

# ***STERLING DESIGN, INC.***

2208 E. Evergreen Blvd.

Vancouver, WA 98661

Ph. (360) 759-1794/ Fax: (360) 759-4983

Email: Joel@SterlingDesign.biz

## **TYPE III CONDITIONAL USE PERMIT**

### **FRANKLIN DUPLEX NORTH**

**File PA 16-24**

**January 2017**

**Tax Lot 119 Serial Number 178211-000**

**Located in a portion of the SW ¼ of Section 35, Township 2 North, Range 3  
East, Willamette Meridian, Clark County, Washington.**

**Owner:** Timber Grove LLC  
1625 NW Ivy Street  
Camas WA, 98607

**Applicant/Contact Person:** Joel Stirling  
STERLING DESIGN, INC.  
2208 E. Evergreen Blvd.  
Vancouver, WA 98661  
Ph. (360) 759-1794/ Fax: (360) 759-4983  
Joel@SterlingDesign.biz

## **TABLE OF CONTENTS:**

Cover Sheet

- With Table of Contents

- A. Application Form & Fees
- B. Permit Approvals Sought
- C. Mailing List and Labels with 300' Radius
- D. Narrative
- E. Preliminary Plan Set
- F. Pre Application Report
- G. SEPA Checklist
- H. Signage Installed At the Property
- I. Archaeological Pre-Determination Report

<p><b><u>TAB A.</u></b> <b>APPLICATION FORM(S) &amp; FEE(S)</b></p>
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Community Development Department | Planning  
616 NE Fourth Avenue | Camas, WA 98607  
(360) 817-1568 | [www.cityofcamas.us](http://www.cityofcamas.us)

General Application Form

Case Number:

Applicant Information

Applicant/Contact: Sterling Design, Inc. Phone: (360) 759-1794  
Address: 2208 E. Evergreen Blvd. Joel@SterlingDesign.biz  
Street Address E-mail Address  
Vancouver WA 98661  
City State ZIP Code

Property Information

Property Address: 4055 NE Franklin Street 178211-000  
Street Address County Assessor # / Parcel #  
Camas WA 98607  
City State ZIP Code  
Zoning District R-7.5 Site Size 0.25 acres

Description of Project

Brief description: Site plan approval to construct (1) Duplex structure on a 0.25 acre lot zoned R-7.5.

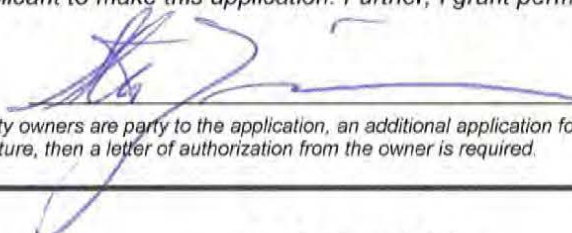
Are you requesting a consolidated review per CMC 18.55.020(B)? ☐ YES ☐ NO  
Permits Requested: ☐ Type I ☐ Type II ☐ Type III ☐ Type IV, BOA, Other

Property Owner or Contract Purchaser

Owner's Name: Timber Grove LLC Phone: ( ) Unavailable  
Last First  
Address: 1625 NW Ivy Street Camas, WA 98607  
Street Address Apartment/Unit #  
E mail Address: Unavailable  
City State Zip

Signature

*I authorize the applicant to make this application. Further, I grant permission for city staff to conduct site inspections of the property.*

Signature: 

Date: 11-30-16

Note: If multiple property owners are party to the application, an additional application form must be signed by each owner. If it is impractical to obtain a property owner signature, then a letter of authorization from the owner is required.

Date Submitted: \_\_\_\_\_ Pre-Application Date: \_\_\_\_\_

Staff: \_\_\_\_\_ Related Cases # \_\_\_\_\_

Validation of Fees



### Application Checklist and Fees [January 1, 2016]

◇ Annexation	\$260 - 10% petition; \$1,300 - 60% petition	001-00-345-890-00	\$
◇ Appeal Fee		001-00-345-810-00	\$350.00 \$
◇ Archaeological Review		001-00-345-810-00	\$120.00 \$ 120.00
◇ Binding Site Plan	\$1,650 + \$21 per unit	001-00-345-810-00	\$
◇ Boundary Line Adjustment		001-00-345-810-00	\$90.00 \$
◇ Comprehensive Plan Amendment		001-00-345-810-00	\$1,730.00 \$
◇ Conditional Use Permit			
Residential	\$3,000 + \$95 per unit	001-00-345-810-00	\$ 3,190
Non-Residential		001-00-345-810-00	\$3,800.00 \$
◇ Continuance of Public Hearing		001-00-345-810-00	\$300.00 \$
◇ Critical or Sensitive Areas (fee per type)		001-00-345-810-00	\$680.00 \$
(wetlands, steep slopes or potentially unstable soils, streams and watercourses, vegetation removal, wildlife habitat)			
◇ Design Review			
Minor		001-00-345-810-00	\$380.00 \$
Committee		001-00-345-810-00	\$1,750.00 \$
◇ Development Agreement	\$770 first hearing; \$300 ea. add'l hearing	001-00-345-810-00	\$
◇ Engineering Department Review			
Review Fee	3% of estimated construction costs	001.00.345.830.20	\$
Modification to Approved Construction Plans		001.00.345.810.00	\$370.00 \$
◇ Fire Department Review			
Short Plat or other Development Review		001-00-345-830-10	\$125.00 \$
Short Plat or other Development Inspection		001-00-322-110-00	\$125.00 \$
Subdivision or PRD Review		001-00-345-830-10	\$155.00 \$
Subdivision or PRD Inspection		001-00-322-110-00	\$155.00 \$
Site Plan Review		001-00-322-110-00	\$185.00 \$
Site Plan Inspection		001-00-322-110-00	\$185.00 \$
◇ *Fisher Basin storm development charge (See CMC 13.88.100)		419-00-379-000-00	\$
*For Final Plats within Fisher Basin, storm development fees due at time of final plat application			
◇ Home Occupation			
Minor - Notification (No fee)			\$0.00
Major		001-00-321-900-00	\$60.00 \$
◇ LI/BP Development	\$3800 + \$36.00 per 1000 sf of GFA	001-00-345-810-00	\$
◇ Minor Modifications to approved development		001-00-345-810-00	\$175.00 \$
◇ Planned Residential Development	\$30 per unit + subdivision fees	001-00-345-810-00	\$
◇ Plat, Preliminary			
Short Plat	4 lots or less: \$1700.00 per lot	001-00-345-810-00	\$
Short Plat	5 lots or more: \$6,300 + \$220 per lot	001-00-345-810-00	\$
Subdivision	\$6,300 + \$220 per lot	001-00-345-810-00	\$
◇ Plat, Final:			
Short Plat		001-00-345-810-00	\$175.00 \$
Subdivision		001-00-345-810-00	\$1,050.00 \$
◇ Plat Modification/Alteration		001-00-345-810-00	\$540.00 \$
◇ Pre-Application (Type III or IV Permits)			
No fee for Type I or II			
General		001-00-345-810-00	\$310.00 \$
Subdivision		001-00-345-810-00	\$800.00 \$
◇ SEPA		001-00-345-890-00	\$710.00 \$
◇ Shoreline Permit		001-00-345-890-00	\$770.00 \$
◇ Sign Permit			
General Sign Permit	(Exempt if building permit is required)	001.00.322.400.00	\$35.00 \$
Master Sign Permit		001.00.322.400.00	\$110.00 \$
◇ Site Plan Review			
Residential	\$1,010 + \$30 per unit	001-00-345-810-00	\$
Non-Residential	\$2,525 + \$60 per 1000 sf of GFA	001-00-345-810-00	\$
Mixed Residential/Non Residential		001-00-345-810-00	\$
\$3,560 + \$30 per res unit + \$60 per 1000 sf of GFA			
◇ Temporary Use Permit		001-00-321-990-00	\$70.00 \$
◇ Variance (Minor or Major)		001-00-345-810-00	\$610.00 \$
◇ Zone Change (single tract)		001-00-345-810-00	\$1,720.00 \$

Adopted by Res. 1023, Aug 2005; Revised by Res. 1113, Sept. 2007; Revised by Res. 1163, Oct. 2009; Revised by Res. 1204, Nov 2010

Revised by Res. 15-001 Jan 2015; Revised by Res. 15-007 May 2015; Revised by RES 15-018, Dec 2015

For office use only

**Total Fees Due: \$ 3,310**

**TAB B.**  
**PERMIT APPROVALS SOUGHT**

- **GENERAL APPLICATION**
- **TYPE III – CONDITIONAL USE PERMIT**

**TAB C.**  
**MAILING LIST & LABELS WITHIN**  
**300' RADIUS OF SITE**

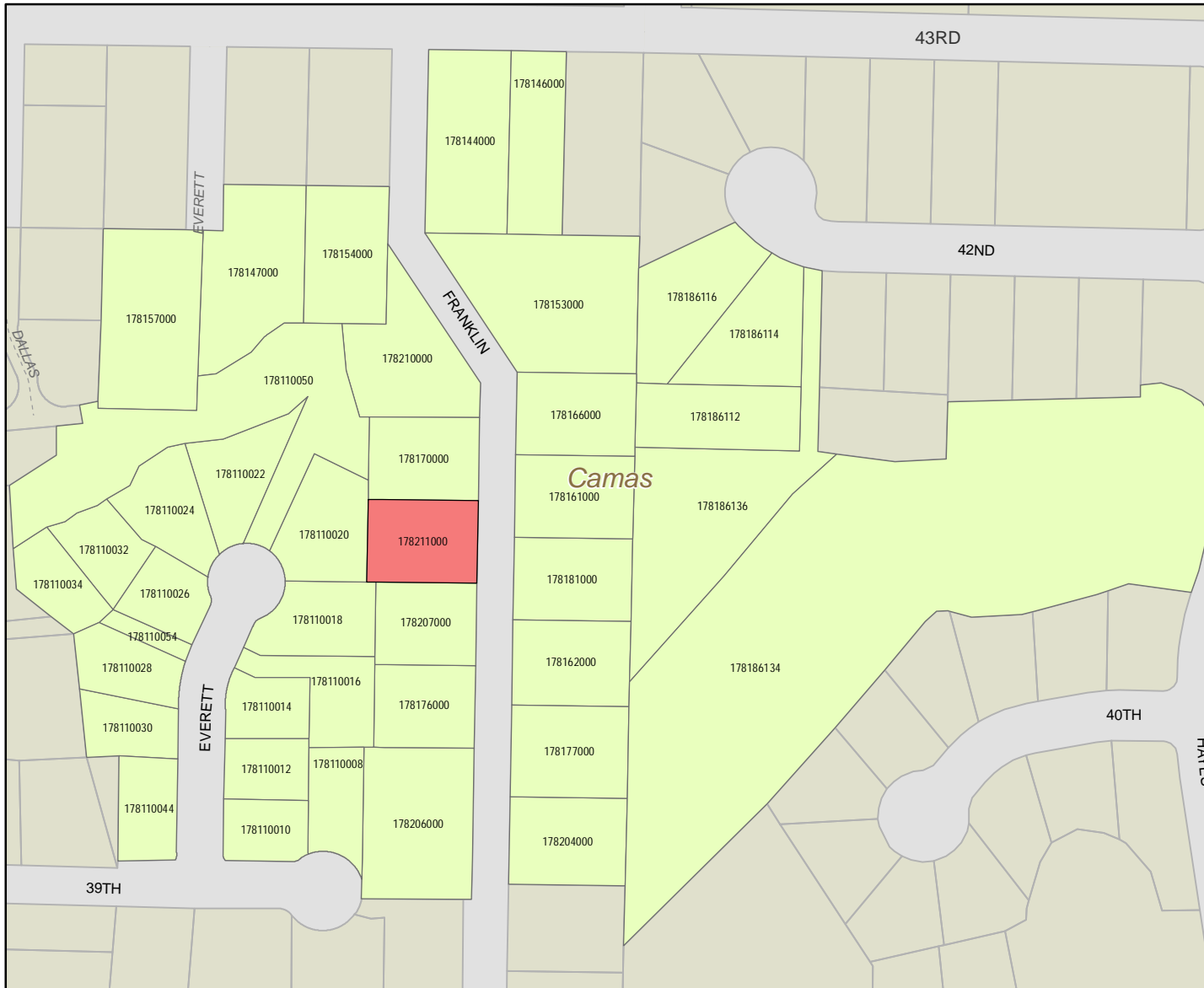
PID(s): 178211000 , 300 Foot Buffer

Locator



### Legend

- Subject Property
- Buffer Selection
- Parcels
- Water Body
- Incorporated
- Urban Growth Area
- Unincorporated



Scale: 1:2,117

NOTE: This data is compiled from many sources and scales. Clark county makes this information available as a service, and accepts no responsibility for any inaccuracy, actual or implied.

GIS Order Number: 171156

Printed: 12/27/2016

Path: \\olympus\gis\programs\GISTools\Orders\Scripts\Development\MailingListPacket\xxPID\_178211000\_600831\MailingListPacket.mxd



Owner Name	Mailing Address
BECKER DAVID R JR & BECKER CAROLYN ETAL	23007 NE 179TH ST, BRUSH PRAIRIE, WA, 98606
BERG ROBERT L & BERG CAROL A	3945 NE FRANKLIN ST, CAMAS, WA, 98607
BERLINER AUBREY AARON III & BERLINER TERESA RENE A	54112 NW JACKSON LOOP, CAMAS, WA, 98607
BRUMBAUGH BERT C	4015 NE FRANKLIN ST, CAMAS, WA, 98607
CITY OF CAMAS	616 NE 4TH AVE, CAMAS, WA, 98607
COLLETT SHERRY A	4122 NE FRANKLIN ST, CAMAS, WA, 98607
DEP 2 LLC	PO BOX 805, CAMAS, WA, 98607
ENOS MATTHEW	642 NE 42ND CIR, CAMAS, WA, 98607
FAN ANDREW RUEY HONG	4175 NE EVERETT CT, CAMAS, WA, 98607
FORBES CORY W & FORBES STACEY	1276 ALMA LN, MECHANICSBURG, PA, 17055
FRENCH JUDITH C	4117 NE FRANKLIN ST, CAMAS, WA, 98607
GIBSON ROBIN C & GIBSON VICKIE A	107 SE 202ND AVE, CAMAS, WA, 98607
GMELIN FRANK & GMELIN MICHELLE	4001 NE EVERETT CT, CAMAS, WA, 98607
HAMMOND GREGORY S & HAMMOND DEADRA D	704 NE 42ND CIR, CAMAS, WA, 98607
HERBERT ARON M & SMITH MARIA G TRUSTESS	509 NE 39TH AVE, CAMAS, WA, 98607
HICKS ROBERT H JR & RHONDA L HICKS	4026 NE EVERETT CT, CAMAS, WA, 98607
HUANG MATTHEW M & HUANG GRACE CHIA-HUEI	17005 SE 16TH ST, VANCOUVER, WA, 98683
JESTER JEANETTE MARGARET	4211 NE FRANKLIN STREET, CAMAS, WA, 98607
KING TERRY & KING PATRICIA	4150 NE FRANKLIN ST, CAMAS, WA, 98607
LANGSTON LARRY W & LANGSTON LYNELLE E	4039 NE EVERETT CT, CAMAS, WA, 98607
MANISTIQUE LLC	13217 NW 30TH ST, VANCOUVER, WA, 98685
MAY RICHARD H II & MAY TARA Z	3942 NE EVERETT CT, CAMAS, WA, 98607
MCCOY SCOTT & MCCOY HOLLY	4231 Z ST, WASHOUGAL, WA, 98671
MOORE TIMOTHY S & MOORE CARMEN J	4030 NE EVERETT CT, CAMAS, WA, 98607
NILES GEOERL & NILES JULIANNE E	4024 NE FRANKLIN ST, CAMAS, WA, 98607
PARKER SCOTT M & PARKER TAMAR A	710 NE 42ND CIR, CAMAS, WA, 98607
PATRICIO PAMELA J & PATRICIO JAN C	5318 S PINEBROOK CT, SPOKANE, WA, 98206
POSNER ROBERT L & POSNER KATHRYN G TRUSTEES	10250 KAYLEN PL, BELLEVUE, WA, 98004
RENNER GERALD & RENNER NANCY	4230 NE FRANKLIN ST, CAMAS, WA, 98607
RHYASEN MICHAEL & RHYASEN MELISSA	4027 NE EVERETT CT, CAMAS, WA, 98607
RITCHIE DAVID	4033 NE EVERETT CT, CAMAS, WA, 98607
SHAHIDI JILLEEN L	4021 NE EVERETT CT, CAMAS, WA, 98607
SHEPLEY KRISTINA	4014 NE EVERETT CT, CAMAS, WA, 98607
SPENCER ROBERT L & SPENCER MEGAS K	4003 NE EVERETT CT, CAMAS, WA, 98607
STEELE GERALD K & STEELE LARHEA M	4046 NE FRANKLIN ST, CAMAS, WA, 98607
TIMBER GROVE LLC	1625 NW IVY ST, CAMAS, WA, 98607
TOTH KIM C & TOTH RODNEY C	1802 C ST APT 2, WASHOUGAL, WA, 98671
WATKINS MICAIAH D	4110 NE FRANKLIN ST, CAMAS, WA, 98607
WINTERS SANDRA	4015 NE EVERETT CT, CAMAS, WA, 98607

This document created by the Clark County,  
Washington Geographic Information System

Number of records 39

Number of Pages 2

Date Created 12/27/11

Employee Signature 

Employee Name Bob Pool



Owner Name	Mailing Address
------------	-----------------

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CAMAS, WA 98607

**TAB D.**  
**NARRATIVE**

## CONDITIONAL USE PERMIT NARRATIVE:

The Franklin Duplex North proposal is to construct a Residential Duplex on one property of record, serial number: 178211-000, located in a portion of the SW ¼ quarter of Section 35, Township 2 North, Range 3 East of the Willamette Meridian, Clark County, Washington. The property is located within the R-7.5 zone standards and is currently vacant land heavily vegetated with blackberry bushes, a few trees, and other vegetation.

### **CMC18.43.050 – Approval Criteria**

- A. The proposed use will not be materially detrimental to the public welfare, or injurious to the property or improvements in the vicinity of the proposed use, or in the district in which the subject property is situated;***

**Response:** The proposed duplex structure will not be materially detrimental to the public welfare and not injurious to the other properties in the vicinity of the property. There are a mix of housing types along NE Franklin Street already and another existing duplex located approximately 430 feet to the north at the intersection of NE Franklin Street and NE 43<sup>rd</sup> Avenue. Currently the property is overgrown with heavy vegetation with the majority of the vegetation being noxious weeds. Construction of a duplex on the property will clean up the property which will be beneficial to adjacent properties by eliminating a source of weed seeds along with eliminating a location where transients are able to utilize the dense vegetation as screening for illegal camping/occupations.

- B. The proposed use shall meet or exceed the development standards that are required in the zoning district in which the subject property is situated;***

**Response:** The lot size is 10,890 sq.ft. which exceeds the average lot size of 7,500 sq.ft. that is required within the R-7.5 zoning district. Since the lot is already existing, and no land division is proposed, exceeding the 7,500 sq.ft. lot size is not an issue. The property dimensions are within all of the minimum requirements of the R-7.5 zone. The proposed construction of the Residential Duplex will adhere to the setback requirements outlined within CMC18.09.040 – Table 2 which requires a minimum of a 20 foot Front Yard Setback, minimum 5 foot Side Yard Setbacks, and a 25 foot Rear Yard Setback. The Residential Duplex will be provided with either one (1), or two (2) separate sanitary sewer connections, along with two (2) separate water services as required by CMC17.19.020(C.)(2.)(b.) & CMC17.19.020(C.)(4.)(b.). Construction of the Residential Duplex will create less than 5,000 sq.ft. of new hard surfaces so no Stormwater Quality or Quantity Control Facilities are proposed as part of the project.

- C. The proposed use shall be compatible with the surrounding land uses in terms of traffic and pedestrian circulations, density, building, and site design;***

**Response:** The proposed Residential Duplex is compatible with the mix of surrounding single family homes that are near the property. There is also another existing Residential Duplex structure located approximately 430 feet to the north which further supports the capability of a Residential Duplex with the mix of existing homes located along NE Franklin Street. Traffic and pedestrian circulation comparisons between a

Residential Duplex and a Single Family Home are not significantly different and since there are no existing curbs or sidewalks along NE Franklin Street, none will be constructed as part of the Residential Duplex construction. This will further assure that the proposed use is compatible with the surrounding land uses. The proposed Residential Duplex will be designed to blend with the existing single family homes by providing more area for living space windows facing Franklin Street and a lesser percentage of garage door frontage. Yard areas will be maintained in grass and vegetation similar to the surrounding single family home uses.

***D. Appropriate measures have been taken to minimize the possible adverse impacts that the proposed use may have on the area in which it is located;***

**Response:** The proposed Residential Duplex will be designed to blend with the existing single family homes by providing more area for living space windows facing Franklin Street and a lesser percentage of garage door frontage. Yard areas will be maintained in grass and vegetation similar to the surrounding single family home uses. The Residential Duplex will provide housing that is similar to many of the smaller single family homes located near the property on NE Franklin Street and also similar to the existing Residential Duplex that is located approximately 500 feet to the north of the property. A decorative street tree will be planted within the front yard of the Residential Duplex to add to the character of NE Franklin Street and to provide for buffering of the new structure from the street.

***E. The proposed use is consistent with the goals and policies expressed in the comprehensive plan;***

**Response:** The proposed Residential Duplex will provide for much needed additional residential housing within the City of Camas. The Comprehensive Plan outlines the need for both additional single family housing and also a mix of other residential uses to meet the needs of a growing community. A Residential Duplex provides an alternative to a single family home that often time is more affordable and also requires less physical up-keep due to the yard areas being smaller then the standard single family home. In a time when many residents of the City of Camas are working longer hours to keep up with higher costs of living, a Residential Duplex meets both the need of more affordable housing and helps offset the amount of time that is needed to maintain the yard areas.

***F. Any special conditions and criteria established for the proposed use have been satisfied. In granting a conditional use permit the hearings examiner may stipulate additional requirements to carry out the intent of the Camas Municipal Code and comprehensive plan.***

**Response:** At this time there are no special conditions or criteria for the proposed use. If there are additional measures required by the hearings examiner, they will be implemented with the project as required.

## **Pre-Application Conference:**

A Pre-Application Conference was held for the project on September 1, 2016 and the Pre-Application Report is included herein. The specific issues discussed in the conference are addressed further on within this document.

Sterling Design, Inc. has prepared a formal Site Plan Application packet for the Franklin Duplex South which includes the required submittal items listed within the City of Camas Code. An Archaeological Pre-Determination was completed on the property by Archaeological Services of Clark County and is included within the application materials. Copies of the Pre-Determination have been sent to the appropriate agencies for review and concurrence. No artifacts were discovered on the property.

All Building Division requirements will be met at the time that the building permit for the Residential Duplex is submitted for review and approval.

Sanitary sewer is located along the front of the property within NE Franklin Street and one (1), or two (2), sanitary sewer services will be extended to the Residential Duplex as required by CMC17.19.020(C.)(2.)(b.). The existing sanitary sewer system is identified by the City of Camas as being a 3" STEP/STEF system.

Water is also available within NE Franklin Street and two (2) water services will be provided to the Residential Duplex as required by CMC17.19.020(C.)(4.)(b.). The existing water system is identified by the City of Camas as being a 4" water line.

The project will create less than 5,000 sq.ft. of new hard surfaces therefore no Stormwater Quality or Quantity Control Facilities are proposed as part of the project.

The new Residential Duplex will be provided with Residential Fire Sprinklers as required by City of Camas Code.

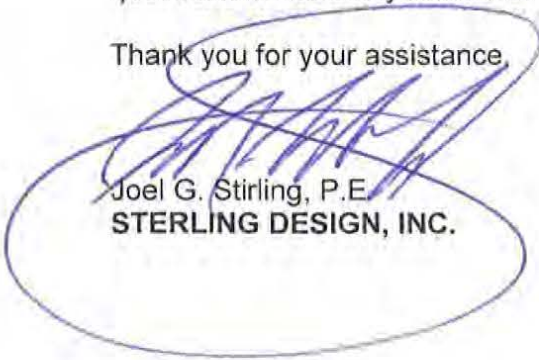
The development of this site into a Residential Duplex will aid in meeting the zoning and comprehensive plan goals for the area. The development of this site will provide for a variety of building opportunities. The full build out of this development will provide housing consistent with the goals of the Growth Management Act and will provide housing that is compatible with the existing housing types located in the vicinity.

## **Applications submitted for this project:**

- **General Application**
- **Conditional Use Permit**

Please review the enclosed data and contact us as soon as possible if you have any questions or need any additional data.

Thank you for your assistance,



Joel G. Stirling, P.E.  
**STERLING DESIGN, INC.**

**TAB E.**  
**PRELIMINARY PLAN SET**



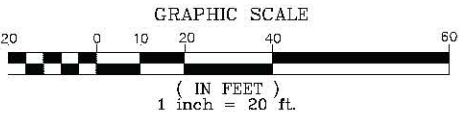
PRE APPLICATION:

• PA16-24

PERMITS REQUESTED:

- CONDITIONAL USE PERMIT
- GENERAL APPLICATION

TYPE II CONDITIONAL USE PERMIT



FRANKLIN DUPLEX

A Preliminary Site within  
a portion of the SW 1/4  
of Sec. 35, T2N., R3E., W.M.  
Clark County, Washington



VICINITY MAP (NTS)

PROPERTY OWNER:  
TIMBER GROVE LLC  
1625 NW IVY STREET  
CAMAS WA, 98607

CONTACT:  
JOEL STIRLING  
STERLING DESIGN, INC.  
2208 E. EVERGREEN BLVD.  
VANCOUVER, WA 98661  
PH.: (360) 759-1794  
FAX: (360) 759-4983  
EMAIL: Joel@SterlingDesign.biz

SITE INFORMATION:

- AREA: 0.25 ACRES
- TAX LOT: 119
- SERIAL NUMBER: 178211-000
- SITE ADDRESS: 4055 NE FRANKLIN ST, CAMAS, 98607
- ZONING: R-7.5
- COMPREHENSIVE PLAN: SFM

SHEET INDEX

COVER SHEET	1
EXISTING CONDITIONS PLAN	2
BOUNDARY SURVEY	3
SITE PLAN	4
GRADING & EROSION CONTROL PLAN	5
UTILITY CONNECTIONS PLAN	6
EXAMPLE RESIDENTIAL DUPLEX PLANS	7
DETAILS SHEET	8
DETAILS SHEET	9
DETAILS SHEET	10

CITY OF CAMAS

CITY ENGINEER		DATE	
REVISION NO.	SHEETS AFFECTED	INITIAL APPROVAL	DATE

SITE INFORMATION

ALIGNMENT & FIELD DATA:		MINISTER & GLASSER SURVEYING, INC. (360) 694-3313	
SOIL TYPE(s):	HYDROLOGIC GROUP: C	AASHTO CLASSIFICATION: A-7	Project Number: 708
SOILS TESTING BY:	DATE:	Design/ Drawn: JGS/BC	Drawing Date: JAN. 2017
SITE LOCATION: CLARK COUNTY, WA	APPROX. SURFACE ELEV.: 270'-294"	FILENAME: S:\708-Prelim.pro	Sheet 1 of 10 Sheet(s)
SITE AREA: 0.25 ACRES			

NOTE:  
Existing utilities shown are approximate only from utility records and as visible at the site. Contractor shall verify presence, location, depth & slope of any and all existing utilities prior to construction. Contact One Call Concepts at (800) 424-5555.

PREPARED BY:  
STERLING DESIGN, INC.  
2208 E. EVERGREEN BLVD  
VANCOUVER, WA 98661  
PH: (360) 759-1794  
FAX: (360) 759-4983  
mail@sterlingdesign.biz

STERLING  
DESIGN, INC.

COVER SHEET

FRANKLIN DUPLEX  
NORTH



Scale: AS SHOWN

Project Number: 708

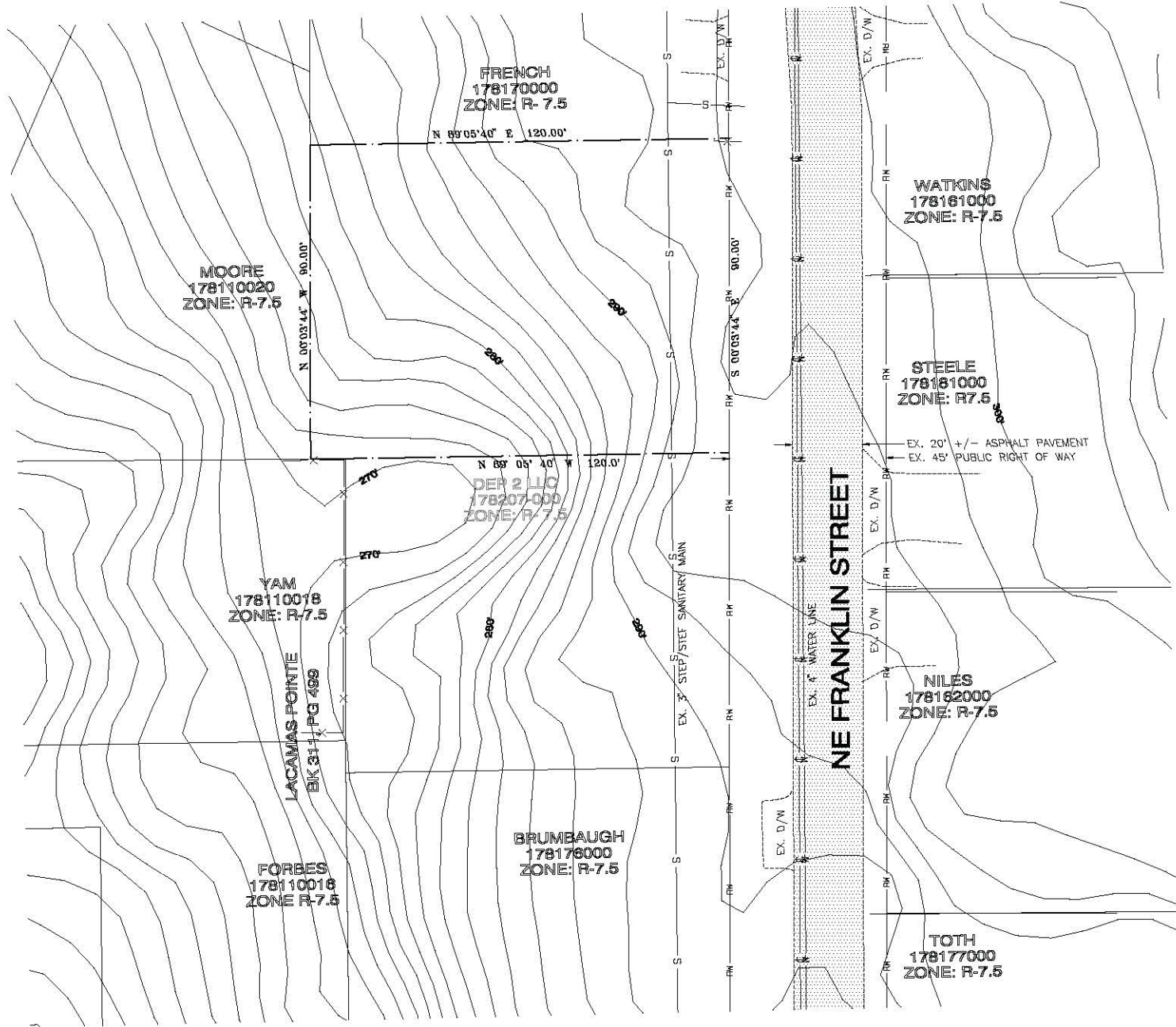
Design/ Drawn: JGS/BC

Drawing Date: JAN. 2017

Sheet 1 of 10 Sheet(s)



REFER TO SHEETS 4 FOR  
SITE SURVEY INFORMATION



**DRY UTILITY NOTE:**  
POWER, CA TV AND OTHER FRANCHISE  
UTILITIES ARE ON OVERHEAD LINES  
ALONG THE EAST SIDE OF FRANKLIN ST.

NOTE:  
Existing utilities shown are approximate only from utility  
records and as visible at the site. Contractor shall verify  
presence, location, depth & slope of any and all existing  
utilities prior to construction. Contact One Call Concepts  
at (800) 424-5555.

**SITE INFORMATION**

ALIGNMENT & FIELD DATA: MINISTER & GLAESER SURVEYING, INC. (360) 694-3313		Scale: AS SHOWN
SOIL TYPE(s): HcD & HcB	HYDROLOGIC GROUP: C	AASHTO CLASSIFICATION: A-7
SOLS TESTING BY: -	DATE: -	Project Number: 708
SITE LOCATION: CLARK COUNTY, WA	APPROX. SURFACE ELEV.: 270'-294"	Design/ Drawn JGS/BC
SITE AREA: 0.25 ACRES	FILENAME: S:\708-Prelim.pro	Drawing Date: JAN. 2017
		Sheet 2 of 10 Sheet(s)



Project:

FRANKLIN DUPLEX  
NORTH

Sheet Description:

EXISTING CONDITIONS  
PLAN

STERLING  
DESIGN, INC.

PREPARED BY:

STERLING DESIGN, INC.  
2208 E EVERGREEN BLVD  
VANCOUVER, WA 98681  
TEL (360) 759-1794  
FAX (360) 759-4993  
mail@sterlingdesign.biz



**SURVEY**  
IN A PORTION OF THE  
SE 1/4 OF THE SW 1/4  
OF SECTION 35  
T. 2 N., R. 3 E., W. M.  
CITY OF CAMAS  
CLARK COUNTY, WASHINGTON

**LEGEND:**  
● INDICATES 1/2" x 24" IRON ROD WITH  
"BETHJE 37535" CAP FOUND PER  
SURVEY REFERENCE #1  
⊙ INDICATES 1/2" x 24" IRON ROD WITH  
"DENNY 32451" CAP SET  
( ) INDICATES RECORD DISTANCE  
-X- INDICATES RIGHT-OF-WAY  
ASSR. NO. INDICATES ASSESSOR TAX IDENTIFICATION NUMBER

**SURVEY REFERENCES:**  
1) LACAMAS POINTE BOOK 311, PAGE 499  
2) TOWLE SURVEY BOOK 048, PAGE 068  
3) TOWLE SURVEY BOOK 049, PAGE 168  
4) LACAMAS SUMMIT PHASE 2 BOOK 310, PAGE 894

**DEED REFERENCES:**  
ADDRESS: 4055 NE FRANKLIN ST.  
GRANTOR: ROGER NEERLAND AND OLLIE NEERLAND  
GRANTEE: DONALD GRAFTON AND JOY GRAFTON  
AP NO.: 0 738295  
DATE: 09-27-76  
  
ADDRESS: 4033 NE FRANKLIN ST.  
GRANTOR: RALPH LYNDEN JOHNSON  
GRANTEE: DONALD GRAFTON AND JOY GRAFTON  
AP NO.: 6738294  
DATE: 09-27-76

**NARRATIVE:**  
THE PURPOSE OF THIS SURVEY WAS TO MONUMENT THE  
PERIMETER BOUNDARIES OF PARCELS IDENTIFIED AS  
ASSR. NO.'S 17821000 & 178207000. I HELD SURVEY  
REFERENCE NO. 1 TO CONTROL THE BASIS OF BEARING  
AND THE WEST LINE OF SAID PARCELS. I HELD THE EAST  
LINE OF THE SOUTHWEST QUARTER OF SECTION 35 TO  
CONTROL THE NORTHERLY DIRECTION OF THE DEED CALLS.  
THIS CORRESPONDS WITH AUDITOR'S FILE NO.'S 3386062,  
8704300141 & 8610210062 RECORDS OF CLARK COUNTY,  
OF WHICH DEFINE THE LOCATION OF THE EAST LINE OF  
NE FRANKLIN STREET (FORMERLY KNOWN AS LAKEVIEW  
COUNTY ROAD) TO BE PARALLEL WITH SAID EAST LINE  
OF THE SOUTHWEST QUARTER OF SECTION 35. I HELD  
THE EASTERLY & WESTERLY DIRECTION OF THE DEED  
CALLS TO BE PARALLEL WITH THE SOUTH LINE OF SAID  
SOUTHWEST QUARTER OF SECTION 35.

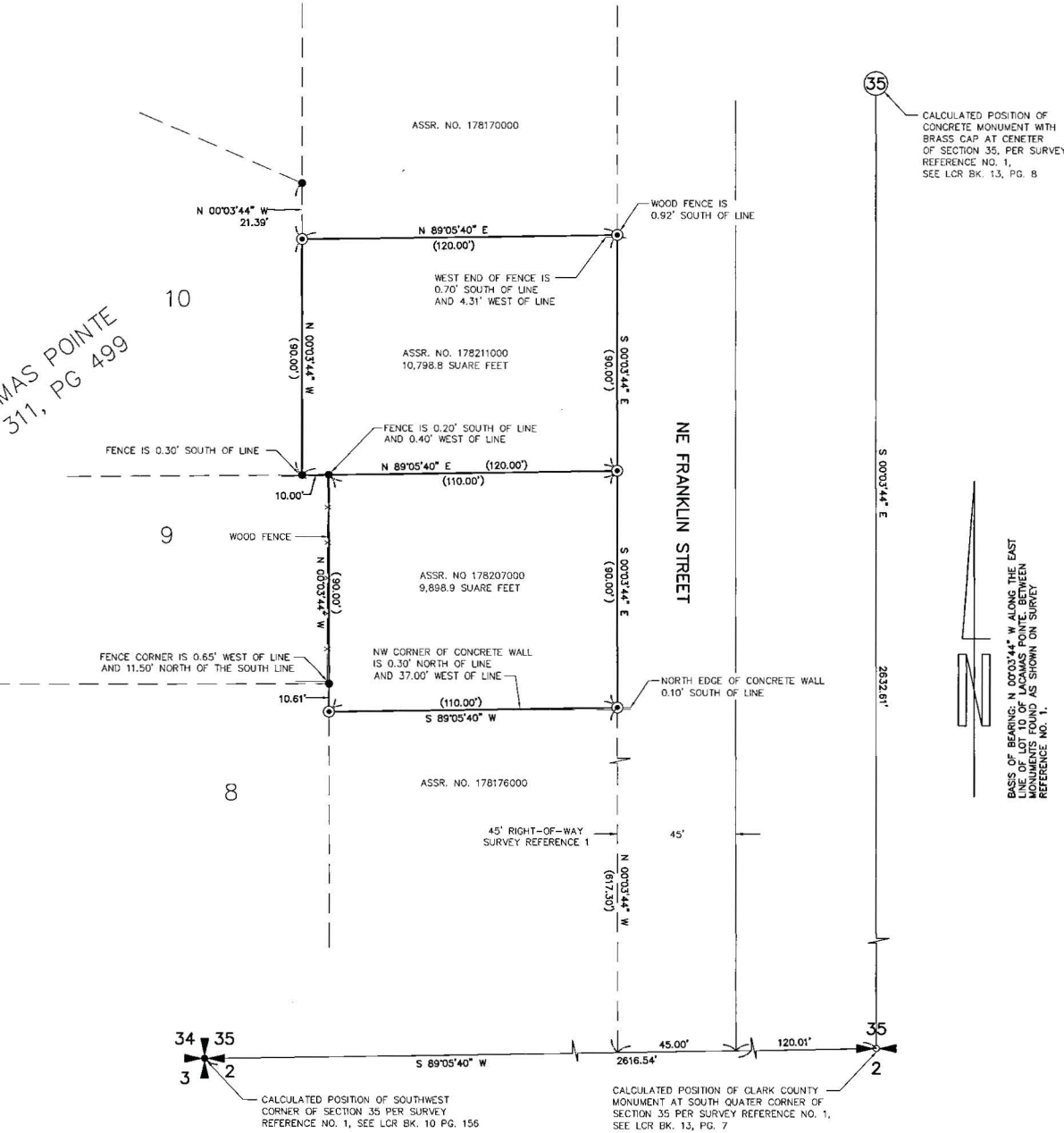
**AUDITOR'S CERTIFICATE**  
FILED FOR RECORD THIS 27 DAY OF July, 2016  
AT 7:40 O'CLOCK PM, IN BOOK 65 OF SURVEYS,  
AT PAGE 165  
AT THE REQUEST OF MINISTER AND GLAESER SURVEYING INC.  
*John B. ...*  
DEPUTY/COUNTY AUDITOR

**SURVEYOR'S CERTIFICATE**  
THIS MAP CORRECTLY REPRESENTS A SURVEY MADE BY ME OR UNDER MY DIRECTION  
IN CONFORMANCE WITH THE REQUIREMENTS OF THE SURVEY RECORDING ACT AT THE  
REQUEST OF DAVE GALANTER, IN JUNE 2016.  
*Edmund Denny Jr.* 2-25-2016  
EDMUND DENNY, JR., PROFESSIONAL LAND SURVEYOR, LS# 32451

SCALE: 1"=30'  
JOB NO. 16-318  
DATE: 07-25-16  
CALC BY: ED  
DRAWN BY: ED  
CHECKED BY: ED  
SHEET 1 OF 1

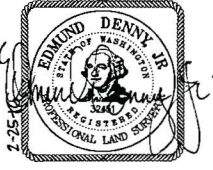
65-165

LACAMAS POINTE  
Bk 311, PG 499



MINISTER AND GLAESER SURVEYING, INC. MAKES NO WARRANTIES AS TO MATTERS  
OF UNWRITTEN TITLE SUCH AS ADVERSE POSSESSION, ACQUESCENCE, ESTOPPLE,  
ETC.  
  
A FIELD TRAVERSE WAS PERFORMED USING A ONE SECOND TOTAL STATION. THE  
FIELD TRAVERSE MET THE MINIMUM STANDARDS FOR SURVEYS AS DESIGNATED IN  
WAC 332-130-090. ALL CORNERS NOTED AS FOUND WERE VISITED ON 06-30-16.

SCALE 1 INCH = 30 FEET



DWG FILE: 151925.DWG

PRELIMINARY SITE INFORMATION  
GENERAL INFORMATION

- APPLICANT/CONTACT:  
JOEL STIRLING  
2208 E. EVERGREEN BLVD.  
VANCOUVER, WA 98661  
PH. (360) 759-1794  
JOEL@STERLINGDESIGN.BIZ
- PROPERTY OWNER:  
TIMBER GROVE LLC  
1625 NW IVY STREET  
CAMAS WA, 98607  
AREA: 0.25 ACRES
- TAX LOT: 119
- SERIAL NUMBER: 178211-000
- SITE ADDRESS: 4055 NE FRANKLIN STREET, CAMAS, 98607
- ZONING: R-7.5
- COMPREHENSIVE PLAN: SFM

EXISTING CONDITIONS (REFER TO SHEETS 2 & 3)

- Environmental**
  - TOPOGRAPHY IS SHOWN ON THE PROPOSED DEVELOPMENT PLAN.
  - THERE ARE NO SITE WATERCOURSES (STREAMS, RIVERS, ETC) OR AREAS PRONE TO FLOODING AS SHOWN.
  - THERE ARE NO FEMA DESIGNATED FLOODPLAINS, FLOOD FRINGE, OR FLOODWAYS ON THE SITE.
  - THERE ARE NO DESIGNATED SHORELINE AREAS ON THE SITE.
  - THERE ARE NO WATER BODIES OR WETLANDS ON THE SITE.
  - THERE ARE NO WETLAND DELINEATION AREAS ON THE SITE.
  - THERE ARE UNSTABLE SLOPES OR LANDSLIDE HAZARD AREAS ON THE SITE PER CLARK COUNTY MAPS ONLINE.
  - THERE ARE NO KNOWN RIPARIAN HABITAT AND OR VEGETATION BUFFERS ON THE SITE. (SEE REPORT BY CASCADIA ECOLOGICAL LAND SERVICES)
  - THERE ARE NO KNOWN SIGNIFICANT HISTORIC, CULTURAL OR ARCHAEOLOGICAL RESOURCES ON THE SITE.
- Land Use and Transportation**
  - THE PROPOSED SITE AREA IS APPROX. 0.23 ACRES. THE LAYOUT AND DIMENSIONS OF EXISTING PARCEL ARE SHOWN.
  - THERE ARE EXISTING STRUCTURES ON THE SITE.
  - EXISTING ACCESS, DRAINAGE & UTILITY EASEMENT LOCATIONS & WIDTHS ARE AS SHOWN.
  - NAME, LOCATION & WIDTH OF EXISTING RIGHT OF WAY IS SHOWN.
  - LOCATIONS & DIMENSIONS OF CENTERLINE & RIGHT-OF-WAY FOR NW 10th AVE. ARE SHOWN.
  - NAME, LOCATION, WIDTH & SURFACING MATERIAL OF ROADWAY & EASEMENTS AND WHETHER PUBLIC OR PRIVATE ARE SHOWN.
  - LOCATION OF EXISTING DRIVEWAYS ALONG NW 10th AVE ARE SHOWN.
  - LOCATION & WIDTH OF PEDESTRIAN & BICYCLE FACILITIES WITHIN 100' OF THE SITE ARE AS SHOWN.
  - THERE ARE NO TRANSIT ROUTES & STOPS WITHIN 600' OF THE DEVELOPMENT SITE. (PER THE GIS PACKET)

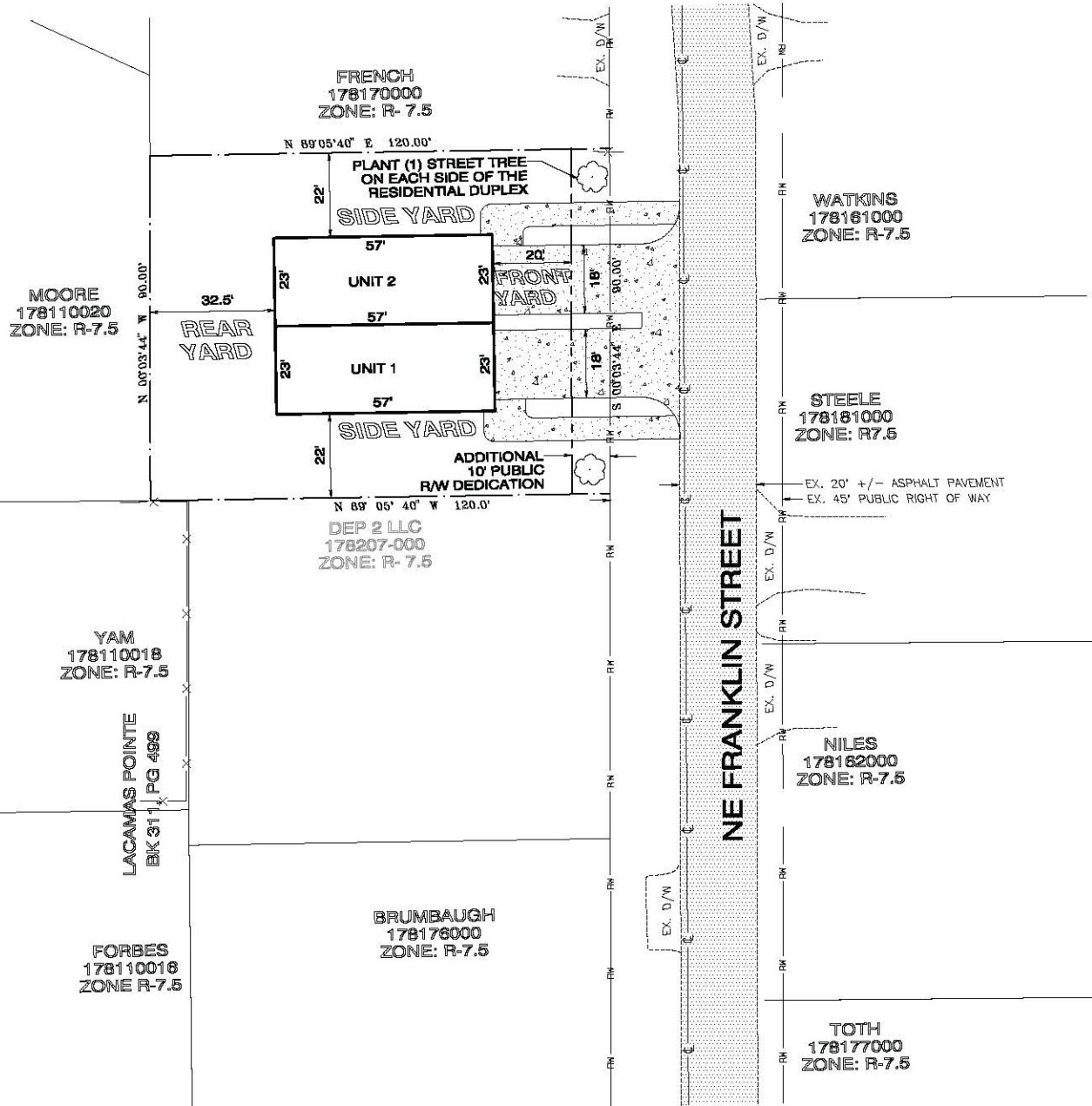
- Water and Sewer**
  - THE NEAREST EXISTING FIRE HYDRANTS TO THE SITE ARE SHOWN.
  - THERE ARE NO KNOWN SEPTIC SYSTEM(S) OR WELL(S) ON THIS SITE.

PROPOSED IMPROVEMENTS

- Environmental**
  - THERE ARE NO WETLANDS, STEEP SLOPE BUFFER AREAS/PROTECTED AREAS, OR PLANNED ENHANCEMENT AREAS LOCATED ON THE PORTION OF THE SITE WHERE NEW HOMES WILL BE CONSTRUCTED.
  - PLANTING & BUFFER ENHANCEMENT WILL OCCUR WITHIN PRIVATE TRACTS.
- Land Use and Transportation**
  - THE CONFIGURATION & DIMENSIONS OF BOUNDARIES, PROPOSED LOTS, DRAINAGE TRACTS & EASEMENTS ARE SHOWN ON THE PLAN. THERE ARE NO PARKS OR OPEN SPACES PROPOSED AS PART OF THE SHORT PLAT.
  - DIMENSIONS OF ALL PROPOSED EASEMENTS ARE SHOWN ON PLAN.
  - THERE ARE EXISTING STRUCTURES ON THE SITE THAT WILL REMAIN.
  - ALL LOCATIONS AND DIMENSIONS OF ROAD RIGHT-OF-WAYS OR ADJACENT TO THE SITE ARE SHOWN ON THE PLAN.
  - PEDESTRIAN FACILITIES ARE NOT PROPOSED WITH THIS PROJECT.
  - THERE ARE NO TRANSIT ROUTES FRONTING THE SITE.

TABLE 18.09.040	
BUILDING SETBACKS:	
FRONT:	20'
SIDE STREET:	20'
SIDE INTERIOR:	5'
REAR:	25'
MAX. LOT COVERAGE:	40%
MAX. BLDG. HEIGHT:	35'

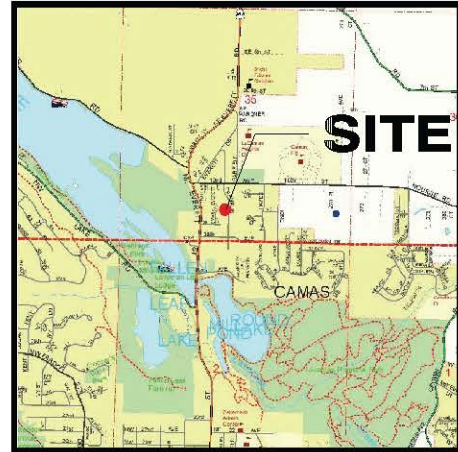
**DUPLEX DWELLING WILL BE SUBJECT TO THE PAYMENT OF APPROPRIATE IMPACT FEES AT THE TIME OF BUILDING PERMIT ISSUANCE**



**BUILDING FOOTPRINT NOTE:**  
THE RESIDENTIAL DUPLEX BUILDING FOOT PRINT SHOWN IS FOR THE PURPOSES OF APPROVAL OF THE CONDITIONAL USE PERMIT. ACTUAL BUILDING PLANS MAY CHANGE DURING BUILDING PERMIT SUBMITTAL AND REVIEW TO BETTER FIT WITH CITY OF CAMAS COMPATIBILITY STANDARDS. THE PROPOSED RESIDENTIAL DUPLEX WILL MEET ALL APPLICABLE SETBACK AND LOT COVERAGE REQUIREMENTS OF THE CITY OF CAMAS CODE.

NOTE:  
Existing utilities shown are approximate only from utility records and as visible at the site. Contractor shall verify presence, location, depth & slope of any and all existing utilities prior to construction. Contact One Call Concepts at (800) 424-5555.

**FRANKLIN DUPLEX**  
A Preliminary Site within a portion of the SW 1/4 of Sec. 35, T2N., R3E., W.M. Clark County, Washington



VICINITY MAP (NTS)

PREPARED BY:  
STERLING DESIGN, INC.  
2208 E. EVERGREEN BLVD  
VANCOUVER, WA 98661  
PH. (360) 759-1794  
FAX (360) 759-4993  
mail@sterlingdesign.biz

**STERLING DESIGN, INC.**

PRELIMINARY SITE PLAN

FRANKLIN DUPLEX NORTH



SITE INFORMATION

ALIGNMENT & FIELD DATA MINISTER & GLAESER SURVEYING, INC. (360) 694-3313		Scale: AS SHOWN
SITE LOCATION: CLARK COUNTY, WA	APPROX. SURFACE ELEV.: 270'-294"	Project Number: 708
SITE AREA: 0.25 ACRES	FILENAME: S:\708-Prelim.pro	Design/Drawn: JGS/BC
DATE: 1/13/17		Drawing Date: JAN. 2017
Sheet 4 of 10 Sheet(s)		



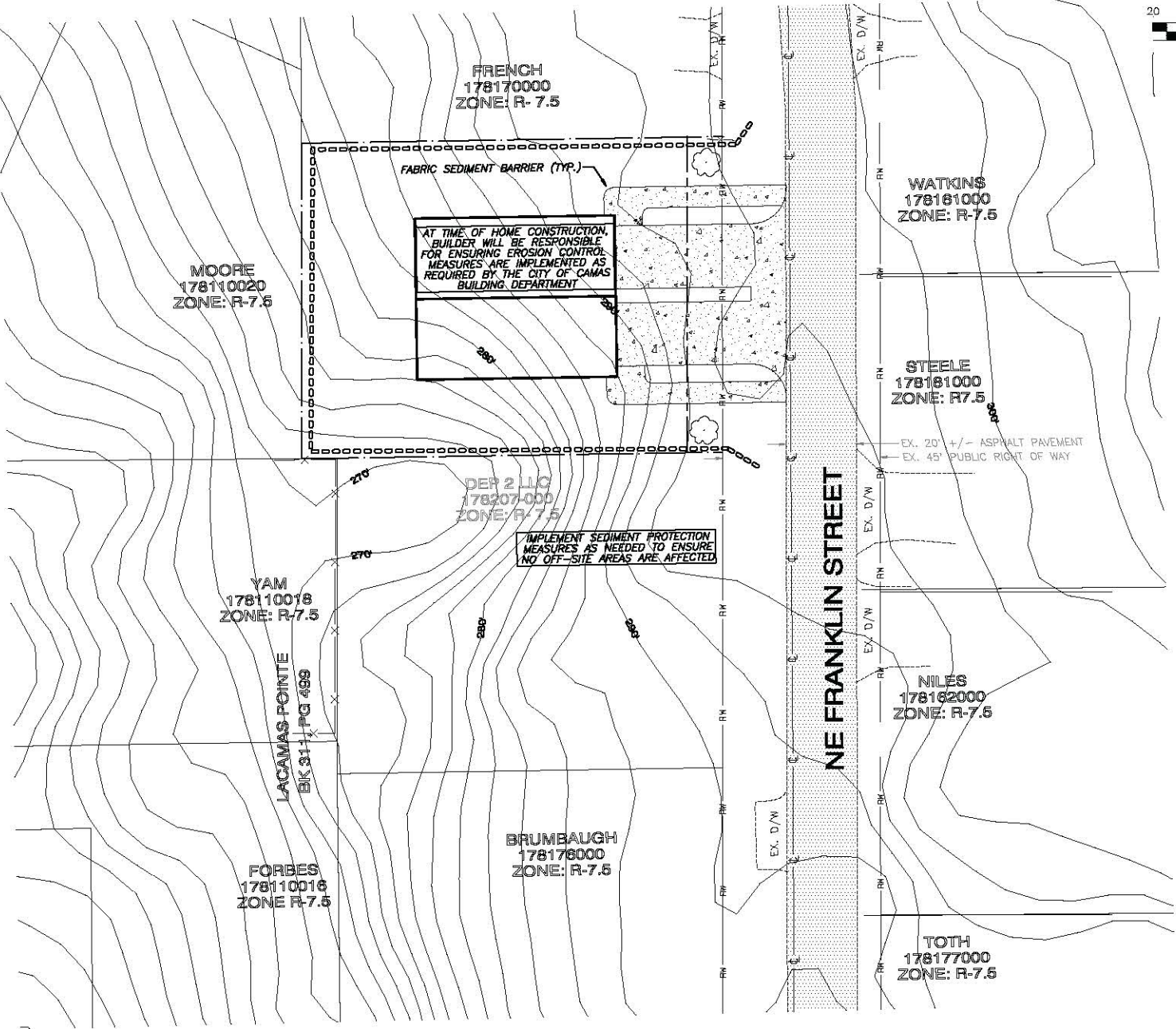
EROSION/SEDIMENT CONTROL NOTES:

1. THE EROSION/SEDIMENT CONTROL (ESC) PLAN IS TO BE UTILIZED AS A GUIDE TO CONTROL THE TRANSPORT OF LOOSE SOILS TO THE PROPERTY OUTSIDE OF THE CONSTRUCTION AREA AND AROUND THE CONSTRUCTION SITE. THE ESC MEASURES SHALL BE UPGRADED AS NEEDED FOR UNEXPECTED STORM EVENTS AND TO ENSURE THAT SEDIMENT AND SEDIMENT LADEN WATER DOES NOT LEAVE THE SITE.
2. THE IMPLEMENTATION OF THE ESC PLANS AND THE CONSTRUCTION, MAINTENANCE, REPLACEMENT AND UPGRADE OF THE ESC MEASURES IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ALL CONSTRUCTION IS COMPLETED AND APPROVED AND PERMANENT VEGETATION/LANDSCAPING IS ESTABLISHED.
3. IF THE CITY INSPECTOR OR ENGINEER(S) HAS EVIDENCE OF POOR CONSTRUCTION PRACTICES OR EROSION CONTROL TECHNIQUES, A STOP WORK ORDER SHALL BE ISSUED UNTIL PROPER MEASURES HAVE BEEN TAKEN AND APPROVED BY THE CITY ENGINEERING STAFF.
4. THE CONTRACTORS SHALL BE RESPONSIBLE TO FAMILIARIZE THEMSELVES WITH THE CITY OF CAMAS EROSION/SEDIMENT CONTROL HANDBOOK AND THE STORMWATER MANUAL IN WASHINGTON STATE (LATEST EDITION), VOL. II.
5. ALL EROSION/SEDIMENT CONTROL MEASURES SHALL BE IN PLACE AND IN WORKING CONDITION PRIOR TO DISTURBING AND EXPOSING ANY SOIL SURFACES (I.E. CONSTRUCTION ENTRANCES, FILTER FABRIC/STRAWBALE SEDIMENT BARRIERS, AND SEDIMENTATION TRAPS) AND MAINTAINED FOR THE DURATION OF THE PROJECT. TRAPPED SEDIMENT IN EXCESS OF 1 FOOT SHALL BE REMOVED OR STABILIZED ON-SITE. DISTURBED SOIL AREAS RESULTING FROM VEGETATION REMOVAL SHALL BE PERMANENTLY STABILIZED. ADDITIONAL MEASURES MAY BE REQUIRED TO ENSURE THAT ALL PAVED AREAS ARE KEPT CLEAN FOR THE DURATION OF THE PROJECT.
6. TO MINIMIZE EROSION AND SEDIMENTATION TRANSPORTATION, EARTHWORK SHALL NOT BE PERFORMED WHILE SOILS ARE MORE THAN 5% ABOVE OPTIMUM MOISTURE CONTENT.
7. THE CONTRACTOR SHALL BE RESPONSIBLE TO HAVE CLEARING LIMITS AND/OR ANY EASEMENTS, SENSITIVE OR CRITICAL AREAS, AND THEIR BUFFERS, TREES, AND DRAINAGE COURSES FLAGGED PRIOR TO CONSTRUCTION. DURING THE CONSTRUCTION PERIOD, NO DISTURBANCE BEYOND THE FLAGGED CLEARING LIMITS SHALL BE PERMITTED. FLAGGING LIMITS ARE TO BE MAINTAINED BY THE CONTRACTOR FOR THE DURATION OF CONSTRUCTION.
8. REMOVE ONLY THOSE TREES AND SHRUBS THAT NEED TO BE REMOVED FOR THE CONSTRUCTION OF ROADS, SIDEWALKS, UTILITIES, GRADING LIMITS AND STORMWATER FACILITIES.
9. ALL ROAD EXISTING AND NEWLY CONSTRUCTED CATCH BASINS OR CURB INLETS AFFECTED BY CONSTRUCTION SHALL BE PROTECTED AGAINST SEDIMENT DEPOSITS. AT NO TIME SHALL MORE THAN ONE FOOT OF SEDIMENT BE ALLOWED TO ACCUMULATE WITHIN A TRAPPED CATCH BASIN. ALL CATCH BASINS AND CONVEYANCE LINES SHALL BE CLEANED PRIOR TO PAVING. THE CLEANING OPERATION SHALL NOT FLUSH SEDIMENT LADEN WATER INTO THE DOWNSTREAM SYSTEM.
10. ALL POLLUTANTS THAT OCCUR ON-SITE DURING CONSTRUCTION SHALL BE HANDLED AND DISPOSED OF IN A MANNER THAT DOES NOT CAUSE CONTAMINATION OF STORMWATER SYSTEM.
11. ALL DISTURBED SOIL SURFACES ARE TO BE STABILIZED BY A SUITABLE APPLICATION OF BEST MANAGEMENT PRACTICES. NO SOILS SHALL REMAIN UNSTABILIZED FOR MORE THAN TWO DAYS DURING THE PERIOD OF OCTOBER 1 THRU JULY 5. FROM JULY 5 THRU OCTOBER 1, NO SOIL SHALL REMAIN UNSTABILIZED FOR MORE THAN 7 DAYS. STABILIZATION OF DISTURBED SOIL AREAS CAN CONSIST OF HYDROSEEDING OR HAND-SEEDING, MULCHING, PLACEMENT OF EROSION CONTROL BLANKETS OR PLASTIC. ALL SEEDING AREAS ARE TO BE FERTILIZED, WATERED, AND MAINTAINED TO ENSURE THAT THE REGROWTH OF VEGETATION IS AS SOON AS POSSIBLE.
12. ALL TEMPORARY SEDIMENT AND EROSION CONTROL BMP'S SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION IS ACHIEVED OR AFTER THE TEMPORARY BMP'S ARE NO LONGER NEEDED.
13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR POLICING THE JOB SITE DAILY AND MAINTAINING THE EROSION/SEDIMENT CONTROL MEASURES THROUGHOUT ALL PHASES OF CONSTRUCTION. AN INSPECTION LOG SHALL BE KEPT AND MADE AVAILABLE TO THE CITY OF CAMAS. THE POLICING AND MAINTENANCE SHALL INCLUDE, BUT NOT BE LIMITED TO:
  - VERIFYING THAT ALL AREAS ARE GRADED SUCH THAT ALL RUNOFF IS DIRECTED TO A SEDIMENTATION DEVICE BEFORE DISCHARGE TO SURFACE.
  - REMOVAL OF TRAPPED SILT AT SILT BARRIERS, SILT TRAPS, OR POINTS OF ACCUMULATION.
  - ADDITIONAL PROTECTIVE MEASURES DUE TO JOB SITE OR WEATHER CONDITIONS AS REQUIRED BY CITY OF CAMAS WATER QUALITY.
  - MONITORING OF VEHICLES LEAVING THE SITE TO MINIMIZE TRANSMISSION OF LOOSE SOILS TO THE PUBLIC ROADWAYS.
  - PLACING OF THE STRAWBALE SEDIMENTATION BARRIER AT THE ENTRANCE DURING PRECIPITATION OR AT THE END OF THE WORKDAY BEFORE LEAVING THE SITE.
  - VERIFY THAT ALL PROPERTIES ADJACENT TO THE PROJECT SITE ARE PROTECTED FROM SEDIMENTATION DEPOSITION. THIS MAY BE ACCOMPLISHED BY INSTALLING PERMETER CONTROLS SUCH AS SEDIMENTATION BARRIERS, FILTERS OR DIKES, SEDIMENTATION BASINS/TRAPS, OR BY A COMBINATION OF SUCH MEASURES.
14. CUT AND FILL SLOPES SHALL BE DESIGNED AND CONSTRUCTED IN A MANNER THAT WILL MINIMIZE EROSION. SLOPES SHALL BE STABILIZED IN ACCORDANCE WITH EROSION/SEDIMENT CONTROL NOTE 11. SLOPES FOUND TO BE ERODING EXCESSIVELY WITHIN TWO YEARS OF CONSTRUCTION MUST BE PROVIDED WITH ADDITIONAL SLOPE STABILIZING MEASURES. THESE MEASURES MAY CONSIST OF ROUGHENED SOIL SURFACES, INTERCEPTORS, DIVERSIONS OR TERRACES, TEMPORARY OR PERMANENT CHANNELS, ADDITIONAL VEGETATION, OR PIPE SLOPE DRAINS AS REQUIRED BY CITY OF CAMAS WATER QUALITY UNTIL THE PROBLEM IS CORRECTED.
15. THE ESC MEASURES ON INACTIVE SITES SHALL BE INSPECTED AND MAINTAINED A MINIMUM OF ONCE A MONTH OR WITHIN 24 HOURS FOLLOWING A STORM EVENT.
16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING UNDERGROUND UTILITIES AS SPECIFIED BELOW:
  - WHERE FEASIBLE, NO MORE THAN 500 FEET OF TRENCH SHALL BE OPEN AT ONE TIME.
  - WHERE CONSISTENT WITH SAFETY AND SPACE CONSIDERATIONS, EXCAVATED MATERIAL SHALL BE PLACED ON THE UPHILL SIDE OF TRENCHES.
  - TRENCH DE-WATER DEVICES SHALL DISCHARGE INTO A SEDIMENT TRAP OR SEDIMENT POND.
17. CONTRACTOR SHALL CONSULT WITH GEOTECHNICAL ENGINEER DURING ALL GRADING ACTIVITIES FOR FIELD VERIFICATION OF FILL PLACEMENT AND SITE SPECIFIC GRADING RECOMMENDATIONS. CONTRACTOR SHALL PROVIDE WRITTEN DOCUMENTATION FROM GEOTECHNICAL ENGINEER, FOR STRUCTURAL FILLS PRIOR TO ACCEPTANCE OF PROJECT BY CITY OF CAMAS.
18. SLOPES SHALL BE HYDRO-SEEDED AS SOON AS PROPOSED GRADES ARE ESTABLISHED. CONTRACTOR TO PREPARE SLOPES FOR SEED BY "TRACKING" SLOPES AS PER ATTACHED DETAIL.

EROSION PROTECTION SHALL BE PLACED ON ALL OFFSITE STORM STRUCTURES DOWNSTREAM OF THE SITE OR AS WILL BE AFFECTED BY SITE CONSTRUCTION (TYP.)

MINIMAL GROUND DISTURBANCE WILL TAKE PLACE ON THE PROPERTY AS PART OF THE RESIDENTIAL DUPLEX CONSTRUCTION AND WILL BE LIMITED TO THE MINIMUM REQUIRED FOR FOUNDATION INSTALLATION, DRIVEWAY CONSTRUCTION AND YARD CONTOURING.

IN THE EVENT THAT ANY ITEM OF ARCHAEOLOGICAL INTEREST IS UNCOVERED DURING THE COURSE OF A PERMITTED GROUND DISTURBING ACTION OR ACTIVITY, ALL GROUND DISTURBING ACTIVITIES SHALL IMMEDIATELY CEASE AND THE APPLICANT SHALL NOTIFY THE PUBLIC WORKS DEPARTMENT AND DAHP



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SITE INFORMATION

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SOL TYPE(s): HeD & HeB	HYDROLOGIC GROUP: C	AASHTO CLASSIFICATION: A-7
SOLS TESTING BY: -	DATE: -	Project Number: 708
SITE LOCATION: CLARK COUNTY, WA	APPROX. SURFACE ELEV.: 270'-294'	Design/ Drawn: JGS/BC
SITE AREA: 0.25 ACRES	FILENAME: S:\708-Prelim.pro	Drawing Date: JAN. 2017
		Sheet 5 of 10 Sheet(s)

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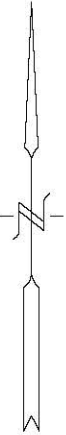
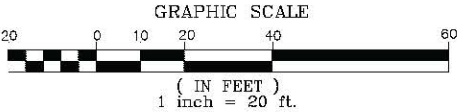
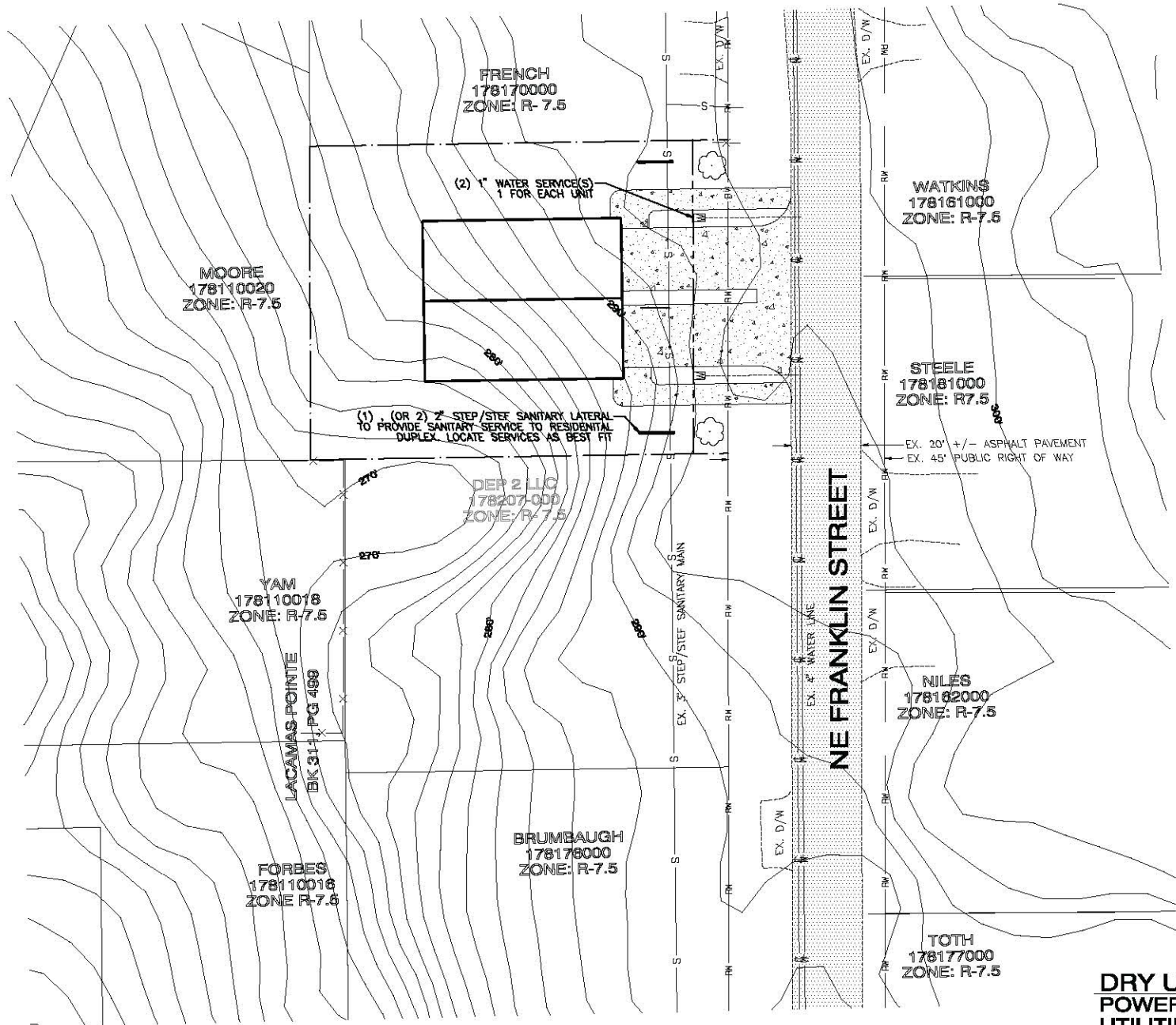
STERLING  
DESIGN, INC.

Sheet Description:  
GRADING & EROSION  
CONTROL PLAN

Project:  
FRANKLIN DUPLEX  
NORTH







UTILITY NOTE(S)  
RESIDENTIAL DUPLEX  
WILL BE PROVIDED WITH:  
1 (OR 2) - 6" SANITARY LATERAL  
2- 1" WATER SERVICES

UTILITIES WILL BE INSTALLED IN  
ACCORDANCE TO CITY OF CAMAS  
STANDARDS

RESIDENTIAL FIRE SPRINKLERS ARE REQUIRED  
PER NFPA 13D GUIDELINES AND CAMAS FMO

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DRY UTILITY NOTE:  
POWER, CA TV AND OTHER FRANCHISE  
UTILITIES ARE ON OVERHEAD LINES  
ALONG THE EAST SIDE OF FRANKLIN ST.

### SITE INFORMATION

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SHEET 6 OF 10 SHEET(S)		

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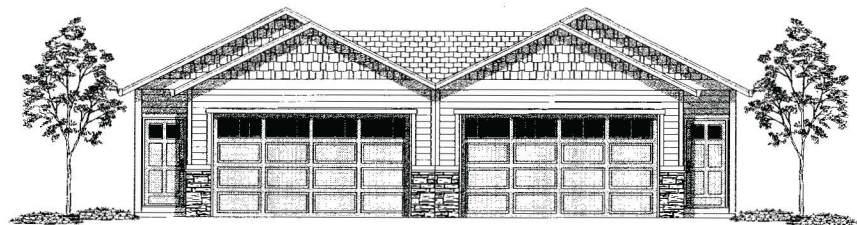
STERLING  
DESIGN, INC.

UTILITY CONNECTIONS PLAN

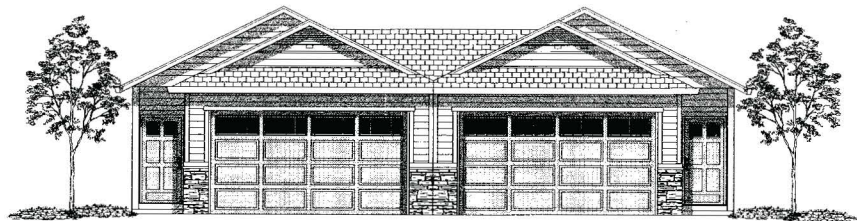
FRANKLIN DUPLEX  
NORTH



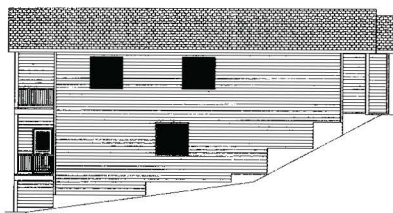




FRONT ELEVATION A  
SCALE 1/4" = 1'-0"



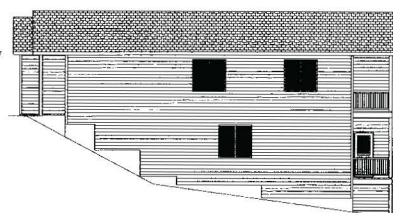
FRONT ELEVATION B  
SCALE 1/4" = 1'-0"



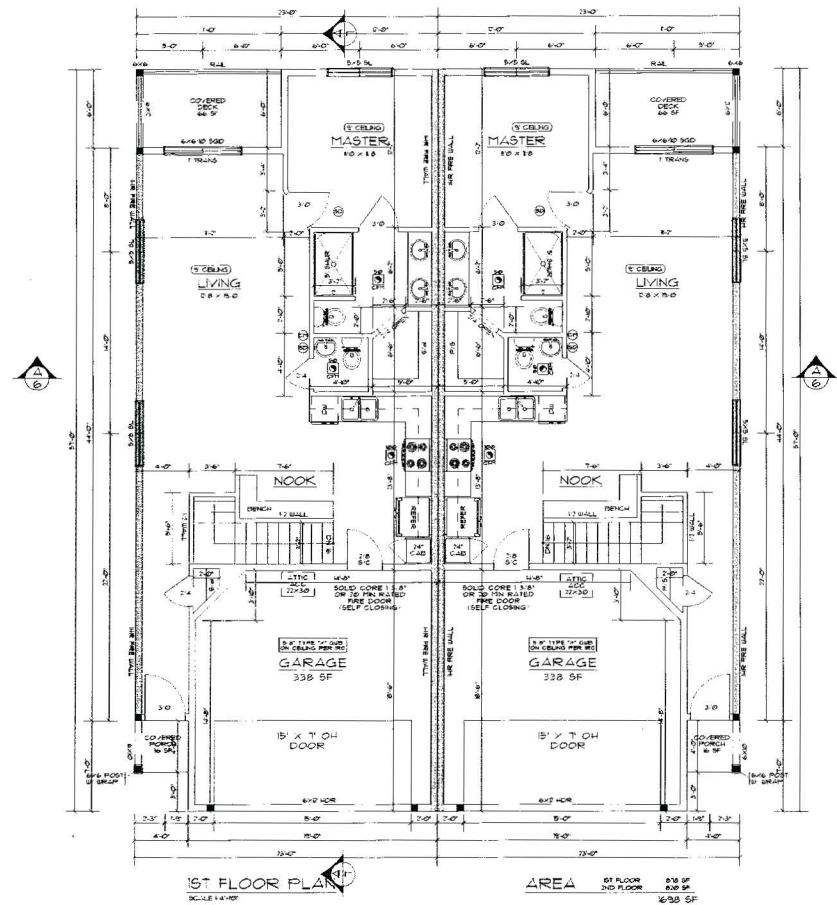
LEFT SIDE ELEVATION  
SCALE 1/8" = 1'-0"



REAR ELEVATION  
SCALE 1/8" = 1'-0"

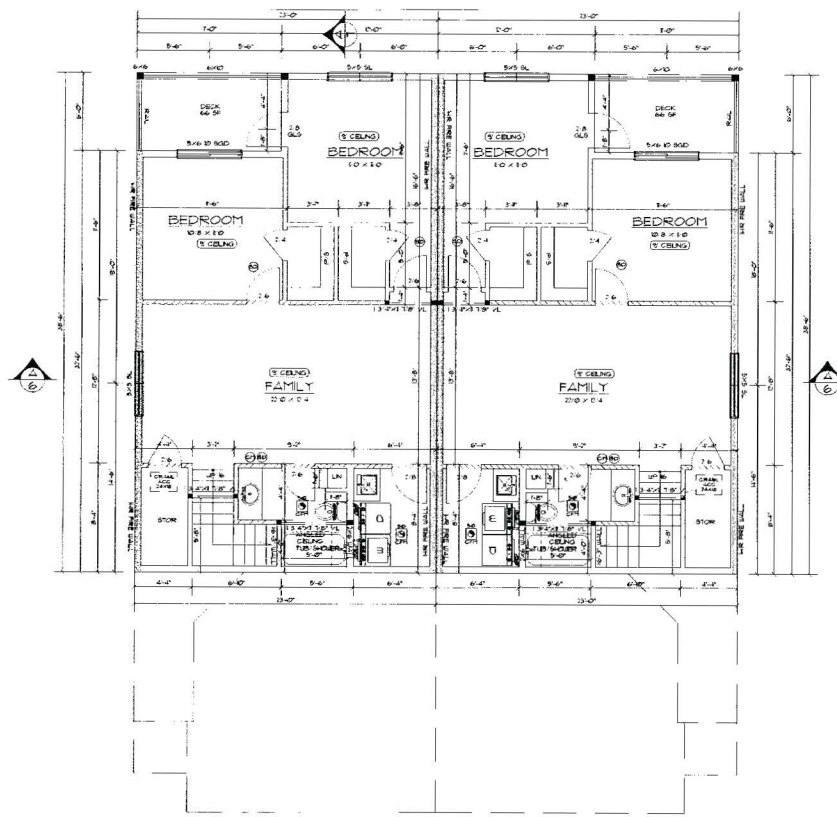


RIGHT SIDE ELEVATION  
SCALE 1/8" = 1'-0"



1ST FLOOR PLAN  
SCALE 1/4" = 1'-0"

AREA 1ST FLOOR 2103 SF  
2ND FLOOR 1638 SF



BASEMENT FLOOR PLAN  
SCALE 1/4" = 1'-0"

### SITE INFORMATION

ALIGNMENT & FIELD DATA: MINISTER & GLAESER SURVEYING, INC. (360) 894-3313		Scale: AS SHOWN
SOIL TYPE(s): HeD & HeB	HYDROLOGIC GROUP: C	AASHTO CLASSIFICATION: A-7
SOILS TESTING BY: HeD & HeB	DATE: 1/13/17	Project Number: 708
SITE LOCATION: CLARK COUNTY, WA	APPROX. SURFACE ELEV.: 270'-294"	Design/Drawn: JGS/BC
SITE AREA: 5.708-Prelim.pro	FILENAME: S:\708-Prelim.pro	Drawing Date: JAN. 2017
		Sheet 7 of 10 Sheet(s)

PREPARED BY:  
STERLING DESIGN, INC.  
2208 E EVERGREEN BLVD  
VANCOUVER, WA 98661  
PH: (360) 759-1794  
FAX: (360) 759-4983  
mail@sterlingdesign.biz

STERLING  
DESIGN, INC.

Sheet Description:  
EXAMPLE RESIDENTIAL  
DUPLEX PLAN

Project:  
FRANKLIN DUPLEX









- |          |          |     |        |  |            |
|----------|----------|-----|--------|--|------------|
| REV. NO. | DATE     | BY  | APPRO. |  <div style="text-align: center;">             CITY OF CAMAS - SANITARY DETAIL<br/>             STEP SEWER CONSTRUCTION NOTES<br/> <i>P. B. Guthrie</i> 10-21-14<br/>             DESIGNED BY _____ DATE _____<br/>             NOT TO SCALE           </div> | DETAIL NO. |
| 1        | 3/1/01   | CGG | CG     |  | SP1        |
| 2        | 1/1/11   | BCJ | CG     |  |            |
| 3        | 10/21/14 | BCJ | CG     |  |            |



- |         |          |     |       |  |            |
|---------|----------|-----|-------|--|------------|
| REV NO. | DATE     | BY  | APPR. |  <b>CITY OF CAMAS - SANITARY DETAIL</b><br><b>STEF SEWER CONSTRUCTION NOTES</b><br><i>S. J. [Signature]</i> 10-27-14<br><small>DATE: 10/27/14 BY: [Signature]</small> | DETAIL NO. |
| 1       | 5/1/07   | SCD | 40    |  | SF1        |
| 2       | 1/1/11   | SCD | 40    |  |            |
| 3       | 10/27/14 | SCD | 40    |  |            |



STERLING  
DESIGN<sup>INC.</sup>

Project: **FRANKLIN DUPLEX**



Sheet 9 of 10 Sheet(s)



Scale: AS SHOWN

Project Number: 708

Design/Drawn: JGS/BC

Drawing Date: JAN. 2017

Sheet 10 of 10 Sheet(s)

Project:

FRANKLIN DUPLEX

Sheet Description:

DETAILS SHEET

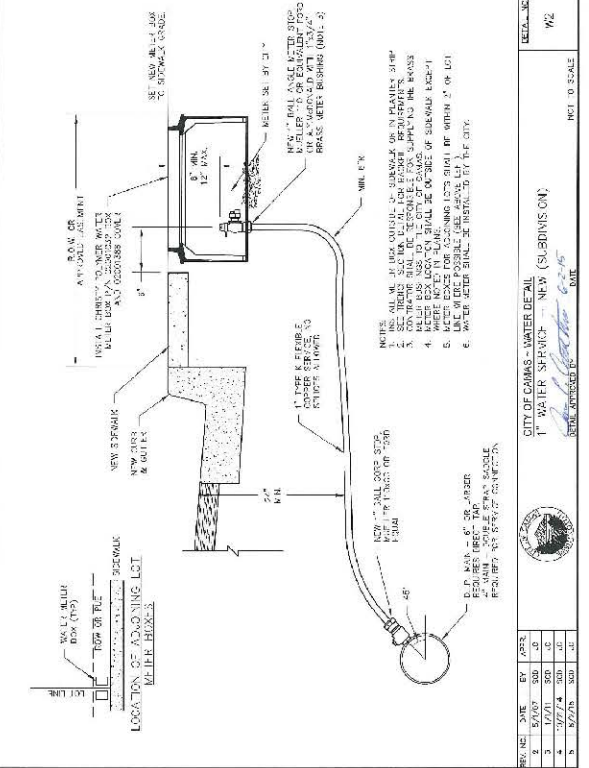
**STERLING DESIGN, INC.**

PREPARED BY:

STERLING DESIGN, INC.  
2208 EVERGREEN BLVD  
VANCOUVER, WA 98681  
PH (360) 759-1794  
FAX (360) 759-4993  
mailto:sterlingdesign.biz

- WATER CONSTRUCTION NOTES:**
1. ALL TRENCH EXCAVATION AND WORK IN EXISTING TRENCHES SHALL CONFORM TO THE MOST CURRENT A.A.W.A. STANDARDS AND THE MOST RECENTLY ADDED EDITION OF THE WSDOT STANDARD SPECIFICATIONS SECTION 7-04.01(1) AND SECTION 7-04.02(2). ALL EXISTING MATERIAL FROM THE TRENCH EXCAVATION SHALL BE LOADED DIRECTLY INTO A TRUCK, HUCK, AND DISPOSED OF AT AN APPROVED SITE.
  2. PIPE BEDDING PIPE JOINT, MANHOLE AND HATCH BACKFILL SHALL BE AN APPROVED GRANULAR MATERIAL OF EITHER WASHED SCREENING OR 3/8" INCH MAXIMUM CRUSHED ROCK. SAND BACKFILL IS NOT ALLOWED.
  3. TRENCH COMPACTION SHALL CONFORM TO THE MOST RECENTLY ADDED EDITION OF THE WSDOT STANDARD SPECIFICATIONS SECTION 7-04.02(2). COMPACTION SHALL BE THE TYPE OF EQUIPMENT AND METHOD USED TO MEET THE REQUIRED COMPACTION AND BE APPROVED BY THE CITY OF CANAS. TACKLIFT SHALL BE CONFINED TO A MAXIMUM OF 50 PERCENT OF THE MAXIMUM DENSITY AS DETERMINED BY THE A.A.W.A. C-1-NO TEST METHOD.
  4. SETTLEMENT OF THE FINISHED SURFACE WITHIN THE WARRANTY PERIOD SHALL BE CONSIDERED TO BE A RESULT OF IMPROPER COMPACTION AND SHALL BE PROMPTLY REPAIRED BY THE CONTRACTOR AT NO EXPENSE TO THE CITY.
  5. ALL VALVES 10 INCHES OR LESS IN DIAMETER SHALL BE A.A.W.A. APPROVED RUBBER GASKET VALVES. VALVES 12 INCH TO 24 INCH SHALL BE A.A.W.A. APPROVED BUTTERFLY VALVES. VALVES 24 INCH TO 30 INCH SHALL BE A.A.W.A. APPROVED BUTTERFLY VALVES.
  6. ALL VALVES 12 INCHES OR LESS IN DIAMETER SHALL BE INSTALLED FROM FLANGE TO FLANGE. A. WATER PIPE 12 INCHES IN DIAMETER AND LARGER SHALL BE DUCTILE IRON, CLASS 50 PIPE. RUBBER GASKET TYPE SHALL BE JULIUS FRIEDLICH OR APPROVED EQUAL. ALL FITTINGS SHALL BE A.A.W.A. APPROVED. B. VALVE SHALL CONFORM TO THE A.A.W.A. STANDARD C-110.
  7. ALL TEES, ELBOWS, CAPS, BENDS AND OFFSETS AS WELL AS ALL OTHER APPURTENANCES WHICH ARE SUBJECT TO IMPROVEMENT (IF ANY) SHALL BE PROMPTLY REPAIRED BY ONE OF THE FOLLOWING METHODS:  
A. CONCRETE BELL END BLOCKING: AS SHOWN IN THE PLANS, SHALL BE PLACED AT BELL ENDS, DEAD ENDS AND CHANGES IN DIRECTION. 4" DUCTILE IRON SHALL BE CONCRETE POURED IN PLACE. CONCRETE BLOCKING SHALL BE PLACED SO UNDISTURBED EARTH AT THE BELL END NOT TO EXCEED 12" INCH EXCAVATION AND SHALL BE SHOWN ON AS NOT TO EXCEED ACCESS TO THE CITY OF THE PIPE. B. BELL END SHALL BE REPAIRED TO INSULATE PIPE.  
C. MILD ANGLE JOINT: SHALL NOT BE USED. SHALL BE 100 MILD ANGLE MECHANICAL JOINT. SHALL BE REPAIRED TO APPROVED EQUAL. CONTRACTOR TO RESTRAIN THE MINIMUM REQUIRED 2" TO 1 SLOPE WITH "FIELD LOCK" GASKETS OR APPROVED EQUAL.
  8. ALL WATER MAINS SHALL BE INSTALLED IN ACCORDANCE WITH SECTION 7-04.02(2) OF THE STANDARD SPECIFICATIONS. THE CITY SHALL BE NOTIFIED 48 HOURS IN ADVANCE OF ACCEPTANCE TESTING. MAXIMUM LENGTH OF PIPE TO BE TESTED AT ONE TIME IS 1000 FEET.
  9. INFORMATION SHALL BE PROVIDED IN ACCORDANCE WITH SECTION 7-04.02(2) OF THE STANDARD SPECIFICATIONS. CITY INSPECTORS SHALL TAKE SAMPLES AND DELIVER TO LABORATORY FOR BACTERIA TESTING. NEGATIVE SAMPLE RESULTS SHALL BE CONFIRMED. FAILURE TO OBTAIN RESULTS OF BACTERIA TESTING TO SATISFACTORY MAIN WATER BE REQUIRED.
  10. APPROXIMATE POSITION AND ORIENTATION OF PLUMBED WATER MAINS SHOWN IN THE DRAWINGS SHALL BE THE CONTRACTOR'S RESPONSIBILITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF THE MAINS.
  11. WATER MAINS TO HAVE A MINIMUM COVER OF 30 INCHES. WATER SERVICES TO HAVE A MINIMUM 24" OF COVER.
  12. ALL EXISTING VALVES TO BE OPERATED BY CITY OF CANAS WATER/SEWER DEPARTMENT PERSONNEL ONLY.
  13. NO CONNECTIONS TO EXISTING WATER MAINS SHALL BE MADE PRIOR TO SATISFACTORY PRESSURE TESTING, DRAINING, AND 11" LOCATION OF A NEGATIVE BACTERIA TEST.

REV. NO.	DATE	BY	APPR.	CITY OF CANAS - WATER DEPT.	DETAIL NO.
1	1/17/17	JGS	BC	WATER CONSTRUCTION NOTES	W1
2	1/17/17	JGS	BC	WATER CONSTRUCTION NOTES	W1
3	1/17/17	JGS	BC	WATER CONSTRUCTION NOTES	W1





<p><b><u>TAB F.</u></b> <b>PRE-APPLICATION REPORT</b></p>
---



**Pre-Application Meeting Notes  
Galanter Duplex  
File PA 16-24**

Thursday, September 1, 2016  
Council Chambers  
616 NE Fourth Avenue, Camas, WA 98607

**Applicant:**

Dave Galanter  
6614 NE 126<sup>th</sup> ST  
Vancouver, WA 98686  
360.904.7151  
[dgalanter@bannerbank.com](mailto:dgalanter@bannerbank.com)

**Property Owner:**

Donald Grafton  
2457 NW Fargo  
Camas, WA 98607

**Representing City of Camas:**

Sarah Fox, Sr. Planner  
Randy Miller, Fire Marshal  
Norm Wurzer, Engineer  
Jeff Noga, Plans Examiner

**Location:** 4033 and 4055 NE Franklin

**Tax Accounts:** 178211-000 and 178207-000

**Zoning:** R-7.5

**Description:** Applicant proposes to build a duplex on each lot

**NOTICE:** Notwithstanding any representation by City staff at a pre-application conference, staff is not authorized to waive any requirement of the City Code. Any omission or failure by staff to recite to an applicant all relevant applicable code requirements shall not constitute a waiver by the City of any standard or requirement. [CMC 18.55.060 (C)] This pre-application conference shall be valid for a period of 180 days from the date it is held. If no application is filed within 180 days of the conference or meeting, the applicant must schedule and attend another conference before the City will accept a permit application. [CMC 18.55.060 (D)] Any changes to the code or other applicable laws, which take effect between the pre-application conference and submittal of an application, shall be applicable. [CMC 18.55.060 (D)]. **A link to the Camas Municipal Code (CMC) can be found on the City of Camas website, <http://www.cityofcamas.us/> on the main page under "Business and Development".**

## STAFF NOTES

### PLANNING DIVISION

Sarah Fox | 817-7269

Applicable codes for this development include Title 16 Environment, Title 17 Land Development, and Title 18 Zoning of the Camas Municipal Code ("CMC"). The applicant is responsible for reviewing the code and addressing the applicable provisions. A duplex development in a single family zone requires **Conditional Use Permit approval**.

Type III Permits	Fee
Conditional Use Permit	\$3000 + \$95/per unit
Archaeological Review	\$120

#### Application Materials:

1. **General application** materials are listed at CMC18.55.110 (A through G). Include a site plan with the applicable setbacks, building footprint and elevations. Each lot will be required to install a street tree within the planter strip of the right-of-way.

A development sign will need to be installed on the property, which is within view of the road. The sign must be four feet by eight feet and remain on site until a decision has been rendered.

2. **Conditional Use Permit (CUP)**. The CUP requires a public hearing before the city's Hearings Examiner. The public hearings are scheduled as needed and require a minimum of two week notice prior to the hearing date.

The application narrative must include a response to the CUP approval criteria at CMC§18.43.050 Criteria.

#### 18.43.050 - Criteria

*The hearings examiner shall be guided by all of the following criteria in granting or denying a conditional use permit:*

*A. The proposed use will not be materially detrimental to the public welfare, or injurious to the property or improvements in the vicinity of the proposed use, or in the district in which the subject property is situated;*

*B. The proposed use shall meet or exceed the development standards that are required in the zoning district in which the subject property is situated;*

*C. The proposed use shall be compatible with the surrounding land uses in terms of traffic and pedestrian circulation, density, building, and site design;*

Staff note: The surrounding neighborhood has a mix of housing types, with ranch homes flanking either side of the properties (page 6 or these notes). The proposed design with a garage door as the dominant feature, is inconsistent with the design of the houses along that street. A modification to the design to provide more area for living space windows facing the street and a lesser percentage of garage door frontage would be advised.

*D. Appropriate measures have been taken to minimize the possible adverse impacts that the proposed use may have on the area in which it is located;*



E. The proposed use is consistent with the goals and policies expressed in the comprehensive plan;

F. Any special conditions and criteria established for the proposed use have been satisfied. In granting a conditional use permit the hearings examiner may stipulate additional requirements to carry out the intent of the Camas Municipal Code and comprehensive plan.

3. **Archaeological Review.** The property is within an area that is considered to have a moderate-high probability for containing archaeological resources, and is within one-quarter mile of known archaeological resources. A predetermination report must be submitted as described at CMC§ 16.31.080. The city requires that a copy of the report be mailed to the following tribes and provide proof of mailing to the city. Refer to CMC§ 16.31.160 for the notification requirements.

Tribe	Contact(s)	Address
<b>Chinook Indian Nation</b>	Tony Johnson, Chairman	PO Box 368, Bay Center, WA 98527
<b>Confederated Tribes and Band of the Yakama Indian Nation</b>	Kate Valdez, THPO Cultural Resources	PO Box 151, Toppenish, WA 98948
	Johnson Meninick, Cultural Resources Program Manager	
<b>Confederated Tribes of the Grande Ronde</b>	Jordan Mercier, THPO, Cultural Protection Coordinator	9615 Grand Ronde Road, OR 97347-9712
<b>Confederated Tribes of the Umatilla Indian Nation</b>	Teara Farrow Ferman, Cultural Resources	46411 Timine Way, Pendleton, OR 97801-9467
<b>Confederated Tribes of Warm Springs</b>	Robert Brunoe, Tribal Historic Preservation Officer	PO Box 460, Warm Springs, OR 97761
<b>Cowlitz Indian Tribe</b>	dAVE Burlingame, Director Cultural Resources	PO Box 2547, Longview, WA 98632-8594
	James Gordon, Cultural Resources	PO Box 2547, Longview, WA 98632-8594
<b>Nez Perce Tribe</b>	Mary Jane Miles, Chairman	PO Box 305, Lapwai, ID 83540
<b>Shoalwater Bay Tribe</b>	Earl Davis, Heritage and Cultural Coordinator	PO Box 130, Tokeland, WA 98590

## BUILDING DIVISION

Jeff Noga | 817-1568

1. The placement of buildings and structures on or adjacent to slopes steeper than one unit vertical in three units horizontal shall conform to Sections R403.1.7.1 through R403.1.7.4. A geotechnical reports may be required.
2. The structures will be reviewed under the most current building codes as adopted by The State of Washington.
3. The structural drawings and calculations shall be prepared and stamped by a Professional Engineer licensed by the State of Washington.
4. Required fire distance between buildings and from property line

5. If required the fire suppression system shall be in accordance with IBC and other applicable codes standards and shall be reviewed by the Camas Fire Marshal's office.
6. System Development Charges and Impact fees shall be assessed prior to permits
7. Storm sewer disposal/connections
8. Any development located within a special flood hazard area shall be in accordance with CMC 16.57
9. Verify Water and sewer availability with the public works department
10. Storm water from existing developments that slope towards the newly proposed developments should be taken into consideration.
11. Flag lots shall have a monument address sign at the street/driveway entrance
12. All lots shall be provided a storm drain lateral at the lowest practical location.

## ENGINEERING DIVISION

Norm Wurzer | 817-1561

### General Requirements:

- Construction plans shall be prepared by a licensed Washington State engineer in accordance with City of Camas standards.
- Existing wells and septic tanks and septic drain fields shall be abandoned in accordance with state and county guide lines per CMC 17.19.020 (A3).
- Per CMC 17.19.020 (A) Applicant shall provide public water and sewer services to each lot.
- A 3% plan review and inspection fee will be required per resolution number 1023. The fee will be based on an engineer's estimate or construction bid. The fee is due prior to approved construction drawings being released by the City.
- Regulations for installation of public improvements, improvement agreements, bonding, final platting and final acceptance can be found at CMC 17.21.
- Exception requests to the requirements of Title 17 shall meet the requirements of CMC 17.23.

### Stormwater:

- If the applicant proceeds with an application that includes both lots, then they will be considered as one development when determining stormwater requirements (exceeding 5000 SF).
- Per CMC 14.02 stormwater treatment and runoff control, if triggered (5,000 SF of impervious surface), shall be designed in accordance with the 2012 Stormwater Management Manual for Western Washington and the City of Camas Stormwater Design Standards Manual.
- Stormwater facilities shall be located and landscaped per CMC 17.19.030 (F6) and CMC 17.19.040 (C3a).
- Maintenance of the storm water facilities will be the responsibility of the owner per CMC 17.19.040 (C3).

### Streets:

- The applicant will be responsible for all traffic control signs, street name signs, pavement markings and street lighting per CMC 17.19.030 (I) (J). As of October, 2014 LED lighting is a requirement for all street lighting.
- The applicant will be responsible for the design and submittal of the utility plan showing the locations for underground power, telephone, gas, CATV, street lights and associated appurtenances.
- Per CMC 17.19.040 (B) the applicant will be required to dedicate a 10' half street Right-Of-Way.



#### Water:

- There is a 4" water line on NE Franklin

#### Sanitary Sewer:

- There is a 3" sanitary line STEP/STEF (contractor to confirm with City Water/Sewer dept.).

#### System Development Charges (SDC)

All fees are subject to change and are paid at time of building permit issuance.

For each single family detached residential structure the 2016 SDC will be as follows:

- |                        |             |
|------------------------|-------------|
| • TIF North District   | \$ 2,995.00 |
| • School impact fee    | \$ 5,371.00 |
| • ¾" Water Meter fee   | \$ 4,778.00 |
| • Water Connection fee | \$ 350.00   |
| • Sewer                | \$ 2,493.00 |
| • Park/O.S.            | \$ 2,290.00 |
| • Fire                 | \$ 0.20/SF  |

#### FIRE MARSHAL

Randy Miller | 834-8866

- 1) Life Safety Residential Fire Sprinklers are required in all new residential structures, installed per NFPA 13D guidelines and Camas FMO review notes.
- 2) Special attention to the water service line into the house is required and shall be evaluated by your fire sprinkler contractor for correct sizing. Contact our office if you have any questions about the water service line size. If the underground contractor is going to install the line without following the fire sprinkler contractor design specs, then a 2 inch line is required. However the water line size could easily be down sized based on fire sprinkler contractor evaluation.
- 3) Provide address numbers that can easily be seen from NW 3<sup>rd</sup> St. and will not be blocked by parked vehicles, landscaping etc.

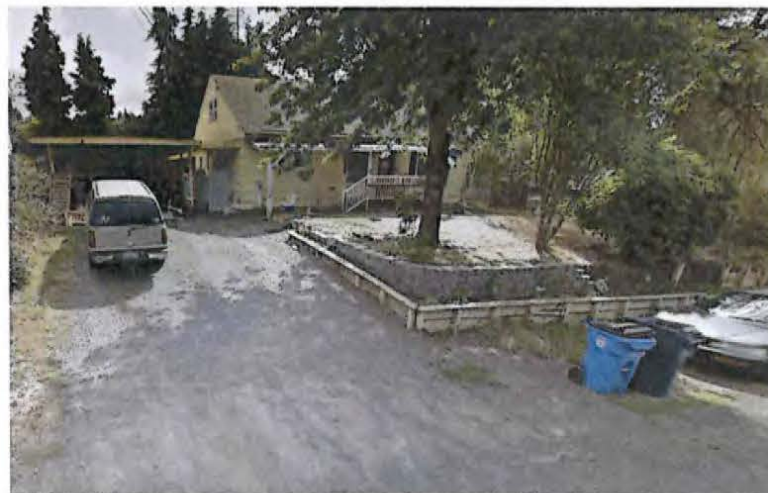
Sample of housing styles adjacent to the subject properties  
1- 4015 NE Franklin



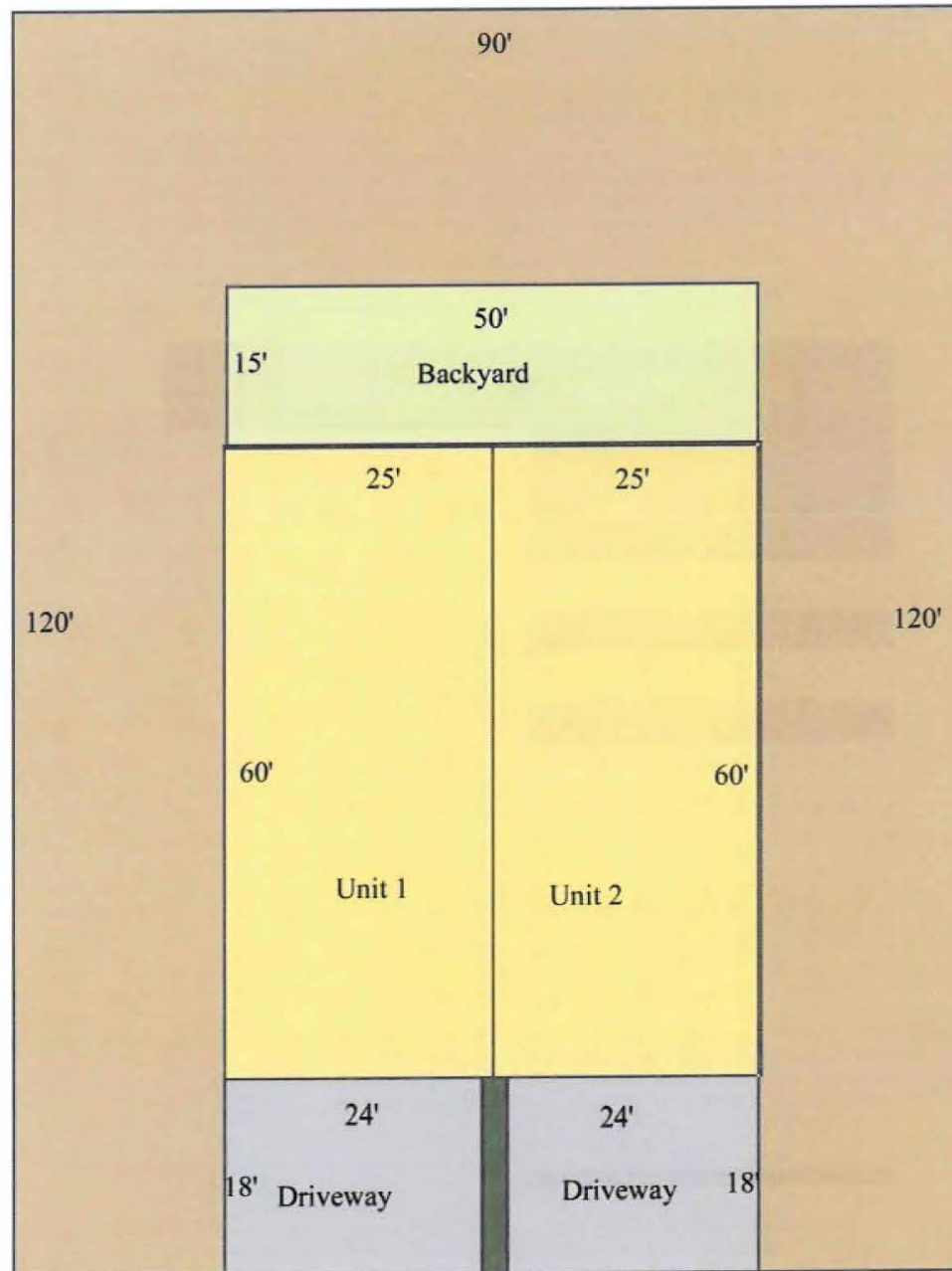
2- 4110 NE Franklin



3- 4024 NW Franklin

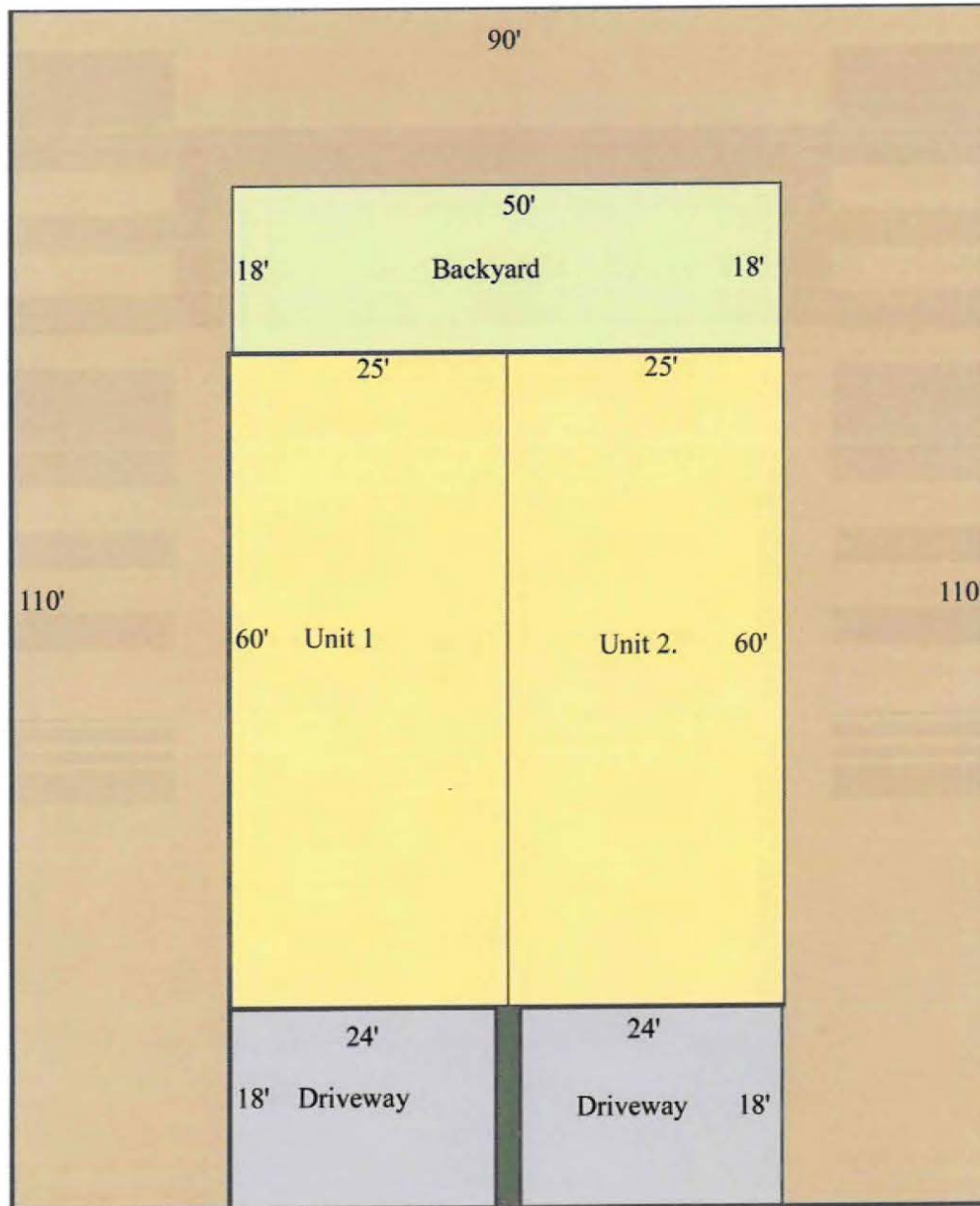


# Plot Map 4055 NE Franklin





# Plot Map 4033 NE Franklin



**TAB G.**  
**SEPA CHECKLIST**

**N/A**

**TAB H.**  
**SIGNAGE**

**SIGNAGE FOR TYPE III APPLICATION  
SHALL BE INSTALLED PRIOR TO BEING  
DEEMED COMPLETE**