISTURE CONTENT.
7. THE CONTRACTOR SHALL BE RESPONSIBLE TO HAVE CLEARING LIMITS AND/OR ANY EASEMENTS, SENSITIVE OR CRITICAL AREAS, AND THEIR BUFFERS, TREES, AND DRAINAGE COURSES FLAGGED PRIOR TO CONSTRUCTION. DURING THE CONSTRUCTION PERIOD, NO DISTURBANCE BEYOND THE FLAGGED CLEARING LIMITS SHALL BE PERMITTED. FLAGGING LIMITS ARE TO BE MAINTAINED BY THE CONTRACTOR FOR THE DURATION OF CONSTRUCTION.
8. REMOVE ONLY THOSE TREES AND SHRUBS THAT NEED TO BE REMOVED FOR THE CONSTRUCTION OF ROADS, SIDEWALKS, UTILITIES, GRADING LIMITS AND STORMWATER FACILITIES.
9. ALL ROAD EXISTING AND NEWLY CONSTRUCTED CATCH BASINS OR CURB INLETS AFFECTED BY CONSTRUCTION SHALL BE PROTECTED AGAINST SEDIMENT DEPOSITS. AT NO TIME SHALL MORE THAN ONE FOOT OF SEDIMENT BE ALLOWED TO ACCUMULATE WITHIN A TRAPPED CATCH BASIN. ALL CATCH BASINS AND CONVEYANCE LINES SHALL BE CLEANED PRIOR TO PAVING. THE CLEANING OPERATION SHALL NOT FLUSH SEDIMENT LADEN WATER INTO THE DOWNSTREAM SYSTEM.
10. ALL POLLUTANTS THAT OCCUR ON-SITE DURING CONSTRUCTION SHALL BE HANDLED AND DISPOSED OF IN A MANNER THAT DOES NOT CAUSE CONTAMINATION OF STORMWATER SYSTEM.
11. ALL DISTURBED SOIL SURFACES ARE TO BE STABILIZED BY A SUITABLE APPLICATION OF BEST MANAGEMENT PRACTICES. NO SOILS SHALL REMAIN UNSTABILIZED FOR MORE THAN TWO DAYS DURING THE PERIOD OF OCTOBER 1 THRU JULY 5. FROM JULY 5 THRU OCTOBER 1, NO SOIL SHALL REMAIN UNSTABILIZED FOR MORE THAN 7 DAYS. STABILIZATION OF DISTURBED SOIL AREAS CAN CONSIST OF HYDROSEEDING OR HAND-SEEDING, MULCHING, PLACEMENT OF EROSION CONTROL BLANKETS OR PLASTIC. ALL SEEDING AREAS ARE TO BE FERTILIZED, WATERED, AND MAINTAINED TO ENSURE THAT THE REGROWTH OF VEGETATION IS AS SOON AS POSSIBLE.
12. ALL TEMPORARY SEDIMENT AND EROSION CONTROL BMP'S SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION IS ACHIEVED OR AFTER THE TEMPORARY BMP'S ARE NO LONGER NEEDED.
13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR POLICING THE JOB SITE DAILY AND MAINTAINING THE EROSION/SEDIMENT CONTROL MEASURES THROUGHOUT ALL PHASES OF CONSTRUCTION. AN INSPECTION LOG SHALL BE KEPT AND MADE AVAILABLE TO THE CITY OF CAMAS. THE POLICING AND MAINTENANCE SHALL INCLUDE, BUT NOT BE LIMITED TO:
 - VERIFYING THAT ALL AREAS ARE GRADED SUCH THAT ALL RUNOFF IS DIRECTED TO A SEDIMENTATION DEVICE BEFORE DISCHARGE TO SURFACE.
 - REMOVAL OF TRAPPED SILT AT SILT BARRIERS, SILT TRAPS, OR POINTS OF ACCUMULATION.
 - ADDITIONAL PROTECTIVE MEASURES DUE TO JOB SITE OR WEATHER CONDITIONS AS REQUIRED BY CITY OF CAMAS WATER QUALITY.
 - MONITORING OF VEHICLES LEAVING THE SITE TO MINIMIZE TRANSMISSION OF LOOSE SOILS TO THE PUBLIC ROADWAYS.
 - PLACING OF THE STRAWBALE SEDIMENTATION BARRIER AT THE ENTRANCE DURING PRECIPITATION OR AT THE END OF THE WORKDAY BEFORE LEAVING THE SITE.
 - VERIFY THAT ALL PROPERTIES ADJACENT TO THE PROJECT SITE ARE PROTECTED FROM SEDIMENTATION DEPOSITION. THIS MAY BE ACCOMPLISHED BY INSTALLING PERMETER CONTROLS SUCH AS SEDIMENTATION BARRIERS, FILTERS OR DIKES, SEDIMENTATION BASINS/TRAPS, OR BY A COMBINATION OF SUCH MEASURES.
14. CUT AND FILL SLOPES SHALL BE DESIGNED AND CONSTRUCTED IN A MANNER THAT WILL MINIMIZE EROSION. SLOPES SHALL BE STABILIZED IN ACCORDANCE WITH EROSION/SEDIMENT CONTROL NOTE 11. SLOPES FOUND TO BE ERODING EXCESSIVELY WITHIN TWO YEARS OF CONSTRUCTION MUST BE PROVIDED WITH ADDITIONAL SLOPE STABILIZING MEASURES. THESE MEASURES MAY CONSIST OF ROUGHENED SOIL SURFACES, INTERCEPTORS, DIVERSIONS OR TERRACES, TEMPORARY OR PERMANENT CHANNELS, ADDITIONAL VEGETATION, OR PIPE SLOPE DRAINS AS REQUIRED BY CITY OF CAMAS WATER QUALITY UNTIL THE PROBLEM IS CORRECTED.
15. THE ESC MEASURES ON INACTIVE SITES SHALL BE INSPECTED AND MAINTAINED A MINIMUM OF ONCE A MONTH OR WITHIN 24 HOURS FOLLOWING A STORM EVENT.
16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING UNDERGROUND UTILITIES AS SPECIFIED BELOW:
 - WHERE FEASIBLE, NO MORE THAN 500 FEET OF TRENCH SHALL BE OPEN AT ONE TIME.
 - WHERE CONSISTENT WITH SAFETY AND SPACE CONSIDERATIONS, EXCAVATED MATERIAL SHALL BE PLACED ON THE UPHILL SIDE OF TRENCHES.
 - TRENCH DE-WATER DEVICES SHALL DISCHARGE INTO A SEDIMENT TRAP OR SEDIMENT POND.
17. CONTRACTOR SHALL CONSULT WITH GEOTECHNICAL ENGINEER DURING ALL GRADING ACTIVITIES FOR FIELD VERIFICATION OF FILL PLACEMENT AND SITE SPECIFIC GRADING RECOMMENDATIONS. CONTRACTOR SHALL PROVIDE WRITTEN DOCUMENTATION FROM GEOTECHNICAL ENGINEER, FOR STRUCTURAL FILLS PRIOR TO ACCEPTANCE OF PROJECT BY CITY OF CAMAS.
18. SLOPES SHALL BE HYDRO-SEEDED AS SOON AS PROPOSED GRADES ARE ESTABLISHED. CONTRACTOR TO PREPARE SLOPES FOR SEED BY "TRACKING" SLOPES AS PER ATTACHED DETAIL.

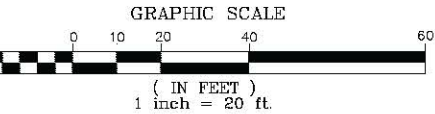
EROSION PROTECTION SHALL BE PLACED ON ALL OFFSITE STORM STRUCTURES DOWNSTREAM OF THE SITE OR AS WILL BE AFFECTED BY SITE CONSTRUCTION (TYP.)

MINIMAL GROUND DISTURBANCE WILL TAKE PLACE ON THE PROPERTY AS PART OF THE RESIDENTIAL DUPLEX CONSTRUCTION AND WILL BE LIMITED TO THE MINIMUM REQUIRED FOR FOUNDATION INSTALLATION, DRIVEWAY CONSTRUCTION AND YARD CONTOURING.

IN THE EVENT THAT ANY ITEM OF ARCHAEOLOGICAL INTEREST IS UNCOVERED DURING THE COURSE OF A PERMITTED GROUND DISTURBING ACTION OR ACTIVITY, ALL GROUND DISTURBING ACTIVITIES SHALL IMMEDIATELY CEASE AND THE APPLICANT SHALL NOTIFY THE PUBLIC WORKS DEPARTMENT AND DAHP



NOTE:
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PREPARED BY:
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VANCOUVER, WA 98681
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STERLING
DESIGN, INC.

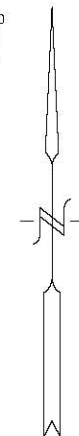
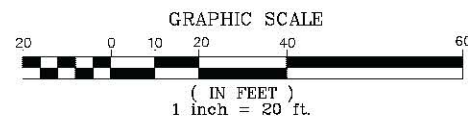
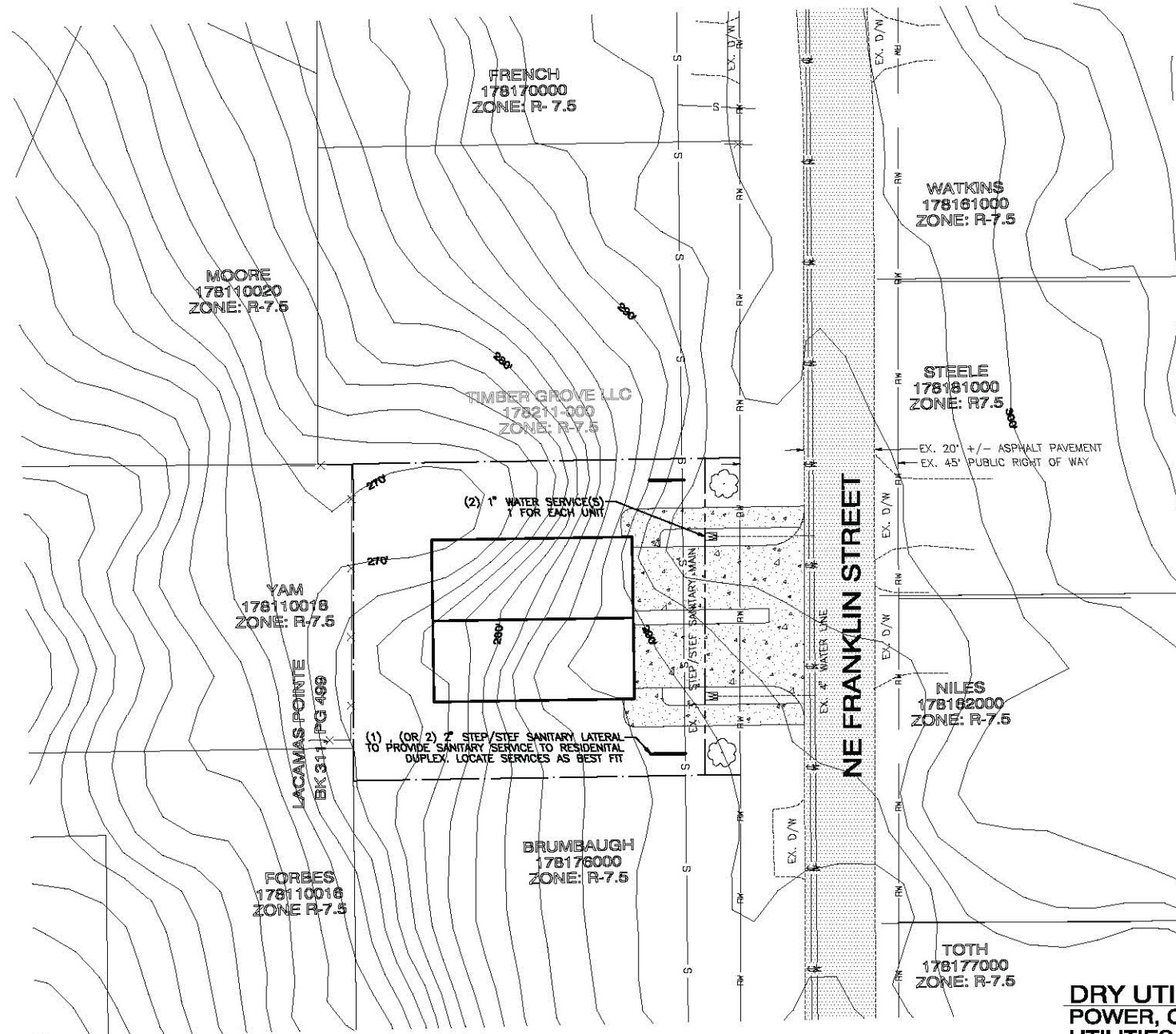
Sheet Description:
GRADING & EROSION
CONTROL PLAN

Project:
FRANKLIN DUPLEX
SOUTH



SITE INFORMATION

ALIGNMENT & FIELD DATA: MINISTER & GLAESER SURVEYING, INC. (360) 694-3313		Scale: AS SHOWN
SOL TYPE(s): HeD & HeB	HYDROLOGIC GROUP: C	AASHTO CLASSIFICATION: A-7
SOLS TESTING BY: -	DATE:	Project Number: 708
SITE LOCATION: CLARK COUNTY, WA	APPROX. SURFACE ELEV.: 270'-294'	Design/ Drawn: JGS/BC
SITE AREA: 0.23 ACRES	FILENAME: S:\708-Prelim.pro	Drawing Date: JAN. 2017
		Sheet 5 of 10 Sheet(s)



UTILITY NOTE(S)
RESIDENTIAL DUPLEX
WILL BE PROVIDED WITH:
1 (OR 2) - 6" SANITARY LATERAL
2- 1" WATER SERVICES

UTILITIES WILL BE INSTALLED IN
ACCORDANCE TO CITY OF CAMAS
STANDARDS

RESIDENTIAL FIRE SPRINKLERS ARE REQUIRED
PER NFPA 13D GUIDELINES AND CAMAS FMO

NOTE:
Existing utilities shown are approximate only from utility records and as visible at the site. Contractor shall verify presence, location, depth & slope of any and all existing utilities prior to construction. Contact One Call Concepts at (800) 424-5555.

DRY UTILITY NOTE:
POWER, CA TV AND OTHER FRANCHISE
UTILITIES ARE ON OVERHEAD LINES
ALONG THE EAST SIDE OF FRANKLIN ST.

SITE INFORMATION

ALIGNMENT & FIELD DATA: MINISTER & GLAESER SURVEYING, INC. (360) 694-3313		Scale: AS SHOWN
SITE LOCATION: CLARK COUNTY, WA	APPROX. SURFACE ELEV.: 270'-294"	Project Number: 708
SITE AREA: 0.23 ACRES	FILENAME: S:\708-Prelim.pro	Design/Drawn: JGS/BC
DATE: 1/18/17		Drawing Date: JAN. 2017
SHEET 6 OF 10 SHEET(S)		

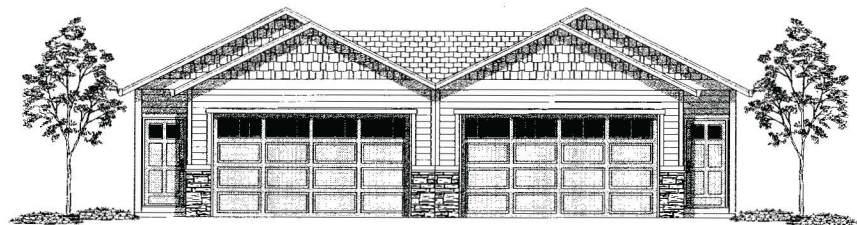
PREPARED BY:
STERLING DESIGN, INC.
2208 E EVERGREEN BLVD
VANCOUVER, WA 98681
TEL (360) 759-1794
FAX (360) 759-4993
mail@sterlingdesign.biz

STERLING
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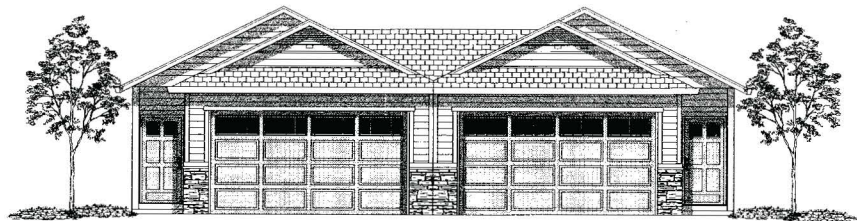
UTILITY CONNECTIONS PLAN

FRANKLIN DUPLEX
SOUTH

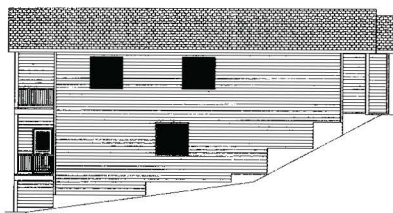




FRONT ELEVATION A
SCALE 1/4" = 1'-0"



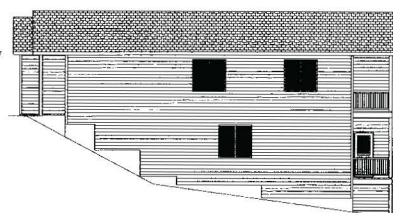
FRONT ELEVATION B
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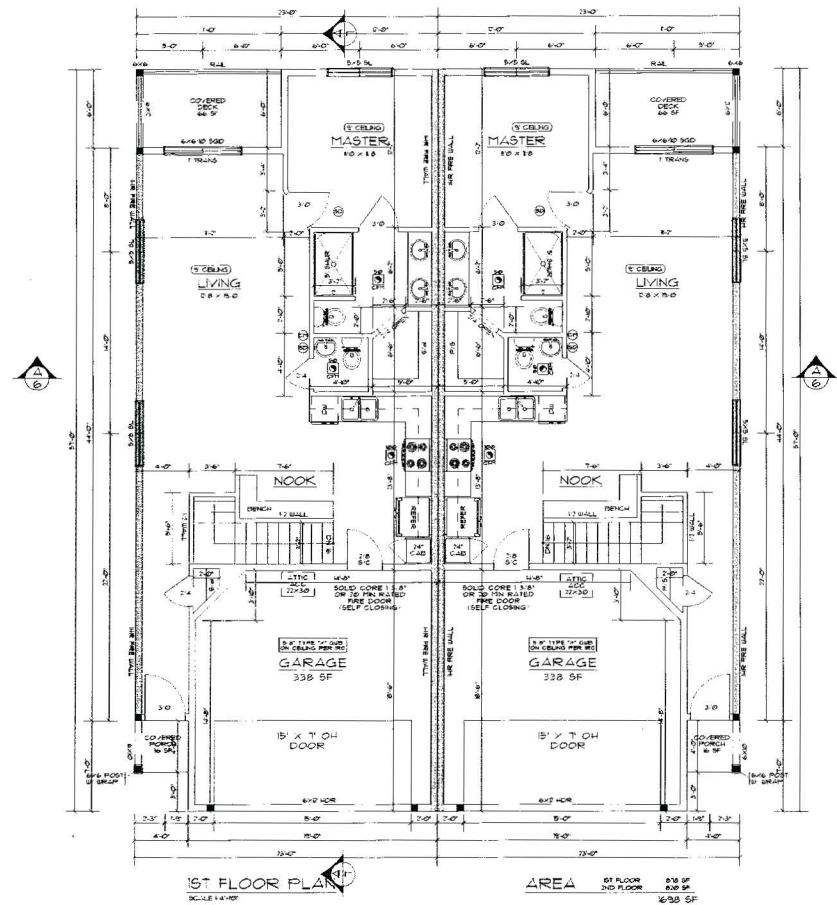
LEFT SIDE ELEVATION
SCALE 1/8" = 1'-0"



REAR ELEVATION
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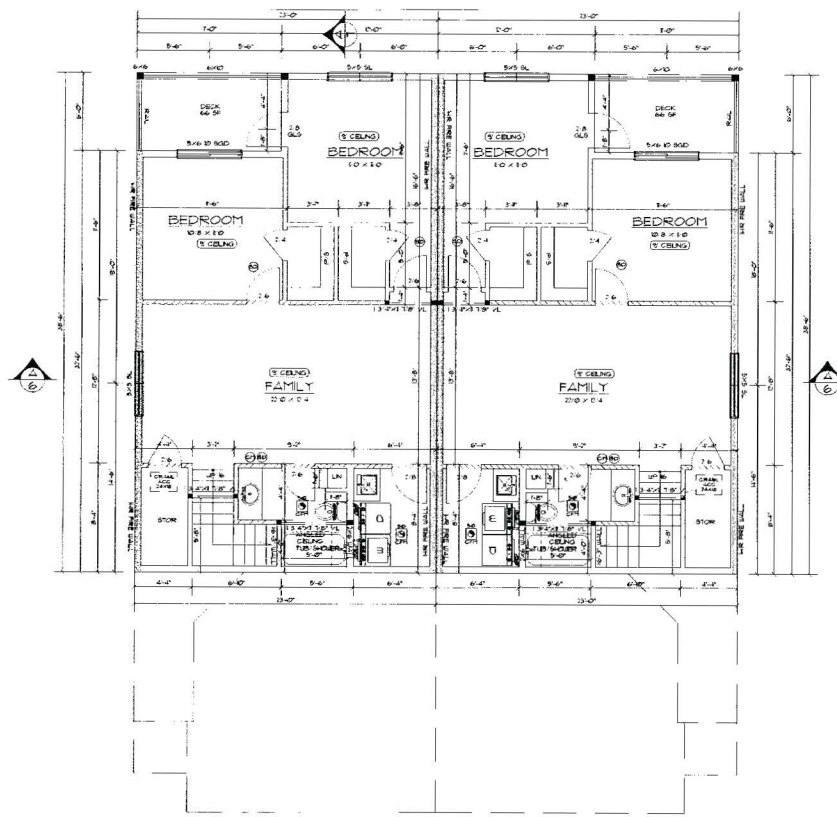


RIGHT SIDE ELEVATION
SCALE 1/8" = 1'-0"



1ST FLOOR PLAN
SCALE 1/4" = 1'-0"

AREA 1ST FLOOR 2103 SF
2ND FLOOR 1638 SF



BASEMENT FLOOR PLAN
SCALE 1/4" = 1'-0"

SITE INFORMATION

ALIGNMENT & FIELD DATA: MINISTER & GLAESER SURVEYING, INC. (360) 894-3313		Scale: AS SHOWN
SOIL TYPE(s): HeD & HeB	HYDROLOGIC GROUP: C	AASHTO CLASSIFICATION: A-7
SOILS TESTING BY: HeD & HeB	DATE: 1/13/17	Project Number: 708
SITE LOCATION: CLARK COUNTY, WA	APPROX. SURFACE ELEV.: 270'-294"	Design/Drawn: JGS/BC
SITE AREA: 5.708-Prelim.pro	FILENAME: S:\708-Prelim.pro	Drawing Date: JAN. 2017
		Sheet 7 of 10 Sheet(s)

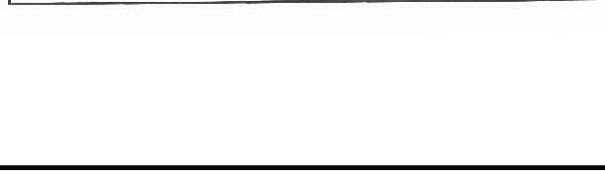
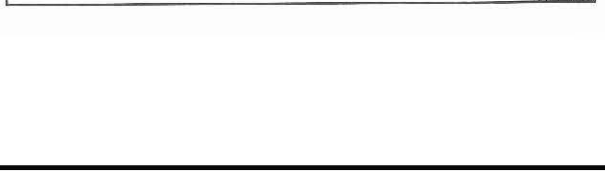
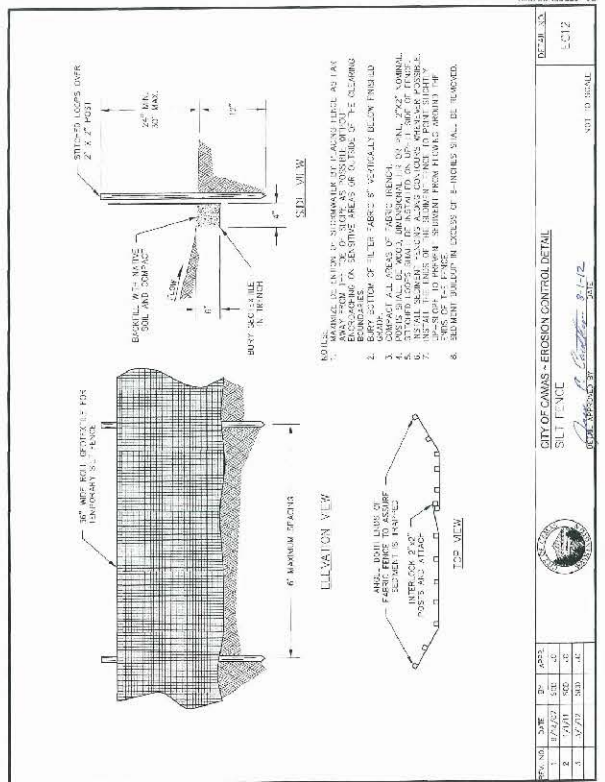
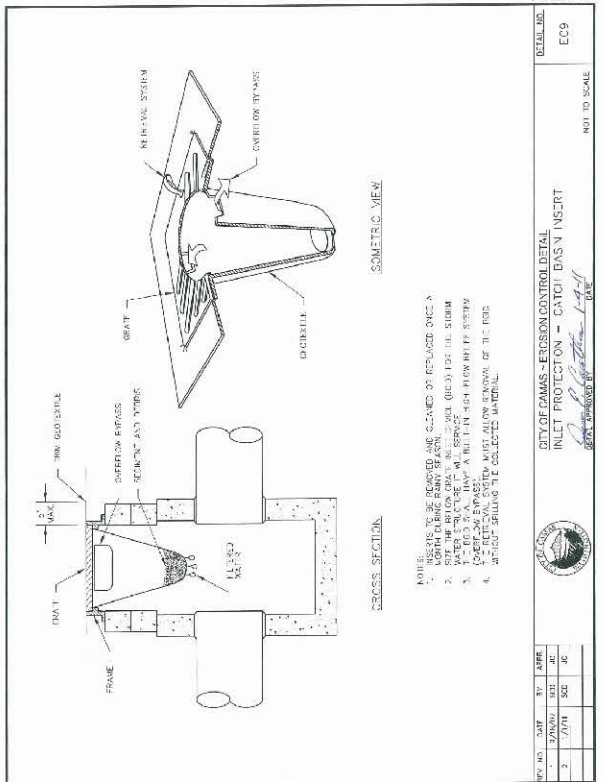
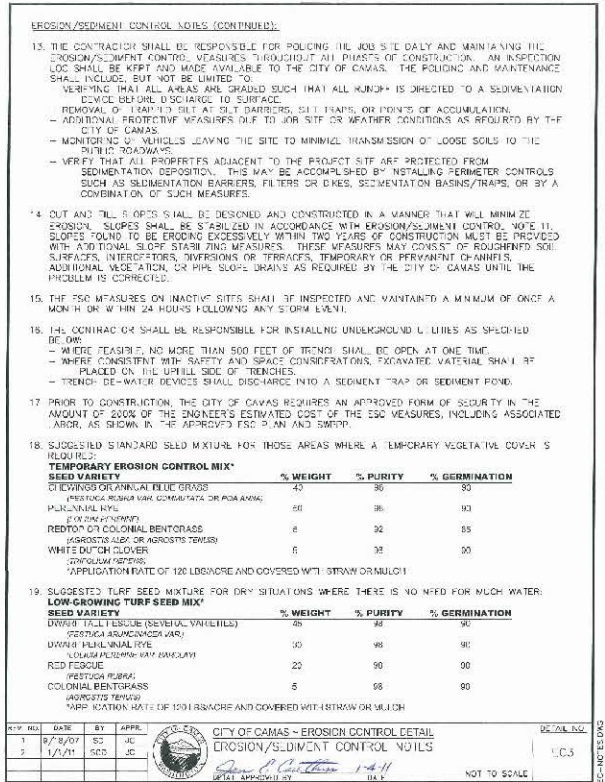
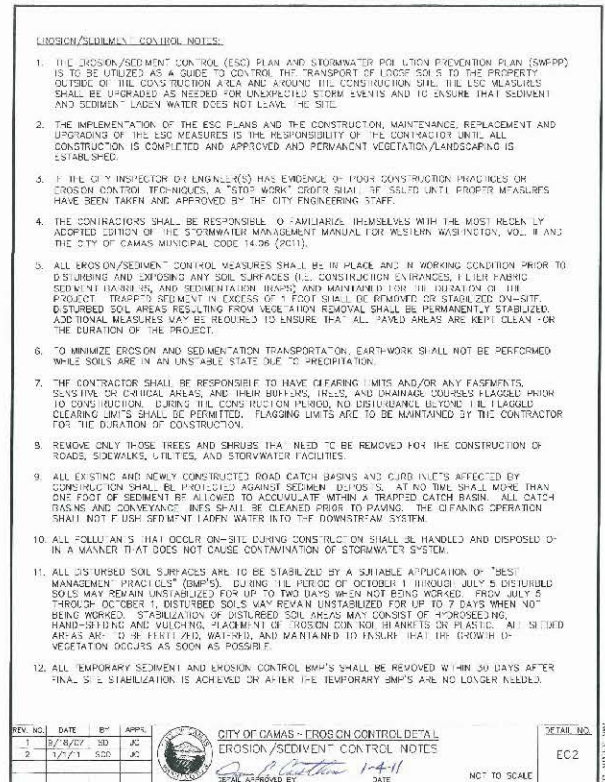
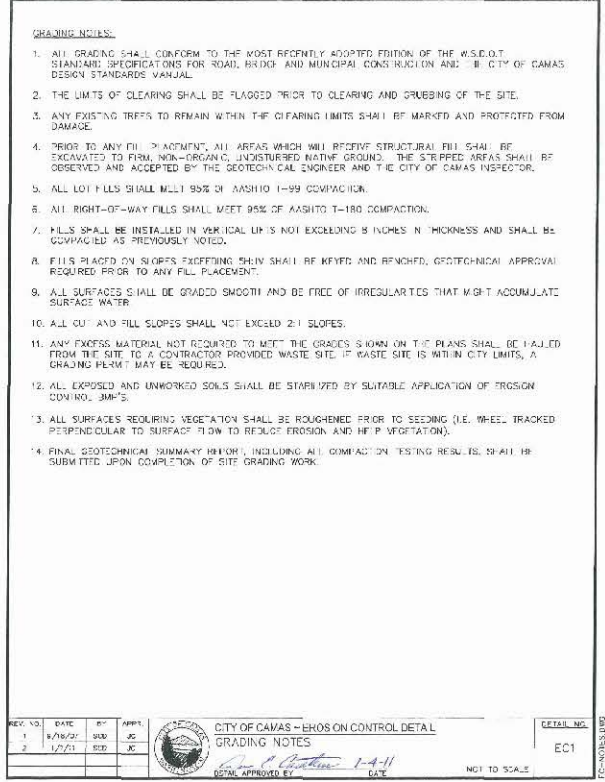
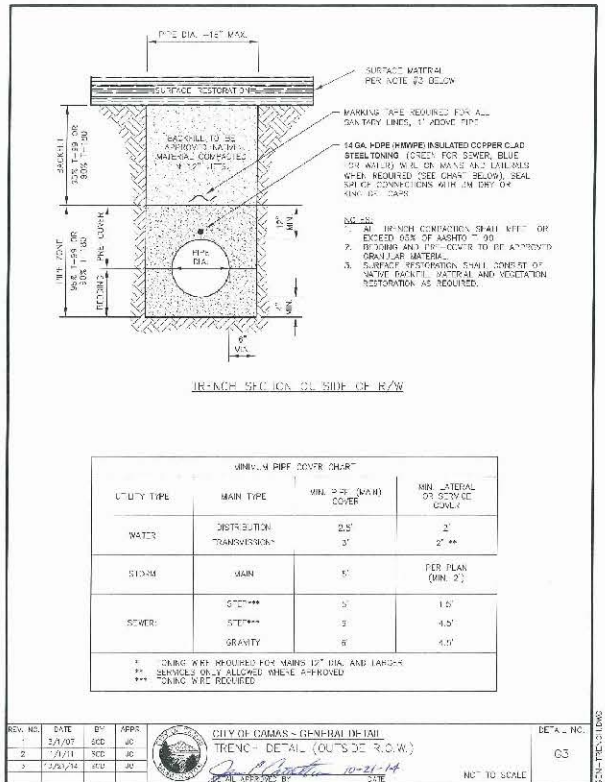
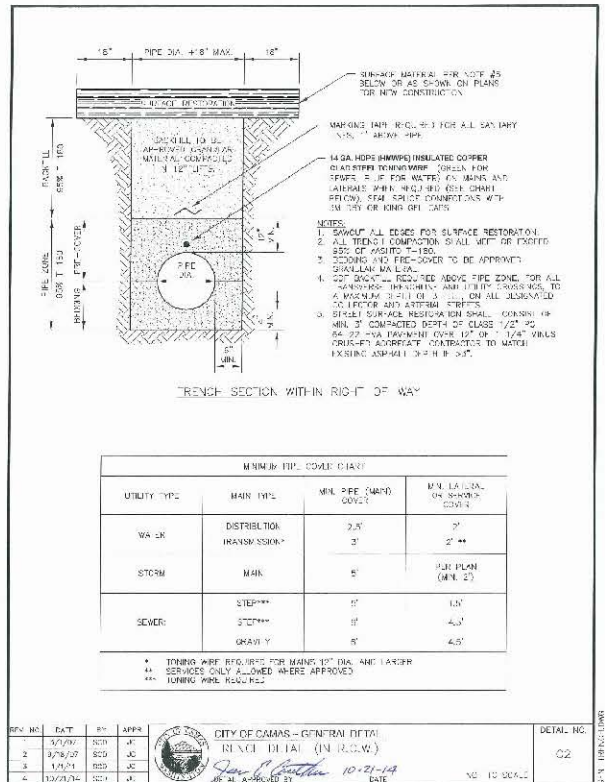
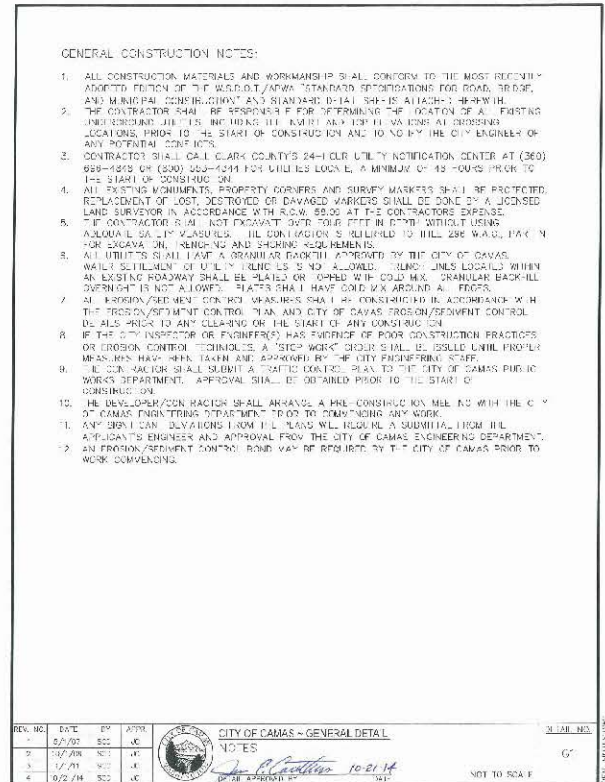
PREPARED BY:
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VANCOUVER, WA 98661
PH: (360) 759-1794
FAX: (360) 759-4983
mail@sterlingdesign.biz

STERLING
DESIGN, INC.

Sheet Description:
EXAMPLE RESIDENTIAL
DUPLEX PLAN

Project:
FRANKLIN DUPLEX





PREPARED BY:

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mailto:sterlingdesign@sterlingdesign.biz

STERLING DESIGN, INC.

Sheet Description:

FRANKLIN DUPLEX

Project:

FRANKLIN DUPLEX



Scale: AS SHOWN

Project Number: 708

Design/Drawn: JGS/BC

Drawn Date: JAN. 2017

Sheet 8 of 10 Sheet(s)

- | | | | | | |
|----------|----------|-----|------|--|------------|
| REV. NO. | DATE | BY | APP. |  CITY OF CAMAS - SANITARY DETAIL
STEP SEWER CONSTRUCTION NOTES
<i>P. B. Smith 10-21-14</i>
DESIGN APPROVED BY: DATE: | DETAIL NO. |
| 1 | 3/1/01 | CCG | GD | | SP1 |
| 2 | 1/1/11 | BCD | JD | | |
| 3 | 10/21/14 | CCG | JD | | |



- | REV | NO. | DATE | BY | APPR | CITY OF CAMAS - SANITARY DETAIL | DISTAL NO. |
|-----|----------|------|----|------|---------------------------------|------------|
| 1 | 5/1/07 | SGD | GC | | STEF SEWER CONSTRUCTION NOTES | SF1 |
| 2 | 1/1/11 | SGD | GC | | | |
| 3 | 10/21/14 | SGD | GC | | <i>Jan P. Ginter</i> 10-21-14 | |
- NOT TO SCALE



STERLING
DESIGN, INC.

Project: FRANKLIN DUPLEX



Sheet 9 of 10 Sheet(s)



Scale: AS SHOWN

Project Number: 708

Design/Drawn: JGS/BC

Drawing Date: JAN. 2017

Sheet 10 of 10 Sheet(s)

Project:

FRANKLIN DUPLEX

Sheet Description:

DETAILS SHEET

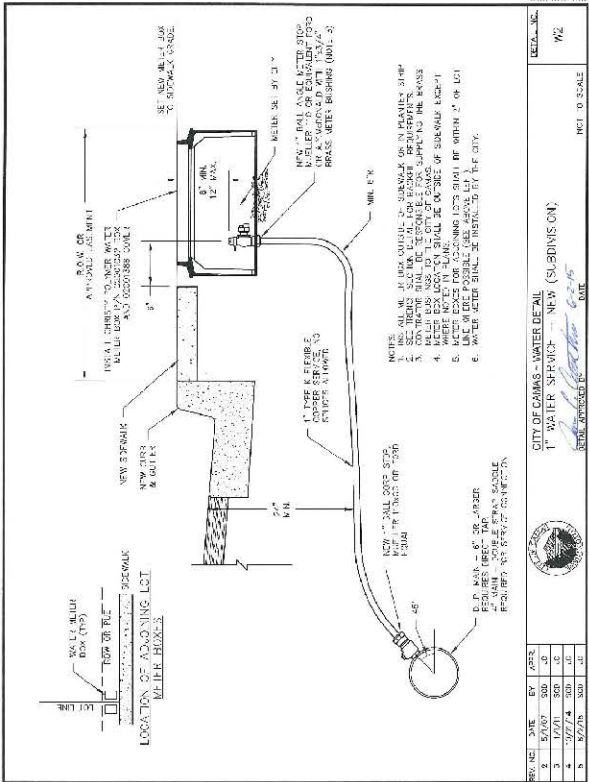
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- WATER CONSTRUCTION NOTES:**
1. ALL TRENCH EXCAVATION AND WORK IN EXISTING TRENCHES SHALL CONFORM TO THE MOST CURRENT A.A.W.A. STANDARDS AND THE MOST RECENTLY ADDED EDITION OF THE WSDOT STANDARD SPECIFICATIONS SECTION 7-04.01(1) AND SECTION 7-04.02(2). ALL EXISTING MATERIAL FROM THE TRENCH EXCAVATION SHALL BE LOADED DIRECTLY INTO A TRUCK, HUCK, AND DISPOSED OF AT AN APPROVED SITE.
 2. PIPE BEDDING PIPE JOINT, MANHOLE AND HATCH BACKFILL SHALL BE AN APPROVED GRANULAR MATERIAL OF EITHER WASHED SCREENINGS OR 3/8" INCH VIBRA CRUSHED ROCK. SAND BACKFILL IS NOT ALLOWED.
 3. TRENCH COMPACTION SHALL CONFORM TO THE MOST RECENTLY ADDED EDITION OF THE WSDOT STANDARD SPECIFICATIONS SECTION 7-04.02(2). COMPACTION SHALL BE THE TYPE OF EQUIPMENT AND METHOD USED TO MEET THE REQUIRED COMPACTION AND BE APPROVED BY THE CITY OF CANAS. TACKLIFT SHALL BE CONFINED TO A MAXIMUM OF 50 PERCENT OF THE MAXIMUM DENSITY AS DETERMINED BY THE A.A.W.A. C-1-NO TEST METHOD.
 4. SETTLEMENT OF THE FINISHED SURFACE WITHIN THE WARRANTY PERIOD SHALL BE CONSIDERED TO BE A RESULT OF IMPROPER COMPACTION AND SHALL BE PROMPTLY REPAIRED BY THE CONTRACTOR AT NO EXPENSE TO THE CITY.
 5. ALL VALVES 10 INCHES OR LESS IN DIAMETER SHALL BE A.A.W.A. APPROVED RUBBER GASKET VALVES, "BUSH" TO IT AT 200 PSI, HAVE NON RISING STEMS, AND OPEN BY TURNING TO THE LEFT. PROVIDE A 2 INCH HOLES FOR THE VALVE TO CONFORM TO A.A.W.A. C-504. ALL VALVES TO BE 10 INCHES OR LONGER IN DIAMETER SHALL BE A.A.W.A. APPROVED BUTTERFLY VALVES.
 6. ALL VALVES 12 INCHES OR LESS IN DIAMETER SHALL BE INSTALLED FROM FLANGE TO FLANGE. A. WATER PIPE 12 INCHES IN DIAMETER AND HATCH SHALL BE DUCTILE IRON, CLASS 50 PIPE. RUBBER GASKET TYPE SHALL BE JULIUS FRIEDLICH OR APPROVED EQUAL. ALL FITTINGS SHALL BE A.A.W.A. APPROVED. B. ALL VALVES SHALL CONFORM TO THE A.A.W.A. STANDARD C-110.
 7. ALL TEES, ELBOWS, CAPS, ELBOWS AND OFFSETS AS WELL AS ALL OTHER APPURTENANCES WHICH ARE SUBJECT TO IMPROVEMENT (HATCH) SHALL BE PROMPTLY REPAIRED BY ONE OF THE FOLLOWING METHODS:
A. CONCRETE BELL END BLOCKING AS SHOWN IN THE PLANS SHALL BE PLACED AT TEES, TEES, DEAD ENDS AND CHANGES IN DIRECTION. ALL BLOCKING SHALL BE CONCRETE POURED IN PLACE. CONCRETE BLOCKING SHALL BE PLACED SO UNDISTURBED EARTH AT THE SIDES AND BOTTOM OF THE TRENCH EXCAVATION AND SHALL BE SHOWN AS AN ADDITIONAL CONSTRUCTION ACCESS TO THE CITY OF THE PIPE. B. ALL PLASTIC SHALL BE RE-3 TO INSULATE PIPE.
C. ALSO AND/OR JOINTS SHALL USE TEEBA IRON SERIES 100 MODULO MECHANICAL JOINT. HATCH REPAIRS SHALL BE APPROVED EQUAL. CONTRACTOR TO RESTRAIN THE MINIMUM REQUIRED 2" TACKLIFT WITH "FIELD LOCK" GASKETS OR APPROVED EQUAL.
 8. ALL WATER MAINS SHALL BE INSTALLED AT 100 PSI IN ACCORDANCE WITH SECTION 7-04.02(2) OF THE STANDARD SPECIFICATIONS. THE CITY SHALL NOTIFIED 48 HOURS IN ADVANCE OF ACCEPTANCE TESTING. MAXIMUM LENGTH OF PIPE TO BE TESTED AT ONE TIME IS 1000 FEET.
 9. INFORMATION SHALL BE PROVIDED IN ACCORDANCE WITH SECTION 7-04.02(2) OF THE STANDARD SPECIFICATIONS. CITY INSPECTORS SHALL TAKE SAMPLES AND DELIVER TO LABORATORY FOR BACTERIA TESTING. NEGATIVE SAMPLE RESULTS SHALL BE CONFIRMED. PRIOR TO VALVE TESTING, INFORMATION OR SPECIAL TO SHOWN MAIN HATCH REQUIRED.
 10. APPROXIMATE POSITION AND OR LOCATION OF PLUMBING WATER MAINS SHOWN IN THE DRAWINGS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. ALL WORK SHALL BE APPROVED BY CITY AND OTHER REGULATORY AGENCIES.
 11. WATER MAIN TO HAVE A MINIMUM COVER OF 30 INCHES. WATER SERVICES TO HAVE A MINIMUM 24" OF COVER.
 12. ALL EXISTING VALVES TO BE OPERATED BY CITY OF CANAS WATER/WORK DEPARTMENT PERSONNEL ONLY.
 13. NO CONNECTIONS TO EXISTING WATER MAINS SHALL BE MADE PRIOR TO SATISFACTORY PRESSURE TESTING, DRAINING, AND A POSITIVE BACTERIA TEST.

REV. NO.	DATE	BY	APPR.	CITY OF CANAS - WATER DEPT.	DETAIL NO.
1	1/17/17	JGS	BC	WATER CONSTRUCTION NOTES	WT
2	1/17/17	JGS	BC	WATER CONSTRUCTION NOTES	WT
3	1/17/17	JGS	BC	WATER CONSTRUCTION NOTES	WT



TAB F.
PRE-APPLICATION REPORT



**Pre-Application Meeting Notes
Galanter Duplex
File PA 16-24**

Thursday, September 1, 2016
Council Chambers
616 NE Fourth Avenue, Camas, WA 98607

Applicant:

Dave Galanter
6614 NE 126th ST
Vancouver, WA 98686
360.904.7151
dgalanter@bannerbank.com

Property Owner:

Donald Grafton
2457 NW Fargo
Camas, WA 98607

Representing City of Camas:

Sarah Fox, Sr. Planner
Randy Miller, Fire Marshal
Norm Wurzer, Engineer
Jeff Noga, Plans Examiner

Location: 4033 and 4055 NE Franklin

Tax Accounts: 178211-000 and 178207-000

Zoning: R-7.5

Description: Applicant proposes to build a duplex on each lot

NOTICE: Notwithstanding any representation by City staff at a pre-application conference, staff is not authorized to waive any requirement of the City Code. Any omission or failure by staff to recite to an applicant all relevant applicable code requirements shall not constitute a waiver by the City of any standard or requirement. [CMC 18.55.060 (C)] This pre-application conference shall be valid for a period of 180 days from the date it is held. If no application is filed within 180 days of the conference or meeting, the applicant must schedule and attend another conference before the City will accept a permit application. [CMC 18.55.060 (D)] Any changes to the code or other applicable laws, which take effect between the pre-application conference and submittal of an application, shall be applicable. [CMC 18.55.060 (D)]. **A link to the Camas Municipal Code (CMC) can be found on the City of Camas website, <http://www.cityofcamas.us/> on the main page under "Business and Development".**

STAFF NOTES

PLANNING DIVISION

Sarah Fox | 817-7269

Applicable codes for this development include Title 16 Environment, Title 17 Land Development, and Title 18 Zoning of the Camas Municipal Code ("CMC"). The applicant is responsible for reviewing the code and addressing the applicable provisions. A duplex development in a single family zone requires **Conditional Use Permit approval**.

Type III Permits	Fee
Conditional Use Permit	\$3000 + \$95/per unit
Archaeological Review	\$120

Application Materials:

1. **General application** materials are listed at CMC18.55.110 (A through G). Include a site plan with the applicable setbacks, building footprint and elevations. Each lot will be required to install a street tree within the planter strip of the right-of-way.

A development sign will need to be installed on the property, which is within view of the road. The sign must be four feet by eight feet and remain on site until a decision has been rendered.

2. **Conditional Use Permit (CUP)**. The CUP requires a public hearing before the city's Hearings Examiner. The public hearings are scheduled as needed and require a minimum of two week notice prior to the hearing date.

The application narrative must include a response to the CUP approval criteria at CMC§18.43.050 Criteria.

18.43.050 - Criteria

The hearings examiner shall be guided by all of the following criteria in granting or denying a conditional use permit:

A. The proposed use will not be materially detrimental to the public welfare, or injurious to the property or improvements in the vicinity of the proposed use, or in the district in which the subject property is situated;

B. The proposed use shall meet or exceed the development standards that are required in the zoning district in which the subject property is situated;

C. The proposed use shall be compatible with the surrounding land uses in terms of traffic and pedestrian circulation, density, building, and site design;

Staff note: The surrounding neighborhood has a mix of housing types, with ranch homes flanking either side of the properties (page 6 or these notes). The proposed design with a garage door as the dominant feature, is inconsistent with the design of the houses along that street. A modification to the design to provide more area for living space windows facing the street and a lesser percentage of garage door frontage would be advised.

D. Appropriate measures have been taken to minimize the possible adverse impacts that the proposed use may have on the area in which it is located;

E. The proposed use is consistent with the goals and policies expressed in the comprehensive plan;

F. Any special conditions and criteria established for the proposed use have been satisfied. In granting a conditional use permit the hearings examiner may stipulate additional requirements to carry out the intent of the Camas Municipal Code and comprehensive plan.

3. **Archaeological Review.** The property is within an area that is considered to have a moderate-high probability for containing archaeological resources, and is within one-quarter mile of known archaeological resources. A predetermination report must be submitted as described at CMC§ 16.31.080. The city requires that a copy of the report be mailed to the following tribes and provide proof of mailing to the city. Refer to CMC§ 16.31.160 for the notification requirements.

Tribes	Contact(s)	Address
Chinook Indian Nation	Tony Johnson, Chairman	PO Box 368, Bay Center, WA 98527
Confederated Tribes and Band of the Yakama Indian Nation	Kate Valdez, THPO Cultural Resources	PO Box 151, Toppenish, WA 98948
	Johnson Meninick, Cultural Resources Program Manager	
Confederated Tribes of the Grande Ronde	Jordan Mercier, THPO, Cultural Protection Coordinator	9615 Grand Ronde Road, OR 97347-9712
Confederated Tribes of the Umatilla Indian Nation	Teara Farrow Ferman, Cultural Resources	46411 Timine Way, Pendleton, OR 97801-9467
Confederated Tribes of Warm Springs	Robert Brunoe, Tribal Historic Preservation Officer	PO Box 460, Warm Springs, OR 97761
Cowlitz Indian Tribe	dAVE Burlingame, Director Cultural Resources	PO Box 2547, Longview, WA 98632-8594
	James Gordon, Cultural Resources	PO Box 2547, Longview, WA 98632-8594
Nez Perce Tribe	Mary Jane Miles, Chairman	PO Box 305, Lapwai, ID 83540
Shoalwater Bay Tribe	Earl Davis, Heritage and Cultural Coordinator	PO Box 130, Tokeland, WA 98590

BUILDING DIVISION

Jeff Noga | 817-1568

1. The placement of buildings and structures on or adjacent to slopes steeper than one unit vertical in three units horizontal shall conform to Sections R403.1.7.1 through R403.1.7.4. A geotechnical reports may be required.
2. The structures will be reviewed under the most current building codes as adopted by The State of Washington.
3. The structural drawings and calculations shall be prepared and stamped by a Professional Engineer licensed by the State of Washington.
4. Required fire distance between buildings and from property line

5. If required the fire suppression system shall be in accordance with IBC and other applicable codes standards and shall be reviewed by the Camas Fire Marshal's office.
6. System Development Charges and Impact fees shall be assessed prior to permits
7. Storm sewer disposal/connections
8. Any development located within a special flood hazard area shall be in accordance with CMC 16.57
9. Verify Water and sewer availability with the public works department
10. Storm water from existing developments that slope towards the newly proposed developments should be taken into consideration.
11. Flag lots shall have a monument address sign at the street/driveway entrance
12. All lots shall be provided a storm drain lateral at the lowest practical location.

ENGINEERING DIVISION

Norm Wurzer | 817-1561

General Requirements:

- Construction plans shall be prepared by a licensed Washington State engineer in accordance with City of Camas standards.
- Existing wells and septic tanks and septic drain fields shall be abandoned in accordance with state and county guide lines per CMC 17.19.020 (A3).
- Per CMC 17.19.020 (A) Applicant shall provide public water and sewer services to each lot.
- A 3% plan review and inspection fee will be required per resolution number 1023. The fee will be based on an engineer's estimate or construction bid. The fee is due prior to approved construction drawings being released by the City.
- Regulations for installation of public improvements, improvement agreements, bonding, final platting and final acceptance can be found at CMC 17.21.
- Exception requests to the requirements of Title 17 shall meet the requirements of CMC 17.23.

Stormwater:

- If the applicant proceeds with an application that includes both lots, then they will be considered as one development when determining stormwater requirements (exceeding 5000 SF).
- Per CMC 14.02 stormwater treatment and runoff control, if triggered (5,000 SF of impervious surface), shall be designed in accordance with the 2012 Stormwater Management Manual for Western Washington and the City of Camas Stormwater Design Standards Manual.
- Stormwater facilities shall be located and landscaped per CMC 17.19.030 (F6) and CMC 17.19.040 (C3a).
- Maintenance of the storm water facilities will be the responsibility of the owner per CMC 17.19.040 (C3).

Streets:

- The applicant will be responsible for all traffic control signs, street name signs, pavement markings and street lighting per CMC 17.19.030 (I) (J). As of October, 2014 LED lighting is a requirement for all street lighting.
- The applicant will be responsible for the design and submittal of the utility plan showing the locations for underground power, telephone, gas, CATV, street lights and associated appurtenances.
- Per CMC 17.19.040 (B) the applicant will be required to dedicate a 10' half street Right-Of-Way.

Water:

- There is a 4" water line on NE Franklin

Sanitary Sewer:

- There is a 3" sanitary line STEP/STEF (contractor to confirm with City Water/Sewer dept.).

System Development Charges (SDC)

All fees are subject to change and are paid at time of building permit issuance.

For each single family detached residential structure the 2016 SDC will be as follows:

- | | |
|------------------------|-------------|
| • TIF North District | \$ 2,995.00 |
| • School impact fee | \$ 5,371.00 |
| • ¾" Water Meter fee | \$ 4,778.00 |
| • Water Connection fee | \$ 350.00 |
| • Sewer | \$ 2,493.00 |
| • Park/O.S. | \$ 2,290.00 |
| • Fire | \$ 0.20/SF |

FIRE MARSHAL

Randy Miller | 834-8866

- 1) Life Safety Residential Fire Sprinklers are required in all new residential structures, installed per NFPA 13D guidelines and Camas FMO review notes.
- 2) Special attention to the water service line into the house is required and shall be evaluated by your fire sprinkler contractor for correct sizing. Contact our office if you have any questions about the water service line size. If the underground contractor is going to install the line without following the fire sprinkler contractor design specs, then a 2 inch line is required. However the water line size could easily be down sized based on fire sprinkler contractor evaluation.
- 3) Provide address numbers that can easily be seen from NW 3rd St. and will not be blocked by parked vehicles, landscaping etc.

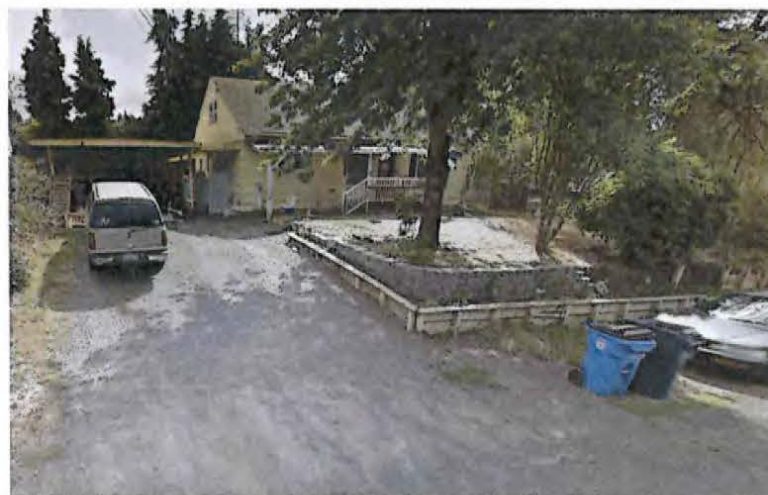
Sample of housing styles adjacent to the subject properties
1- 4015 NE Franklin



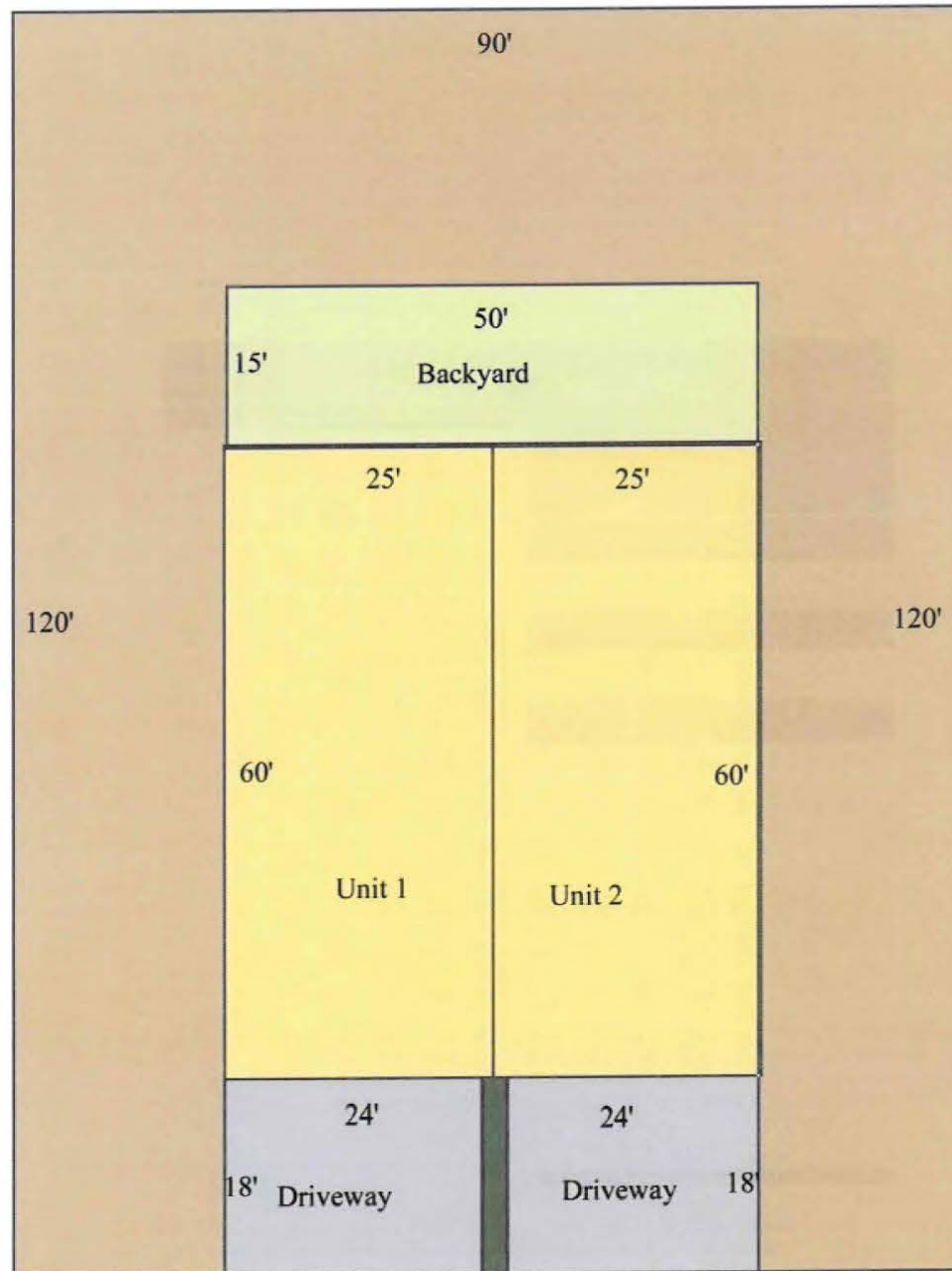
2- 4110 NE Franklin



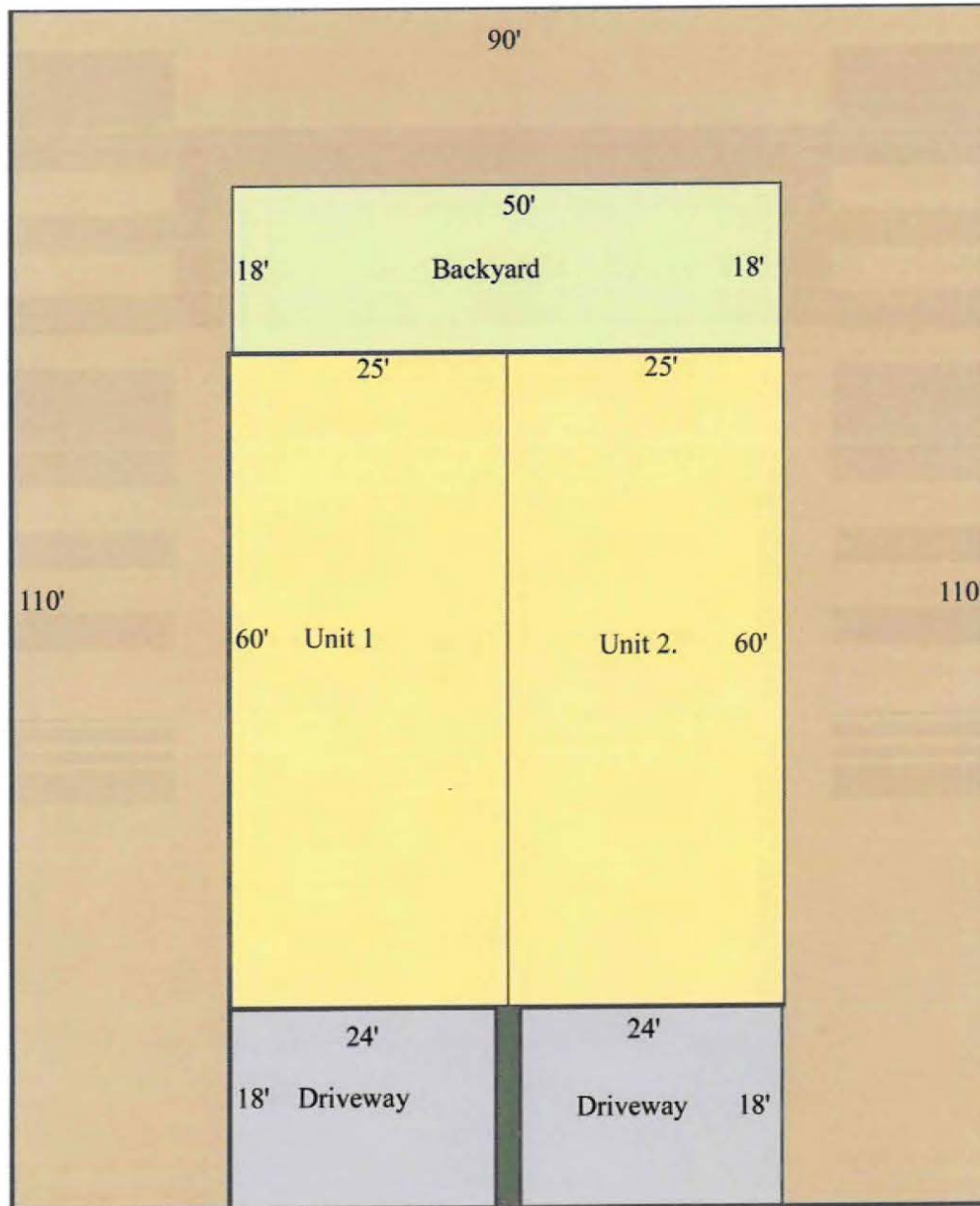
3- 4024 NW Franklin



Plot Map 4055 NE Franklin



Plot Map 4033 NE Franklin



TAB G.
SEPA CHECKLIST

N/A

TAB H.
SIGNAGE

**SIGNAGE FOR TYPE III APPLICATION
SHALL BE INSTALLED PRIOR TO BEING
DEEMED COMPLETE**