

7th Avenue Townhomes Design Review

PROJECT INFORMATION

APPLICANT: 7th Avenue Townhomes, LLC
5440 SW Westgate Drive
Portland, Or 97221
Contact: Doug Campbell
503-539-9994

ENGINEER: Pivotal
1101 SE Tech Center Drive
Suite 160
Vancouver, WA 98683
Contact : Steve Hale
360-882-4269

**ARCHITURAL/
DESIGN:** Design NW
14602-D NE 4th Plain RD
PO Box 821425
Vancouver WA 98682
(360) 260-1766

PROPERTY OWNERS: Doug Campbell (current owner)
3851 SW 50th Avenue
Portland OR 97221

REQUEST: Design Review for 12 townhome units

GENERAL LOCATION: 722 NW 7th Avenue

SIZE: .91 acres

ZONING DISTRICT: MF-18

PROJECT DESCRIPTION

The 7th Avenue Townhome Subdivision is generally located at 722 NW 7th Avenue and extends down to NW 6th Avenue. The townhome project was approved in 2006 and has just recently been developed out with a pending final inspection and review of the final plat within the next month.

The proposed project consists of 12 townhome lots that are accessed by a 20 foot wide private road from NW 7th Avenue. A five foot sidewalk running along the main portion of the road provides pedestrian access to NW 7th Street. The property slopes slightly to the south toward 6th Avenue. There are no natural drainages on the property or significant trees greater than 6".

The townhome lots are designed as two attached units (duplex), or 6 buildings totaling 12 units. Eight (8) of the units (4 buildings) are proposed to have access via a small private driveway easement at 20 feet wide that will provide a common driveway entry for the units. Four of the lots (lots 1-4) have frontages on NW 7th Avenue and will have front entries directly onto NW 7th Avenue, with tuck under garages and secondary rear entries; these units will be 1,610 sf. The other lots (5-12) will have standard two story townhomes with front entry garages, these homes will be smaller square footage at 1,450 sf (see attached site plan and elevations).

A private road sideyard setback variance was granted for Lots 1, 7, 8 and 9 per subdivision approvals (Final Order – sub06-10), additional landscaping is proposed along the street side yard setbacks above requirements for the approvals (see attached landscape plan). A variance to the interior side yard setbacks for Lots 7 and 6 was granted from 5 feet to 4 feet providing for an 8 foot building separation. An 8 foot building separation is allowed by the zoning and building code. These variances are discussed in the final conditions of approval.

DESIGN REVIEW CODE REQUIREMENTS

A. Parking (18.11)

The proposed townhome design provides for a minimum of two parking spaces for each unit. Additional parking is available off site along NW 7th Avenue to serve extra parking and visitor parking. Extra parking spaces are provided for lots 9-10 and 11-12 within Track B that are included in a parking easement that will be controlled and managed by the HOA.

B. Landscaping (18.13)

The landscaping has been designed for low maintenance and low water usage. The landscaping incorporates a variety of types of plantings and trees to provide diversity in shape and color throughout the year. See attached landscape plan.

C. Signs (18.15)

No signs are proposed.

D. Supplemental Development Standards (18.17)

No supplemental development standards are addressed.

E. Design Review (18.19.040)

b. Townhomes and Row Houses

i. All on-site parking areas (excluding driveways and garages) shall be screened with landscaping.

Most of the parking on site is within driveways and garages. Extra parking spaces are provided for lots 9-12 located within Tract B across from lots 9-10. Fencing and landscape screening is provided around the perimeter of Tract B.

ii. Buildings shall be used to define the streetscape unless site conditions prove prohibitive.

The proposed buildings along NW 7th Avenue are designed to provide an appealing street scale with windows and front walkways at street grade. The buildings utilize alternating siding types and colors as well as bumped out portions of the front façade to provide a visual appealing look from the street. Landscaping is proposed to soften the appearance of the buildings at the street.

iii. When appropriate, structures abutting or located in single-family residential zoned areas shall be designed to mitigate size and scale difference.

The sizes of the buildings are typical size for townhomes and are two story at street grade. Lots 1-4 because of topography provide rear entry garages and will transition to three stories at the rear of the building located on the private road stub (NW 6th Way). The street side yard scale of the building will be softened with perimeter landscaping and trees proposed along lot 1 side yard, windows are also proposed along the street side yard (see attached elevations) to provide some variation in the view and look of the homes.

- iv. Walls shall be articulated in order to avoid a blank look and to provide a sense of scale.**

The front facades have windows, bump outs, front porches and other architectural features which all provide articulation to the front of the buildings. The sides have windows, which helps break up the blank wall views along the street side yards. The front siding includes different types of hardie-plank siding including shingles and batons which breaks up the visual appearance of the fronts of the building. See attached picture, Exhibit A, of similar type of townhome for lots 5-12, as well as lots 1-4, but the garage is replaced with windows in the front as shown in the attached elevations.

- v. Detached garages shall be located to the rear of the townhouse or rowhouse unit(s) so as not to be directly viewable from a public street.**

There are no detached garages.

- vi. Attached garages shall account for less than fifty percent of the front face of the structure.**

The garage doors are within 50% of the total building front face.

MATERIALS / COLORS

Siding:

The siding will be Hardie Plank siding and shingles, see attached example of similar building using Hardie Plank (Exhibit A). Hardie Plank lap siding, is a fiber cement siding that provides exceptional strength, and durability, and looks similar to wood or cedar siding. It is a common siding type for new homes in the pacific NW as it holds up to wet weather and colder temperatures.

Hardie shingle and baton siding will be used as accent material within the eave areas of the homes and has the same warm, authentic look as cedar siding shingles, yet it resists rotting, cracking, and splitting. The shingle siding panels come in a variety of decorative edges, and expedite installation when used in larger areas. Hardie Shingle individual siding shingles come in a selection of widths for an authentic handcrafted look and are also ideal for smaller coverage areas.

Windows: The windows will be aluminum or vinyl clad double pain windows, white or off white color.

Roofing Material:

Roofing material will be standard architectural composite material with a 25 year warranty that is used for typical residential housing. The color will be a black or dark gray color.

Paint Colors:

The project will use a high quality paint of Sherwin-Williams or other reputable paint company. The colors of the homes will be similar for all the homes but will vary between the buildings. An accent trim color will be used as well as an accent color for the shingle and baton portion of the eaves and bump outs to provide some variation in color and design. The developer/builder will work with a design specialist in identifying the final color schemes/combinations similar to the attached paint samples.

Decks: Deck types to be considered will either be cedar, fir or Trex Decking for rear decks of lots 1-4. Railings will be standard spindles of either cedar, fir or other wood type.

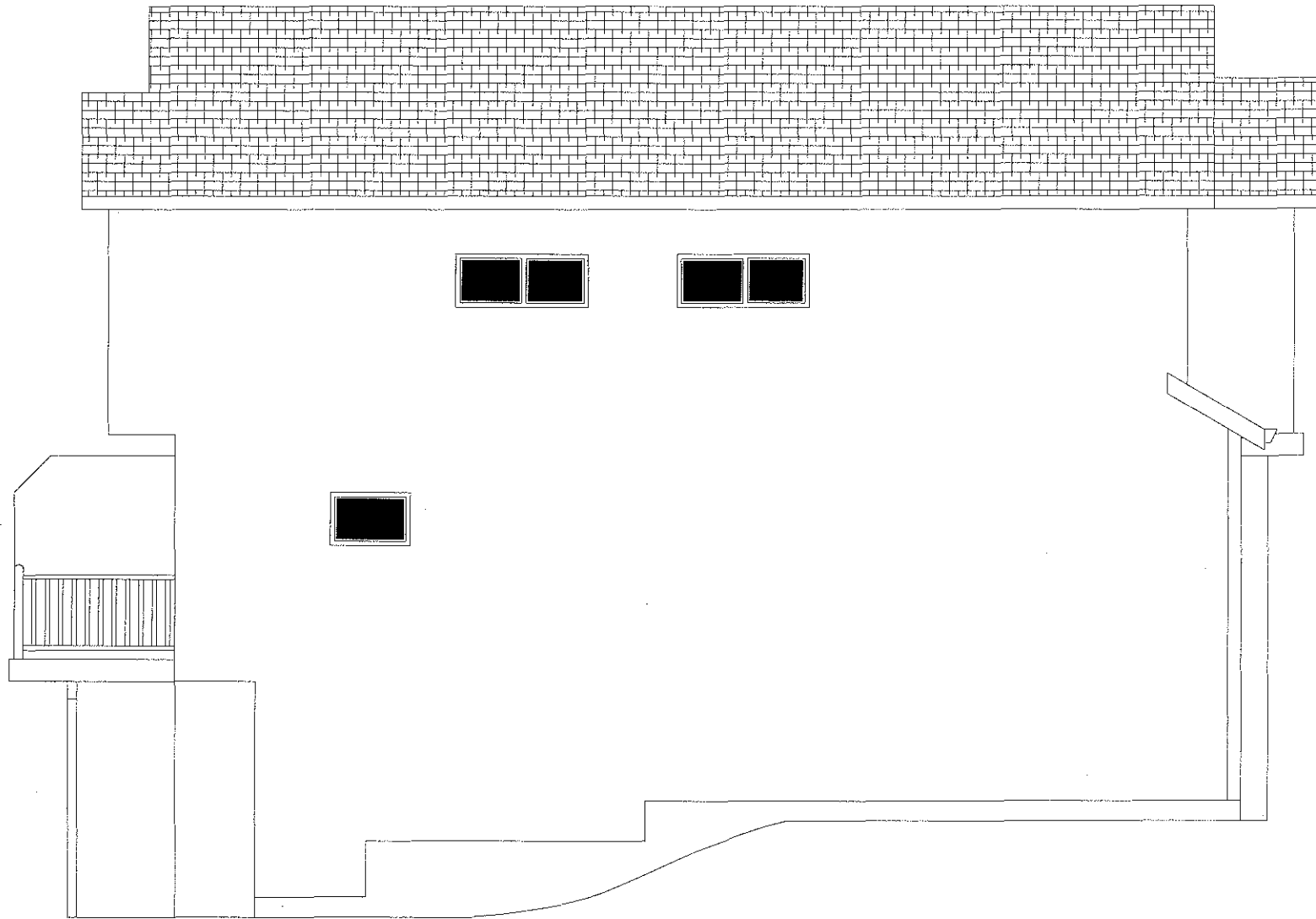
Lighting: Two street lights are located at each corner of Fargo Street at 7th Avenue and at 6th Way (see attached diagrams of light fixtures). A standard wall light is proposed at the front porch of each home, as well as at the rear entry point of the rear entry garages. Other outdoor wall lighting will be located at the upper decks and back patios.



UNITS 1 & 2, 3 & 4

FRONT ELEVATION

SCALE 1/4"=1'-0"



SIDE ELEVATION

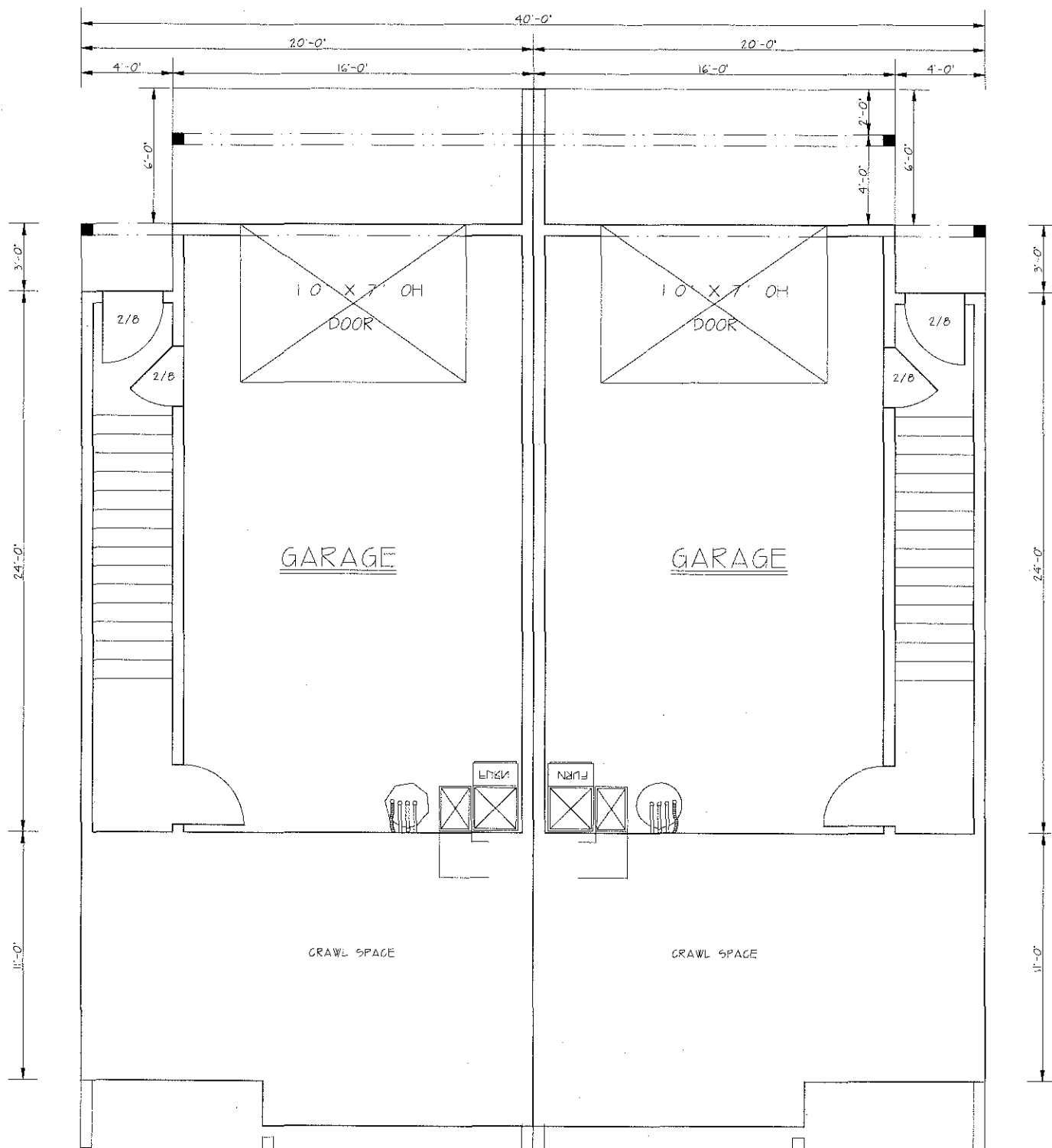
SCALE 1/4"=1'0"



ALLEY WAY ELEVATION

SCALE 1/4"=1'0"

1610 SF



UNITS 1 & 2, 3 & 4

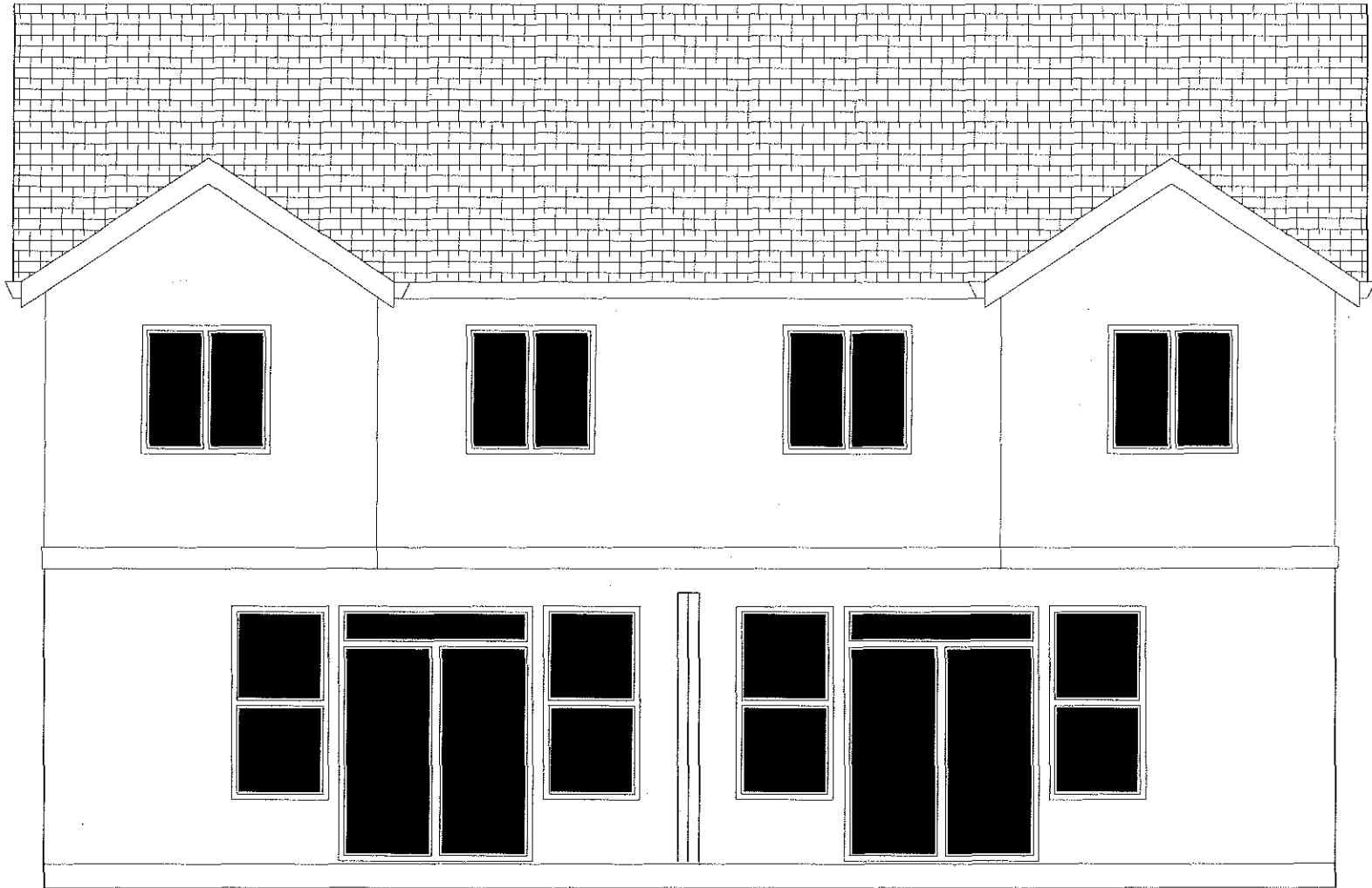
GARAGE-BASEMENT PLAN
SCALE 1/4"=1'-0"



UNITS 5&6 7&8 9&10

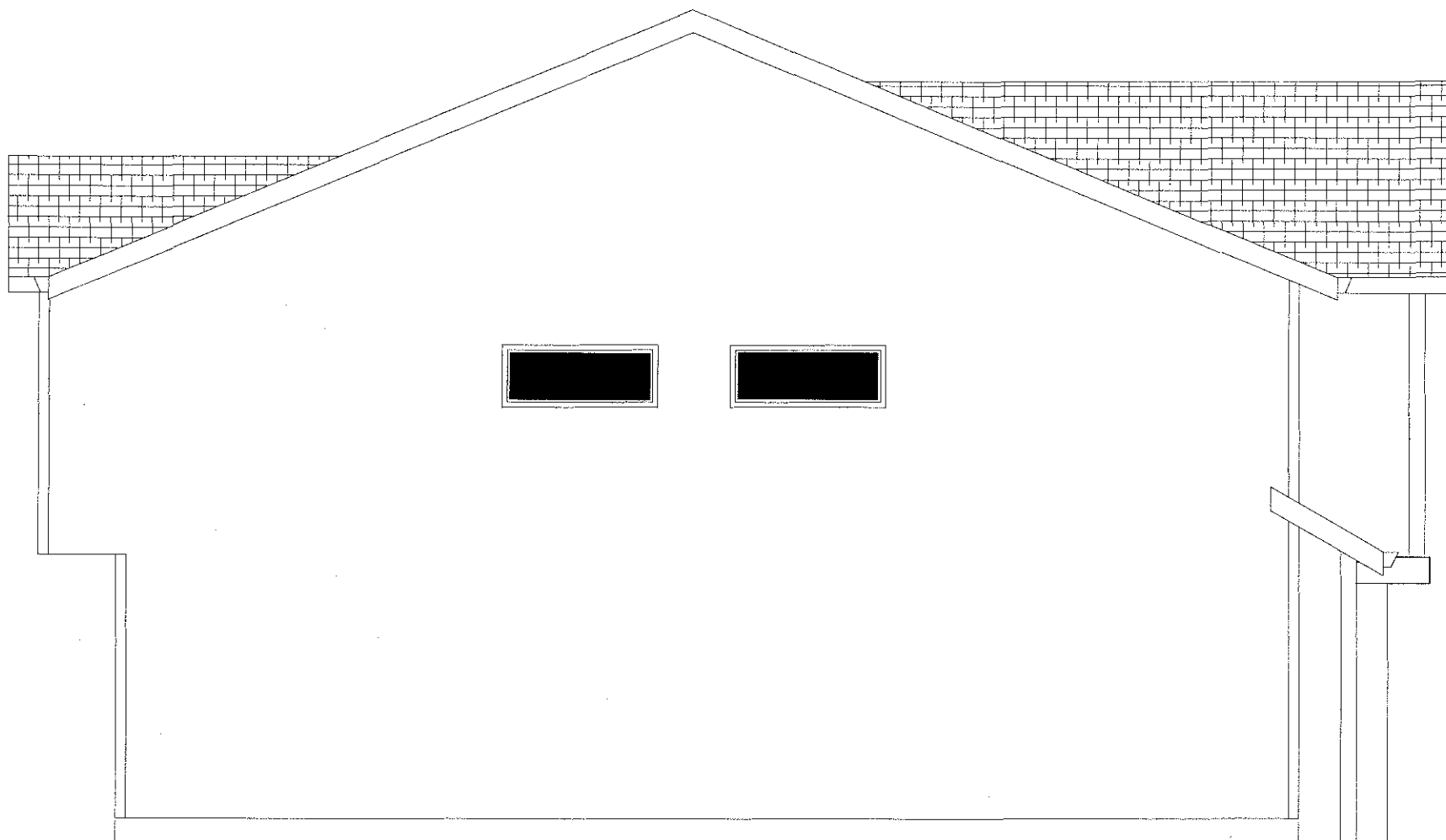
FRONT ELEVATION

SCALE 1/4"=10'



REAR ELEVATION

SCALE 1/8"=1'0"

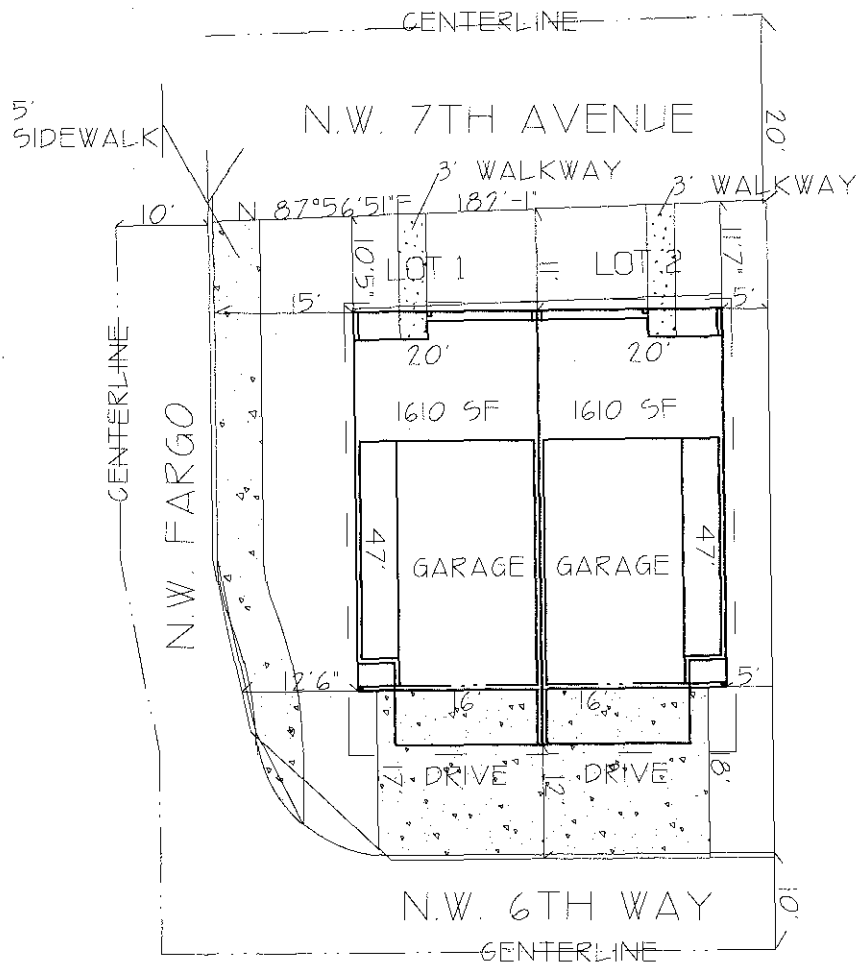


LEFT SIDE ELEVATION

SCALE 1/8"=1'0"

FLOOR PLAN
SCALE 1/4"=1'-0"

2ND FLOOR PLAN
SCALE 1/4"=1'-0"



LOT 1

Lot Area:	2284 SF
Non Paved/House:	804 SF
LANDSCAPING:	35.20%
Lot Area:	2284 SF
Bldg footprint:	823 SF
LOT COVERAGE:	36.03%

LOT 2

Lot Area:	1768 SF
Non Paved/House:	616 SF
LANDSCAPING:	34.84%
Lot Area:	1768 SF
Bldg footprint:	823 SF
LOT COVERAGE:	46.54%

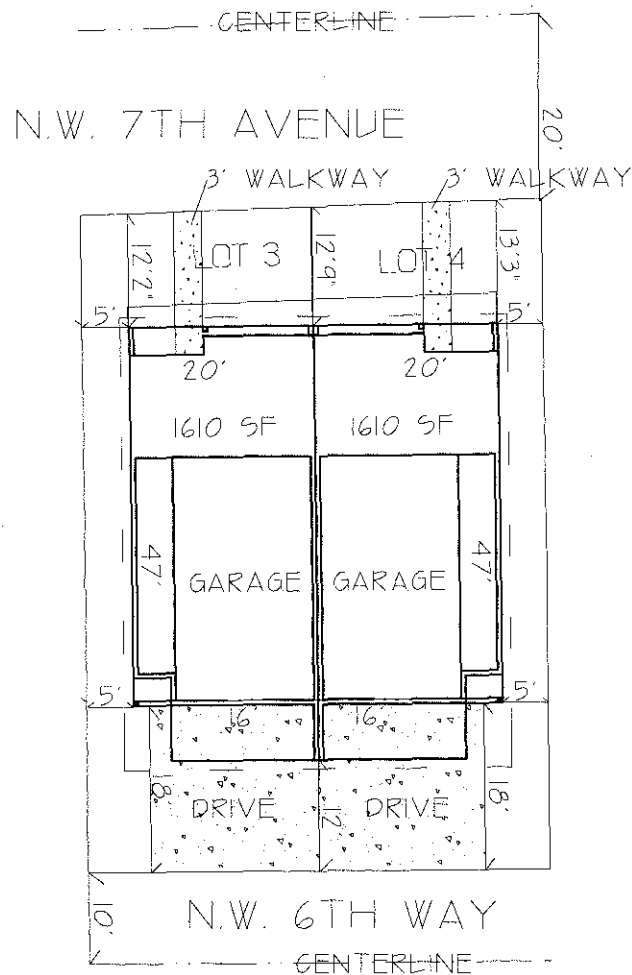
COPYRIGHT © DESIGN NW

SCALE:

1" = 20'

7TH AVE TOWNHOMES
LOT #S 1&2





LOT 3

Lot Area:	1787 SF
Non Paved/House:	641 SF
LANDSCAPING:	35.87%
Lot Area:	1787 SF
Bldg footprint:	823 SF
LOT COVERAGE:	46.05%

LOT 4

Lot Area:	1802 SF
Non Paved/House:	652 SF
LANDSCAPING:	36.18%
Lot Area:	1802 SF
Bldg footprint:	823 SF
LOT COVERAGE:	45.67%

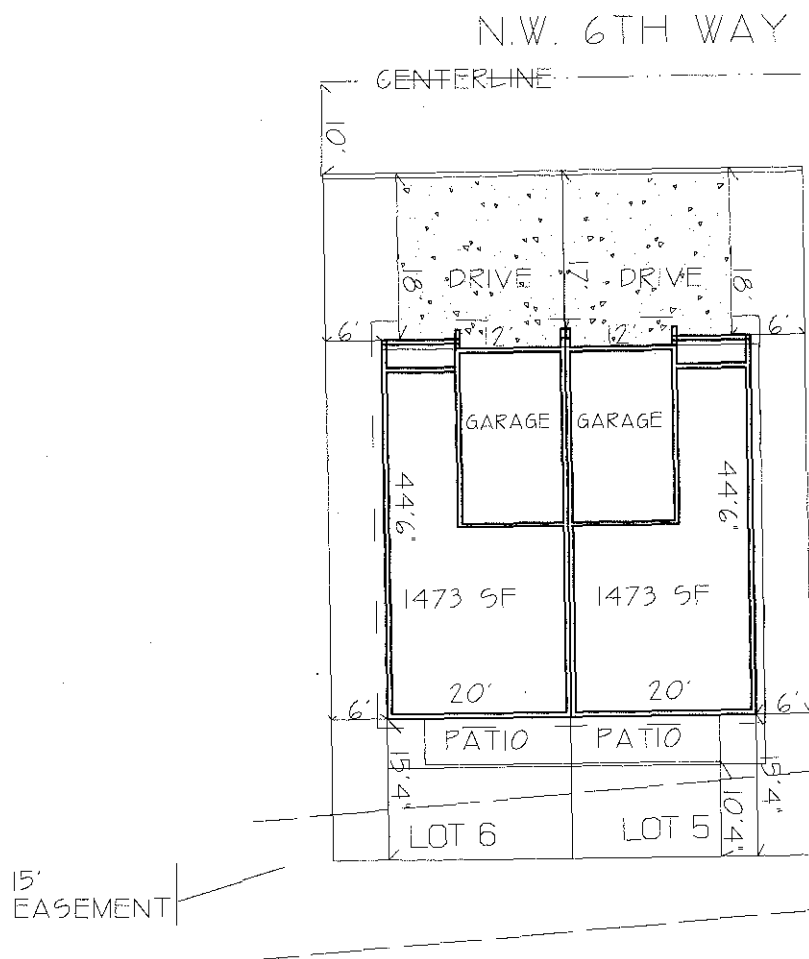
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SCALE:

1" = 20'

7TH AVE TOWNHOMES
LOT #S 3&4





LOT 6	
Lot Area:	1936 SF
Non Paved/House:	712 SF
LANDSCAPING:	36.78%
Lot Area:	1936 SF
Bldg footprint:	916 SF
LOT COVERAGE:	47.31%

LOT 5	
Lot Area:	1936 SF
Non Paved/House:	712 SF
LANDSCAPING:	36.78%
Lot Area:	1936 SF
Bldg footprint:	916 SF
LOT COVERAGE:	47.31%

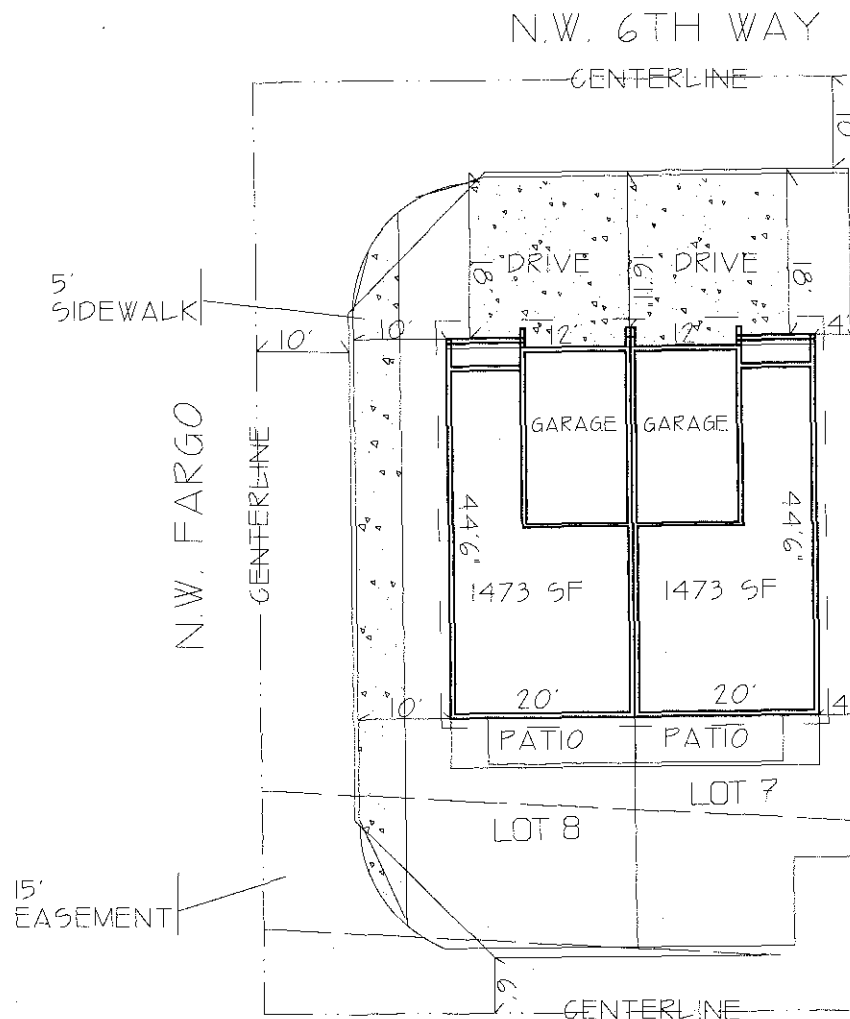
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SCALE:

1" = 20'

7TH AVE TOWNHOMES
LOT #S 5&6





LOT 8	
Lot Area:	2336 SF
Non Paved/House:	760 SF
LANDSCAPING:	32.53%
Lot Area:	2336 SF
Bldg footprint:	916 SF
LOT COVERAGE:	39.21%

LOT 7	
Lot Area:	1966 SF
Non Paved/House:	726 SF
LANDSCAPING:	36.92%
Lot Area:	1966 SF
Bldg footprint:	916 SF
LOT COVERAGE:	42.59%

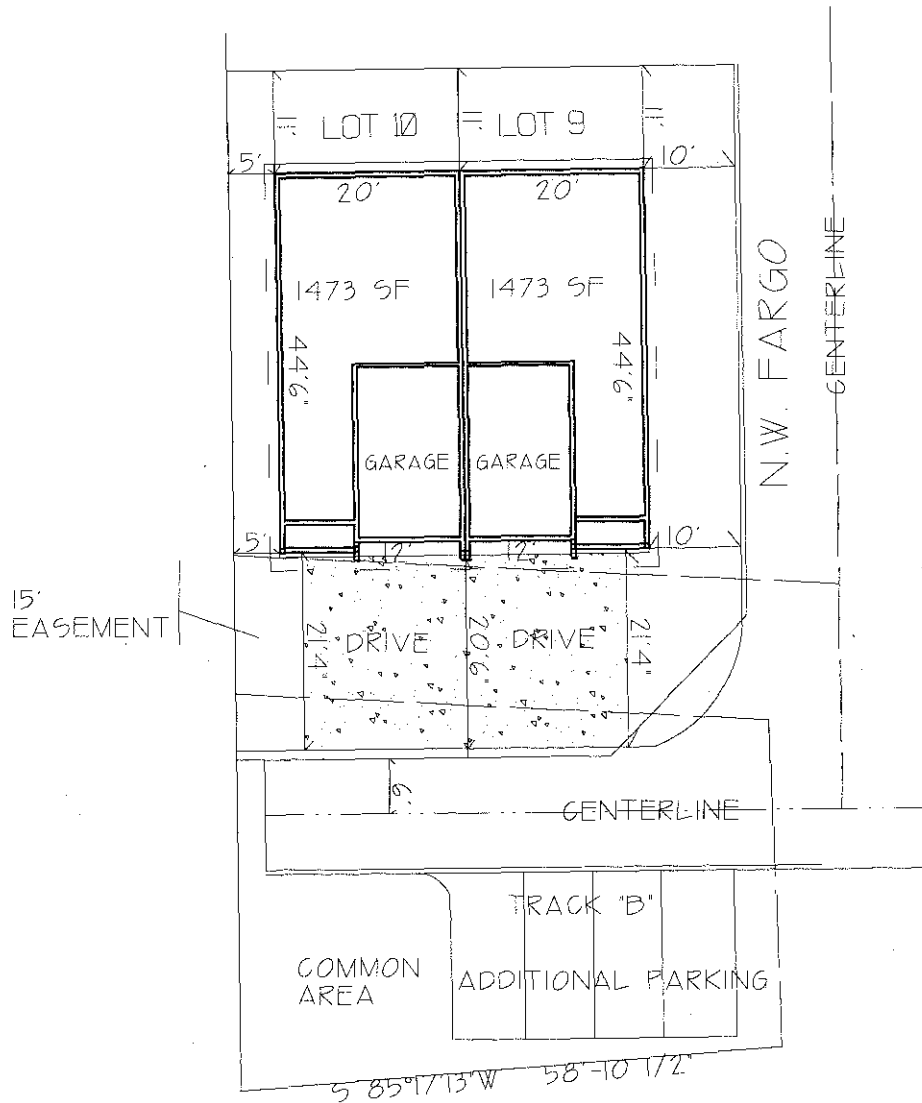
COPYRIGHT © DESIGN NW

SCALE:

1" = 20'

7TH AVE TOWNHOMES
LOT #S 7&8





LOT 10	
Lot Area:	1863 SF
Non Paved/House:	643 SF
LANDSCAPING:	32.53%
Lot Area:	1863 SF
Bldg footprint:	916 SF
LOT COVERAGE:	39.21%

LOT 9	
Lot Area:	2159 SF
Non Paved/House:	936 SF
LANDSCAPING:	43.35%
Lot Area:	2159 SF
Bldg footprint:	916 SF
LOT COVERAGE:	42.42%

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SCALE:

1" = 20'

7TH AVE TOWNHOMES
LOT #S 9&10





LOT 12	
Lot Area:	2324 SF
Non Paved/House:	690 SF
LANDSCAPING:	29.69%
Lot Area:	2324 SF
Bldg footprint:	916 SF
LOT COVERAGE:	39.41%



Yes (122)

Exterior Lighting
Accessory Type

+

\$11.97

Hampton Bay 1-Light Outdoor
Black Wall Lantern

Model # BPM162-L-BL

(37)

• Ship to Home
Free with \$45 Order

• Pick Up in Store TODAY
Free

ADD TO CART

CHECK STORE INVENTORY

☐ SELECT TO COMPARE



\$49.97

Home Decorators Collection
Port Oxford 1-Light Outdoor
Oil Rubbed Chestnut Wall
Lantern

Model # 23212

(1)

• Pick Up in Store TODAY
Free

ADD TO CART

CHECK STORE INVENTORY

\$79.97

Was: \$84.97 Save 6%

Hampton Bay Lumsden Wall-
Mount Outdoor Black LED
Motion Sensor Lantern

Model # NTSV300001 RL
MS

(10)

• Ship to Home
Free

• Pick Up in Store TODAY
Free

ADD TO CART

CHECK STORE INVENTORY

☐ SELECT TO COMPARE



\$49.97

Hampton Bay Waterton Wall-
Mount 1-Light Outdoor Dark
Ridge Bronze Lantern

Model # 23022

(28)

• Pick Up in Store TODAY
Free

ADD TO CART

CHECK STORE INVENTORY

☐ SELECT TO COMPARE

\$39.97

Hampton Bay Port Oxford
Wall-Mount 1-Light Outdoor
Oil Rubbed Chestnut Lantern

Model # 23011

(34)

• Pick Up in Store TODAY
Free

ADD TO CART

CHECK STORE INVENTORY

☐ SELECT TO COMPARE



\$49.97

Home Decorators Collection
Waterton 1-Light Outdoor
Dark Ridge Bronze Wall
Lantern

Model # 23122

(1)

• Ship to Home
Free

• Pick Up in Store TODAY
Free

ADD TO CART

CHECK STORE INVENTORY

☐ SELECT TO COMPARE

\$39.97

Home Decorators Collection
Port Oxford 1-Light Outdoor
Oil Rubbed Chestnut Wall
Lantern

Model # 23211

(1)

• Ship to Home
Free with \$45 Order

• Pick Up in Store TODAY
Free

ADD TO CART

CHECK STORE INVENTORY

☒ SELECT TO COMPARE



\$29.97

Home Decorators Collection
Brimfield 1-Light Outdoor
Aged Iron Wall Lantern

Model # HB48023PA-151

(7)

• Ship to Home
Free with \$45 Order

• Pick Up in Store TODAY
Free

ADD TO CART

CHECK STORE INVENTORY

Possible
Front Porch
Lighting

Page 1 2 ... 30

Search Feedback

Did you find what you were looking for?

RECOMMENDATIONS BASED ON YOUR BROWSING HISTORY



\$49.97

Essex Outdoor Brushed
Nickel LED Powered Wall
Lan



\$42.50

Design House Mason RLM
Wall Mount Outdoor Oil



\$8.43

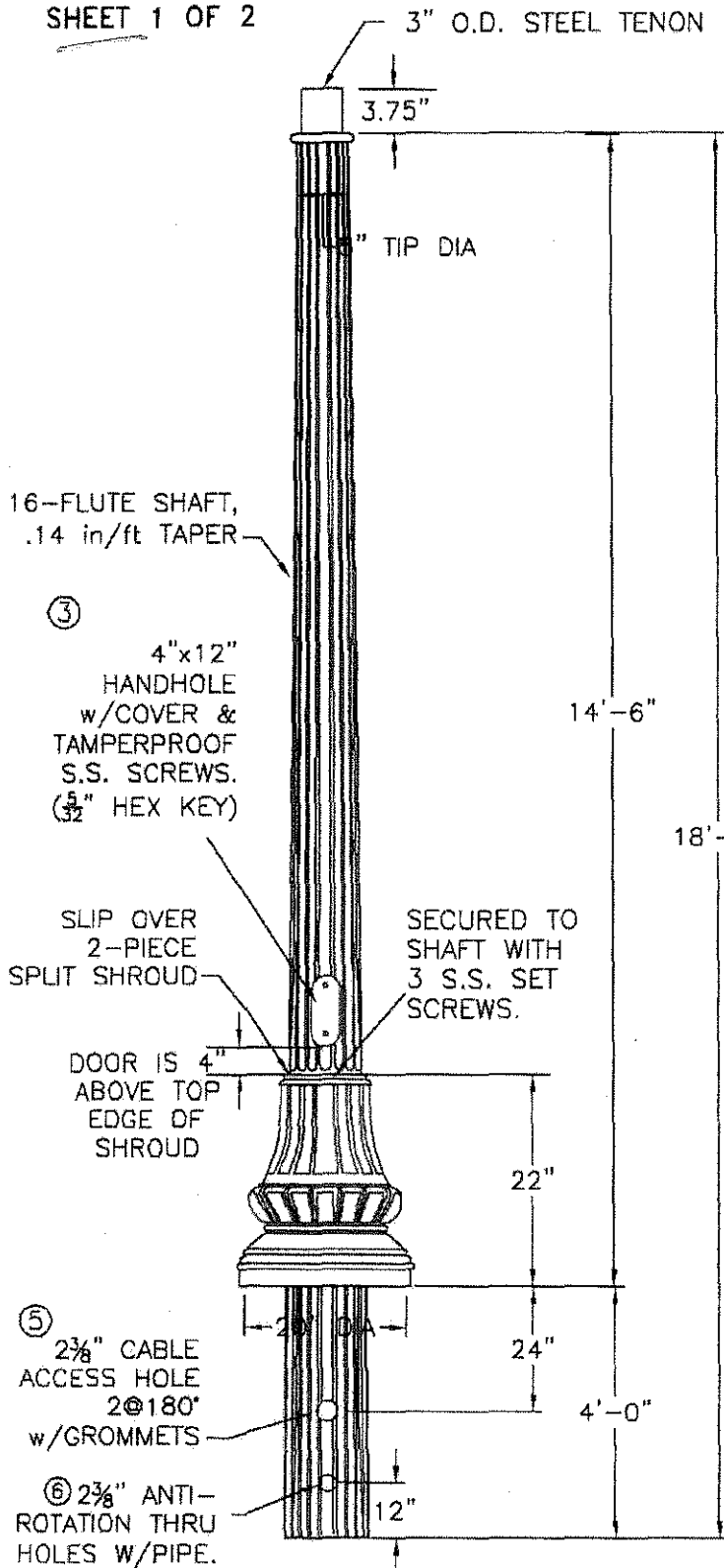
Design House Wall Mount
Outdoor Oil Rubbed



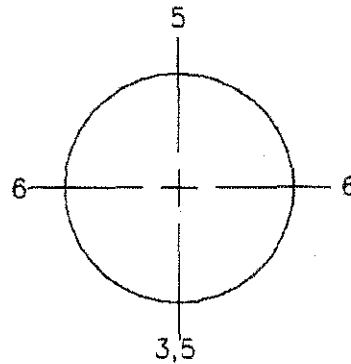
\$33.00

Lights of America Bronze
Flourex Wall Light

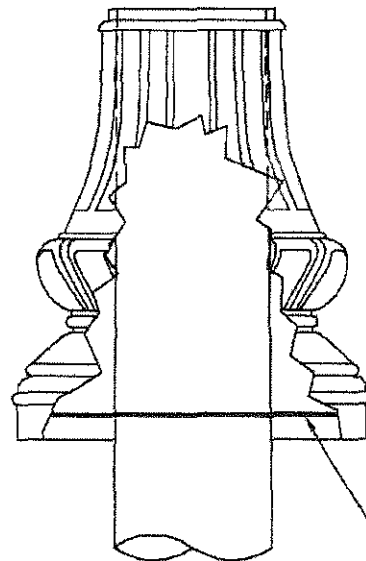
Received 10/28/13



ORIENTATION VIEWED FROM TOP OF POLE



HAND HOLE DETAIL



COLONNADE SHROUD WITH MOUSEPLATE. SEE ATTACHED DRAWING (SHEET 2 OF 2) FOR DETAILS

1/4-20x1 1/2" S.S. w/PIN HEAD. USE WITH RETROFIT SHROUD.

COLOR: BLACK
FINISH: TEXTURED



CMT
41 Wood Street
Estill, SC 29918
800-416-4276
www.cmtpoles.com

CLARK COUNTY PUD

CAT. NO.: LC(SS)B14.5-T-3-T300-F

QUANTITY: 70

JOB NUMBER: C0778139

PO NUMBER: 1032051

REF:

REV. DATE BY REMARKS

SPECS: AASHTO

WIND VEL.: 90 @ 3.0

TOT. LENGTH: 18'-6"

LUM. WEIGHT: 50 lbs.

EMBED. DEPTH: 4'-0"

LUM. EPA: 4.0 sq.ft. max

TIP DIA: 5.0"

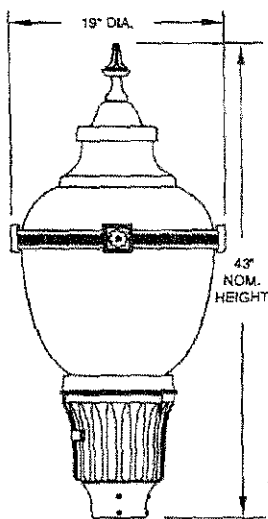
STATIC DEFL.:

WEIGHT:

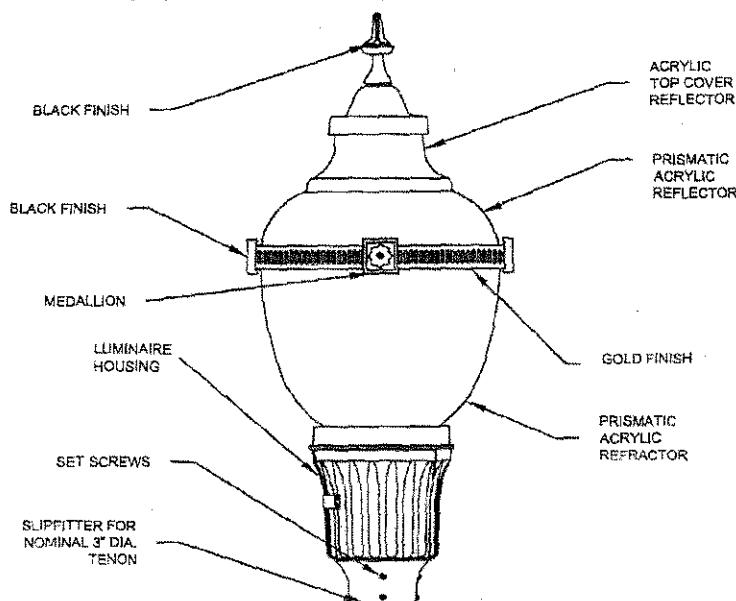
TOTAL DEFL.:

DRAWN BY: PLF

DATE: 06/20/2013



Maximum weight - 37 lbs
Maximum effective projected area - 2.19 sq. ft.



Acrylic Utility Washington Postlite®
Luminaire w/ Band & Medallions

DECORATIVE
OUTDOOR

HOLOPHANE®
LEADER IN LIGHTING SOLUTIONS
An Acuity Brands Company

ONLY WITH RFD31147

ORDERING INFORMATION:

AWU	100HP	12	B	M	3	S	G
BALLAST TYPE (MOGUL BASE) 050HP = 50W HPS (NOT AVAILABLE WITH 347 VOLT) 070HP = 70W HPS 100HP = 100W HPS 150HP = 150W 55V HPS 150MH = 150W MH (NOT AVAILABLE WITH 480V) 175MH = 175W MH 175PM = 175W PULSE MH (NOT AVAILABLE WITH 347V OR 480V) BALLAST TYPE (MEDIUM BASE) 50DHP = 50W HPS (NOT AVAILABLE WITH 347 VOLT) 70DHP = 70W HPS 100DHP = 100W HPS 150DHP = 150W 55V HPS 70DMH = 70W MH (NOT AVAILABLE WITH 480V) 100DMH = 100W MH (NOT AVAILABLE WITH 480V) 150DMH = 150W MH (NOT AVAILABLE WITH 480V) 175DMH = 175W MH		VOLTAGE 08 = 208 VOLT (C.U.L.) 12 = 120 VOLT (R.A. & C.U.L.) 20 = 208 VOLT 24 = 240 VOLT 27 = 277 VOLT (UL & C.U.L.) 34 = 347 VOLT (UL & C.U.L.) 40 = 240 VOLT (C.U.L.) 48 = 480 VOLT MA = MULTITAP (factory 120V) (120, 208, 240, 277 VOLT) MB = MULTITAP (factory 335V) (120, 208, 240, 277 VOLT) MC = MULTITAP (factory 240V) (120, 208, 240, 277 VOLT) MD = MULTITAP (factory 277V) (120, 208, 240, 277 VOLT)	COLOR A = AS SPEC. B = BLACK D = DARK GREEN RAL6005 E = BROWN GREEN RAL6008 F = DARK GREEN RAL6009 H = DARK GREEN RAL6012 N = GREEN Z = BRONZE	TRIM M = MEDALLIONS AND BAND ONLY D = FULL ALUMINUM COVER WITH MEDALLIONS AND BAND	OPTICS 3 = IES TYPE III DISTRIBUTION 4 = IES TYPE IV DISTRIBUTION 5 = IES TYPE V DISTRIBUTION	FINAL (FACTORY INSTALLED) C = CLEAR S = SPIKE F = FLOWER B = BALL E = EAGLE K = KNURLED CAP P = PAWN	TRIM AND FINAL FINISH A = AS SPECIFIED B = BLACK D = DARK GREEN RAL6005 E = BROWN GREEN RAL6008 F = DARK GREEN RAL6009 H = DARK GREEN RAL6012 N = GREEN G = GOLD J = NO TRIM AND CLEAR FINAL (ONLY USE IF "N" ON TRIM AND THEN FOLLOWED BY "C" ON FINAL) Z = BRONZE

*NOT AVAILABLE FOR SHIPMENT IN US AFTER 12/31/06 DUE TO EISA 2007 LEGISLATION.

OPTIONS

H = NEMA TWISTLOCK PHOTOCONTROL RECEPTACLE ONLY
P = PROTECTED STARTER FOR HPS UNITS ONLY
TS = CLEAR ACRYLIC REFRACTOR WITH BLACK ACRYLIC REFLECTOR AND TOP CAP
TR = TOP RE-LAMPING ACCESS.
NEMA050HP = NEMA LABEL 50 HPS
NEMA070HP = NEMA LABEL 70 HPS
NEMA100HP = NEMA LABEL 100 HPS
NEMA150HP = NEMA LABEL 150 HPS
NEMA070MH = NEMA LABEL 70 MH
NEMA100MH = NEMA LABEL 100 MH
NEMA150MH = NEMA LABEL 150 MH
NEMA175MH = NEMA LABEL 175 MH
PCTWSTL120 = DTL TWISTLOCK PHOTOCONTROL 120 VOLT
PCTWSTL120/2427 = DTL TWISTLOCK PHOTOCONTROL 120-277 VOLT
PCTWSTL480 = DTL TWISTLOCK PHOTOCONTROL 480 VOLT
PCTWSTSHRTCAP = SHORTING CAP
LEADS1.5FT10GA = 1.5 FEET OF PREWIRED LEADS
LEADS3FT10GA = 3 FEET OF PREWIRED LEADS
LEADS10FT10GA = 10 FEET OF PREWIRED LEADS
LEADS20FT10GA = 20 FEET OF PREWIRED LEADS
LEADS25FT10GA = 25 FEET OF PREWIRED LEADS
LEADS30FT10GA = 30 FEET OF PREWIRED LEADS

ACCESSORIES

F1 = SINGLE FUSING
F2 = DOUBLE FUSING
LAMP = SHIP APPROPRIATE LAMP AS LINE ITEM. SEE LAMP SHEET
WHS090 = HOUSE SIDE SHIELD, 90 DEGREES
WHS120 = HOUSE SIDE SHIELD, 120 DEGREES
WHS180 = HOUSE SIDE SHIELD, 180 DEGREES
IG-5 = PLUG-IN REPLACEMENT STARTER FOR HPS UNITS
IG-6 = PLUG-IN REPLACEMENT PROTECTED STARTER FOR HPS UNITS
IG-7 = PLUG-IN REPLACEMENT STARTER FOR 70W/150DMH UNITS
RBM/X* = RBS, BAND, & MEDALLIONS KIT (*X* REPRESENTS COLOR FROM STEP 8).

THE FINISH, WHEN APPLIED, SHALL BECOME THE COMPLETE REPRESENTATION FOR THE MATERIAL. TO BE FURNISHED OFF-POORHANE SPECIFICATIONS FOR THE MATERIAL. A LIST OF MATERIALS MAY BE OBTAINED BY REQUESTING A SAMPLE. THE CUSTOMER SHALL BE RESPONSIBLE FOR THE PROPER USE OF THE MATERIAL. THE FOLLOWING INFORMATION IS FOR INFORMATION ONLY. IT IS NOT TO BE USED IN ANY MANNER THAT COULD BE CONSIDERED AS A WARRANTY OR AS A GUARANTEE OF ANY KIND. ANYWAY OF REMEDIAL TO OUR INTERESTS, AND IN NO CONNECTION WITH MATERIAL FURNISHED BY HOLOPHANE.

ORDER #:
TYPE:
DRAWN: MJH
DATE: 12/17/09
DWG #: US-3075
1 of 2



COMPOSITE POLE

RT47

TAPERED POLE 4.7 INCHES AT POST TOP

- Smooth, tapered composite pole shaft
- Direct Embedded and Anchor Base models
- XTREME® elastomeric urethane base cover

OK TO PROCEED.

John Allen

Ordering Information

SAMPLE CATALOG NUMBER LOGIC

RT47-30-DE-GRY-SMS-DTC 1MA72

w/ Hardware

	B	C	D	E	F	G	H
RT47	16	AB	DBZ	SMS	30	-35	•
RT47	20	DE	BLK	TXT	35	-40	•
POLE	ABOVE GRADE HEIGHT	INSTALLATION METHOD	COLOR	SURFACE FINISH	TENON O.D.	TENON HEIGHT	OPTIONS

B	ABOVE GRADE HEIGHT
Cat No.	Description
RT47-10	10 feet/3.0M
RT47-11	11 feet/3.4M
RT47-12	12 feet/3.7M
RT47-13	13 feet/4.0M
RT47-14	14 feet/4.3M
RT47-15	15 feet/4.6M
RT47-16	16 feet/4.9M
RT47-17	17 feet/5.2M
RT47-18	18 feet/5.5M
RT47-19	19 feet/5.8M
RT47-20	20 feet/6.1M
RT47-21	21 feet/6.40M
RT47-22	22 feet/6.71M
RT47-23	23 feet/7.01M
RT47-24	24 feet/7.32M
RT47-25	25 feet/7.62M
RT47-26	26 feet/7.92M
RT47-27	27 feet/8.32M
RT47-28	28 feet/8.53M
RT47-29	29 feet/8.84M
RT47-30	30 feet/9.14M

E	SURFACE FINISH
Cat No.	Description
TXT	Natural texture of the reinforcing strands
☒ SMS	Smooth surface finish

F	TENON O.D. (OUTSIDE DIAMETER)
Cat No.	Description
23	2 3/8" (60mm)
27	2 7/8" (73mm)
30	3" (76mm)
35	3 1/2" (89mm)
40	4" (102mm)

G	TENON HEIGHT
Cat No.	Description
-30	3.0" (76mm)
-35	3.5" (89mm)
-40	4.0" (102mm)
-50	5.0" (127mm)
-60	6.0" (178mm)

- For other tenon sizes contact the factory.

H	OPTIONS
Cat No.	Description
DTC	Top pole cap and drilling for a side mounted arm(s). Provide template or drawing for hole locations.
FLD	Top pole cap. Field drill to accept a luminaire.
R1	Single receptacle and housing with spring loaded cover. Molded in dark grey color. Standard location is 12"/305mm below the top of the pole.

C	INSTALLATION METHOD
Cat No.	Description
☒ DE	Direct Embedded
AB	Anchor Base

D	COLOR
Cat No.	Description
BLK	Black
MTB	Matte Black
DBZ	Dark Bronze
DGR	Dark Green
HTG	Hunter Green
SLV	Silver
WHT	White
☒ GRY	Grey
CC	Custom color - Please provide a min. 3" x 3" color chip.
RAL	Please provide a four digit RAL color number.

ABOVE GRADE
HEIGHT
20' MODEL
SHOWN

H	OPTIONS
Cat No.	Description
RC	Receptacle housing and a NEC approved cover. GFCI receptacle by others. Standard location is 12"/305mm below the top of the pole.
RBC	XTREME urethane composite base cover for direct embedded (DE) installations. Standard with anchor base AB configuration. Painted to match the pole color.
• Other accessories are shown on the Accessories specification sheet.	

WHATLEY INC. A VALMONT COMPANY
3550 Odessa Way Aurora, CO 80011

office 303-287-8053

fax 303-286-7216

whatley.com
877-959-7678

Exhibit A





HardiePlank
DESIGN COLLECTION

1-888 J-HARDIE / Get a Quote

HardiePlank® Design Collection

Design is what distinguishes a new exterior from new siding.

For the homeowner who wants their home to stand out, James Hardie introduces the HardiePlank Design Collection featuring four unique lap siding textures and silhouettes that provide a touch of style.

Differentiated Design
Redefining curb appeal

[MORE](#)

Download Literature: the
Design Collection Literature

[MORE](#)



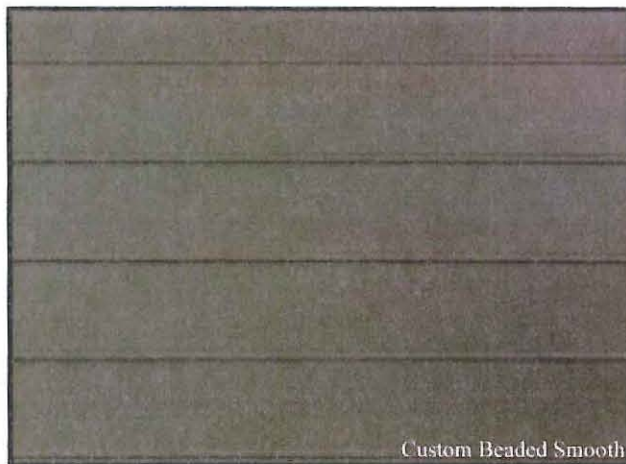
Video
of Colors



Image Gallery



Product Image Gallery



Custom Beaded Smooth

Get A Quote

Get started with a free,
simple consultation...

Call at 1-888 J-HARDIE or
fill out our contact form to
get a quote from a James
Hardie Preferred
Remodeler in your local
area

Product & Color
Availability

Long-Lasting
Durability

Low
Maintenance
Exterior

Differentiated Design

For the homeowner who wants their home to stand out — we introduce the HardiePlank® Design Collection. Four unique lap siding profiles that provide a touch of style to your exterior.

Custom Beaded and Custom Colonial are both available with rich wood-like textures. And for the design trendsetter — both are also available in modern smooth finishes.

Custom Beaded

Inspired by popular siding styles in coastal communities up and down the Eastern seaboard, Custom Beaded CedarMill® provides a subtle, breezy accent to your exterior.

Custom Colonial™

Custom Colonial™ is James Hardie's take on the traditional dutch lap siding seen in historic communities throughout the south.

Click on the thumbnails to
enlarge:



Custom Beaded CedarMill



Custom Beaded Smooth



Custom Colonial
Roughsawn



Custom Colonial Smooth

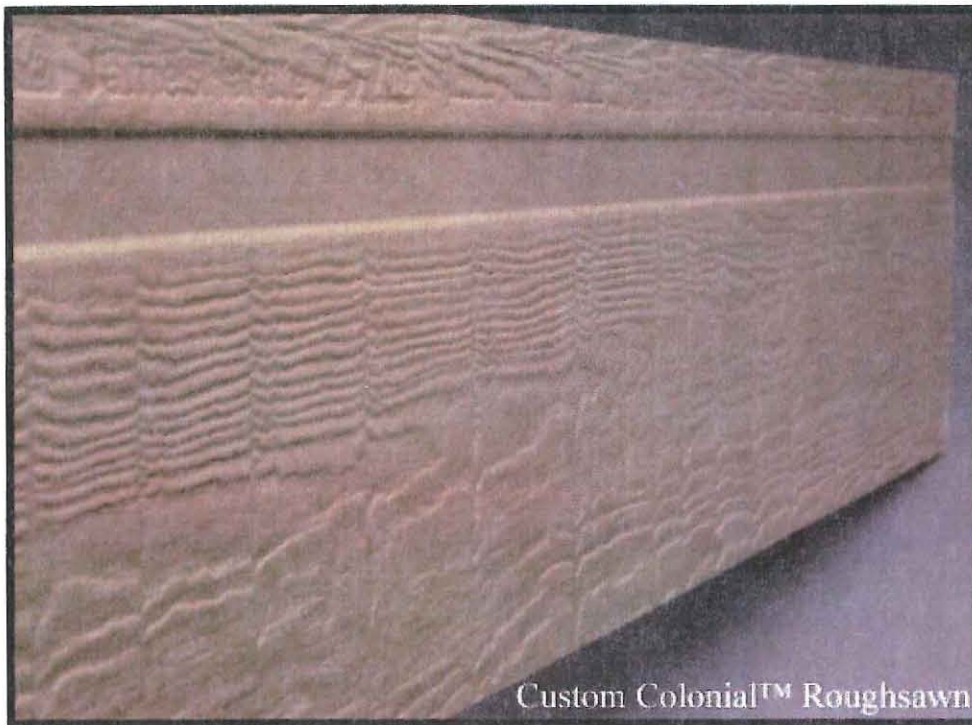


Request a Free Sample

Design Collection
Siding Samples

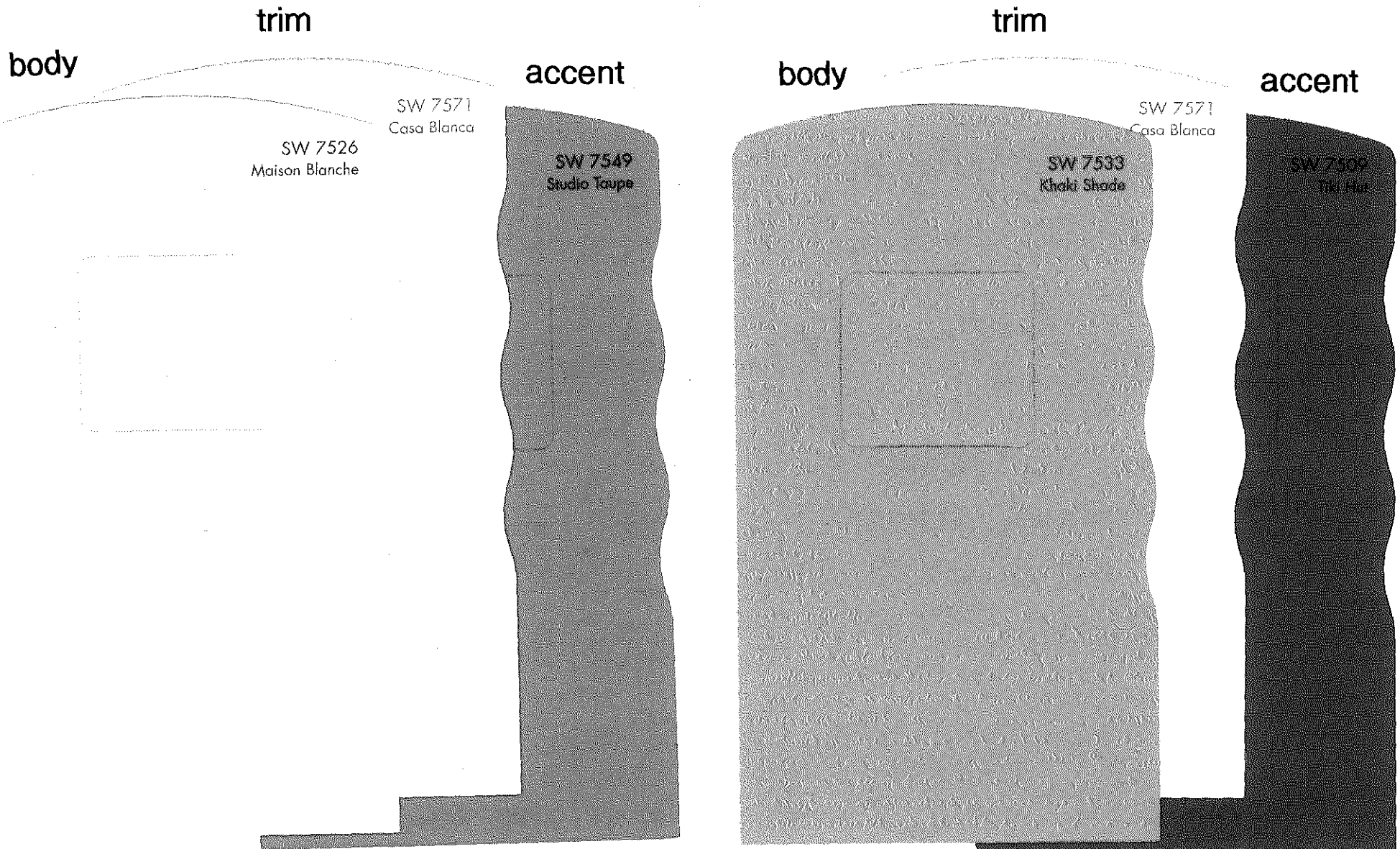
James Hardie® Siding
with ColorPlus® technology

Learn About James Hardie,
the Leader in Fiber Cement
Siding



Custom Colonial™ Roughsawn

SAMPLE PAINT COLORS





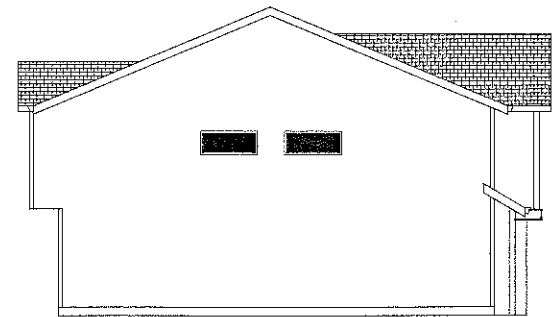
7TH AVENUE TOWNHOMES

DESIGN NORTHWEST • PLOT 0601 360-746 • www.DesignNW.com



UNITS 5&6 7&8 9&10 11&12

FRONT ELEVATION
SCALE 1/8"=1'-0"



LEFT SIDE ELEVATION
SCALE 1/8"=1'-0"



REAR ELEVATION
SCALE 1/8"=1'-0"

NOTES: ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL RESIDENTIAL CODE BOOK (IRC) AND THE INTERNATIONAL BUILDING CODE (IBC). ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE LOCAL BUILDING DEPARTMENT. ANY CHANGES TO THIS PLAN SHALL BE MADE IN WRITING AND SIGNED BY THE ARCHITECT.

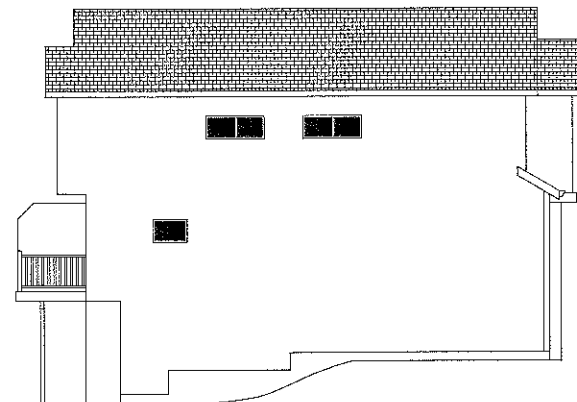
ORIG	
REV	
REV	
REV	

1473 SF
LOTS 5-12



UNITS 1 & 2, 3 & 4

FRONT ELEVATION
SCALE 1/4"=1'-0"



SIDE ELEVATION
SCALE 1/4"=1'-0"



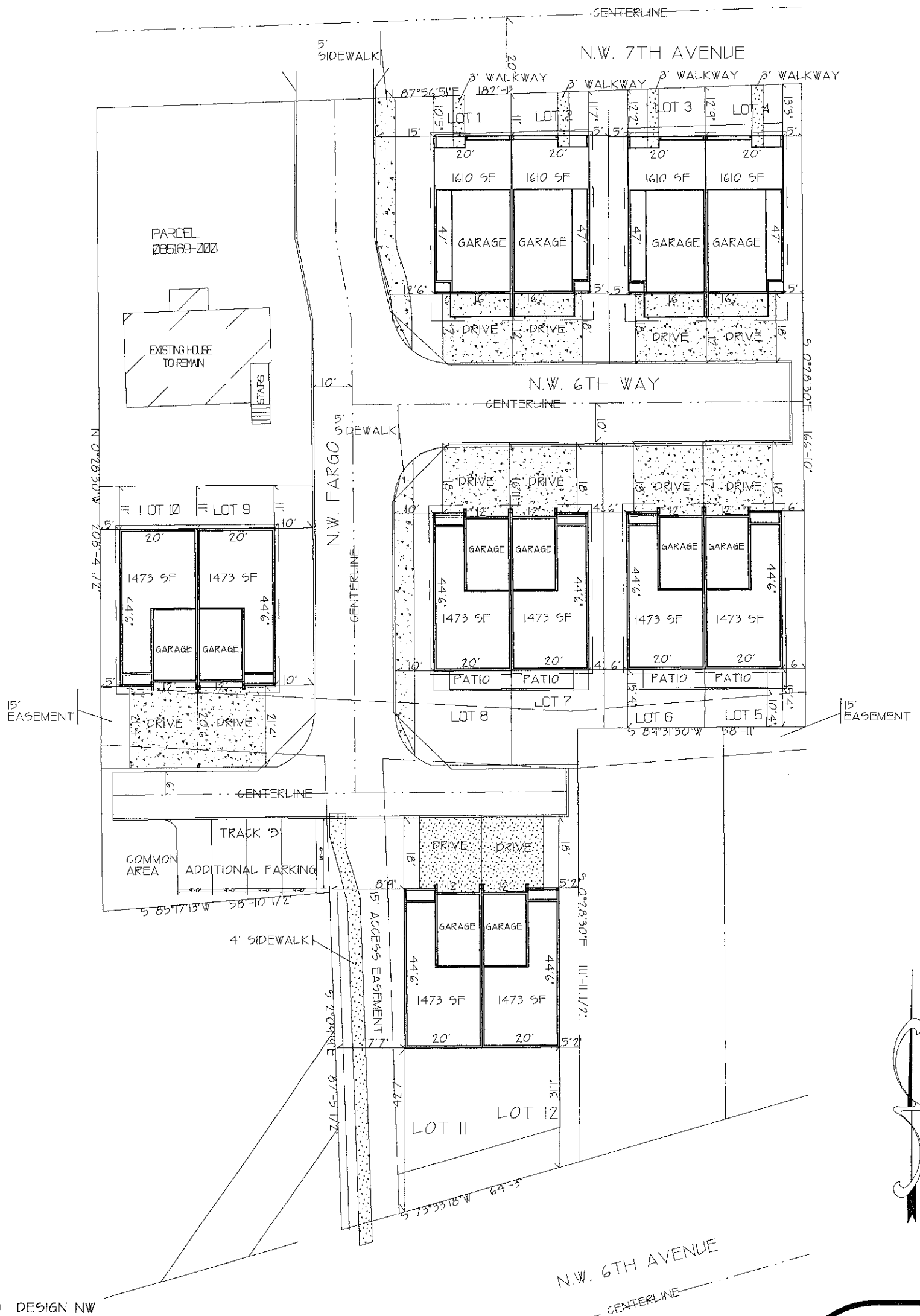
ALLEY WAY ELEVATION
SCALE 1/4"=1'-0"



ALL RIGHTS RESERVED. NO PART OF THIS DOCUMENT MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT PERMISSION IN WRITING FROM DESIGN NORTHWEST. THIS SET OF PLANS IS THE PROPERTY OF DESIGN NORTHWEST AND IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. ANY OTHER USE, REPRODUCTION, OR TRANSMISSION OF THIS SET OF PLANS IS STRICTLY PROHIBITED. ANY VIOLATION OF THESE TERMS SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO DESIGN NORTHWEST.

ORIG	
REV	
REV	
REV	

± 1610 SF
LOTS 1-4



COPYRIGHT © DESIGN NW

SCALE:

1" = 30'

7TH AVE TOWNHOMES





NOTES

UTILITIES

OWNER IS RESPONSIBLE TO LOCATE PROPERTY LINES. OWNER IS RESPONSIBLE TO LOCATE ANY WATER, ELECTRIC, AND SEWER LINES NOT LOCATED BY PUBLIC LOCATING SERVICE. CONTRACTOR IS RESPONSIBLE TO HAVE PUBLIC UTILITIES LOCATED.

PLANTING

WHENEVER POSSIBLE, ALL PLANTING AREAS SHALL BE MOUND 2"-12" ABOVE GRADE. PLACEMENT OF ALL PLANTS MUST BE FIELD ADJUSTED FOR GROWTH AND AESTHETICS. PLANTING PROCEDURES: DIG PLANTING HOLES A MINIMUM OF 3x's 50% (BY VOLUME) + NATIVE SOIL AS BACK FILL. INCORPORATE ORGANIC OR TIME RELEASED FERTILIZER ACCORDING TO MANUFACTURER'S RECOMMENDATIONS. CROWN OF PLANT SHALL BE PLACED 2"-6" ABOVE GRADE WITH SOIL GRADED TO COVER SIDES OF ROOT BALL. COMMERCIAL GRADE WEED BARRIER (WOVEN SYNTHETIC RECOMMENDED) TO BE INSTALLED AFTER PLANTING AND BEFORE BARK. TOP DRESS PLANTING AREAS WITH 2"-3" HEMLOCK, COMPOST OR AGED BARK.

HARD SURFACES

CONCRETE, RETAINING WALLS, PAVERS AND FLAGSTONE SHALL BE INSTALLED ACCORDING TO INDUSTRY STANDARDS (ICPI AND NCMA). OWNER SHALL APPROVE STYLE AND COLOR BEFORE WORK IS STARTED. A MINIMUM OF 4" COMPACTED CRUSHED GRAVEL SHALL BE USED FOR BASE OF PAVERS AND RETAINING WALLS OR 3" CONCRETE SLAB FOR MORTARED FLAGSTONE.

QUANTITIES

CONTRACTOR IS RESPONSIBLE TO PROVIDE, INSTALL AND GUARANTEE ALL NECESSARY MATERIALS. QUANTITIES SHOWN ON PLAN ARE FOR ILLUSTRATION PURPOSES ONLY. CONTRACTOR MUST CALCULATE MATERIAL TAKE OFF BASED ON SITE CONDITIONS.

GRADING

GRADING SHALL BE DONE TO MAXIMIZE AS MUCH USABLE SPACE AS POSSIBLE. GRADE MUST ASSURE A MINIMUM FALL OF 3% AWAY FROM FOUNDATION AND 3%-5% AS A USABLE STANDARD.

DRAINAGE

CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER DRAINAGE IN AREA WHERE LANDSCAPING IS COMPLETED. HARD SURFACES SHALL BE CONSTRUCTED IN A MANNER WHERE THERE IS NO STANDING WATER.

IRRIGATION

IRRIGATION SYSTEM SHALL BE INSTALLED TO ADEQUATELY WATER ALL PLANTINGS. APPROVED BACKFLOW DEVICE MUST BE INSTALLED AT POINT OF CONNECTION. PROVISION TO BLOW OUT MAINLINE FOR WINTER MAINTENANCE SHALL BE PROVIDED AFTER BACKFLOW DEVICE. PLANTS SHALL BE IRRIGATED WITH DRIP IRRIGATION ACCORDING TO DRIP EMITTER SCHEDULE. DRIP EMITTERS SHALL BE PROPERLY SEATED IN 1/2" POLY TUBING CONNECTED TO VALVE. OWNER OR OWNER'S AGENT SHALL BE RESPONSIBLE TO MONITOR IRRIGATION FOR PROPER WATERING.

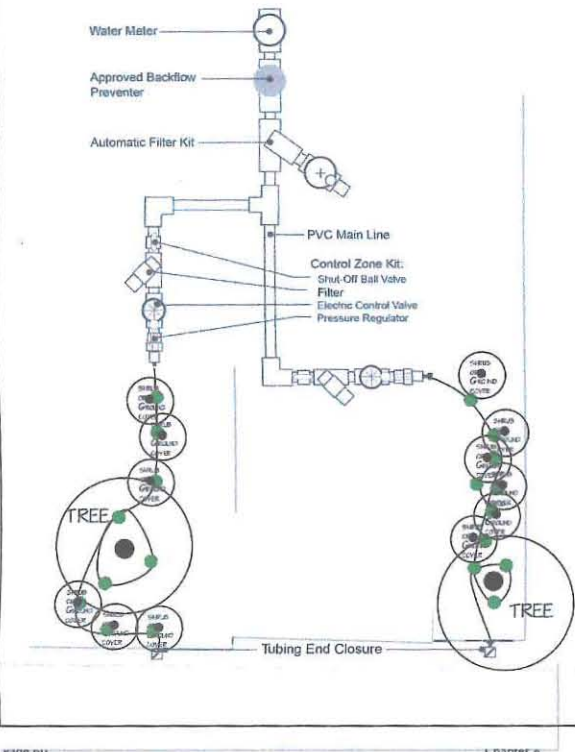
WARRANTY

CONTRACTOR SHALL GUARANTEE ALL LABOR AND MATERIALS FOR A PERIOD OF ONE YEAR FROM ACCEPTED COMPLETION OF WORK.

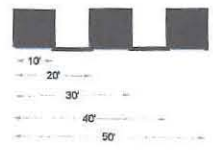
LIABILITY

OWNER/ CONTRACTOR SHALL HOLD HARMLESS AMERICA THE BEAUTIFUL LANDSCAPE DESIGN FOR ANY OVERRUNS, DELAYS, DAMAGES, ERRORS OR OMISSIONS.

LOW VOLUME DRIP IRRIGATION
FOR ILLUSTRATION ONLY-NO SCALE

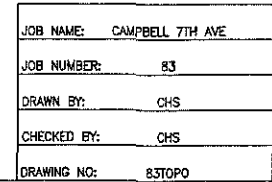


SCALE
1"=50'



PLANT LEGEND							
Symbol	Qty	Key	Common	Botanical	SIZE	SPACING	EMITTER
	9	A	MARDI GRAS ABELIA	ABELIA x 'MARDI GRAS'	2 GALLON	5'	.7 GPH
	6	B	VINE MAPLE	ACER CIRCINATUM	5'-6' MULT	10'	10 GPH x 3
	4	C	PAPERBARK MAPLE	ACER GRISELM	15 CALIPER	15'	10 GPH x 3
	12	D	MASSACHUSETTS BEARBERRY	ARCTOSTAPHYLOS UVA-URSI MASSACHUSETTS	1 GALLON	3'	.5 GPH
	6	E	DWARF RED JAPANESE BARBERRY	BERBERIS THUNBERGII 'ATROPURPUREA'	1 GALLON	4'	.7 GPH
	9	F	GREEN ARROW WEEPING CEDAR	CHAMAECYPARIS NOOTKATENSIS 'GREEN ARROW'	5'-6'	5'	10 GPH x 3
	11	G	PURPLE ROCK ROSE	CISTUS PURPUREA	2 GALLON	6'	.7 GPH
	10	H	BRILLIANT ROCK ROSE	CISTUS x 'BRILLIANT'	1 GALLON	6'	.5 GPH
	4	I	DOGWOOD	CORNUS KOUSA 'SATOMI'	15" CALIPER	15'	10 GPH x 3
	8	J	DWARF JAPANESE GARDEN JUNIPER	DWARF JAPANESE GARDEN JUNIPER JUNIPERUS PROCUMBENS 'NANA'	2 GALLON	4'	.7 GPH
	21	K	HEATHER 'DECEMBER RED'	ERICA CARNEA 'DECEMBER RED'	1 GALLON	3'	.7 GPH
	4	L	BURNING BUSH	EUCONYMUS ALATA 'COMPACTA'	2 GALLON	5'	.7 GPH
	9	M	CHINESE JUNIPER	JUNIPERUS CHINENSIS 'GOLD COAST'	1 GALLON	5'	.5 GPH
	21	N	BLUE HARBOR JUNIPER	JUNIPERUS HORIZONTALIS 'BAR HARBOR'	1 GALLON	3'	.7 GPH
	18	O	COMPACT OREGON GRAPE	MAHONIA AQUIFOLIUM 'COMPACTA'	1 GALLON	4'	.7 GPH
	10	P	HEAVENLY BAMBOO	NANDINA DOMESTICA 'MOON BAY'	1 GALLON	3'	.7 GPH
	14	Q	FOUNTAIN GRASS	PENNISETUM ORIENTALE	1 GALLON	5'	.7 GPH
	22	R	SWORD FERN	POLYSTICHUM MUNITUM	1 GALLON	4'	.7 GPH
	14	S	RED ACE POTENTILLA	POTENTILLA FRUTICOSA 'RED ACE'	1 GALLON	4'	.7 GPH
	14	T	SUNSET POTENTILLA	POTENTILLA FRUTICOSA 'SUNSET'	15" CALIPER	15'	10 GPH x 3
	3	U	FLOWERING CHERRY	PRUNUS SERRULATA 'KWANZAN'	1 GALLON	4'	.7 GPH
	12	V	EMERALD ARBOVITAE	THUJA OCCIDENTALIS 'EMERALD'	3'-4'	32"	10 x 2 GPH
	19	W	DAVID VIBURNUM	VIBURNUM DAVIDII	2 GALLON	4'	.7 GPH
	11	X	VAREGATED PERIWINKLE	VINCA MINOR VERGATA	1 GALLON	3'	.5 GPH

710 AND 722 NW 7TH STREET
CITY OF CAMAS, CLARK COUNTY, WASHINGTON

[illegible]

REVISIONS DESCRIPTION DATE		7TH AVENUE TOWNHOMES	ENGINEER:  1101 SE Tech Center Drive Suite 185 Vancouver, WA 98683 ph. (360) 882-4268 fax (360) 882-4266 sdixon@pivotalcomm.com	EXISTING CONDITIONS	APPLICANT/OWNER: CRG, INC 5440 SW WESTGATE DRIVE, SUITE 370 PORTLAND, OR 97221 ATTN: DOUG CAMPBELL 503-715-3120	DESIGNED: SED	SCALE: 1" = 30' SHEET 2
						DRAWN: SED	
						CHECKED: SCH	
						DATE: APRIL 28, 2014	
						PROJECT #.: MISC0010	

1. SEE CITY OF CAMAS GRADING AND EROSION CONTROL NOTES ON SHEET 10.

2. NOTE THAT ACTUAL QUANTITIES MAY VARY FROM CALCULATED. LOT GRADING SHOWN ON PLAN DEPICTS APPROXIMATE GRADES. PLACE ANY EXCESS MATERIAL ON LOTS (MAX. DEPTH 1-FOOT) BY ADJUSTING LOT GRADES ACCORDINGLY.

3. ANY STATED CUT AND FILL QUANTITIES ARE APPROXIMATE ONLY. THE CONTRACTOR IS ADVISED TO DETERMINE HIS OWN TAKEOFF & QUANTITIES FOR BIDDING. ACTUAL EARTHWORK QUANTITIES MAY VARY DEPENDING ON CONTRACTOR'S METHOD OF OPERATION, COMPACTION, SHRINKAGE, STRIPPING DEPTHS, & ACCURACY OF THE EARTHWORK TAKEOFF. WHEN SIGNING THE PROJECT CONSTRUCTION CONTRACT, THE CONTRACTOR AGREES THAT HIS COST FOR CONSTRUCTION OF THE GRADING IMPROVEMENTS AND DISPOSAL OF EXCESS MATERIAL (IF NECESSARY), IS INCLUDED AND THERE WILL BE NO ADDITIONAL CHARGE FOR THIS ITEM. GRADING DESIGN IS BASED ON SURVEY INFORMATION AND FINISH DESIGNED ROAD GRADING ELEVATIONS. ALL EXISTING INCLUSIONS OF NON-STRUCTURAL OR ORGANIC SOILS AND STRIPINGS SHALL BE OVER-EVAGATED AS NECESSARY TO COMPETENT MATERIAL.

SEDIMENT FENCE

EXISTING CONTOUR LINE

FINISH GRADE CONTOUR LINE

FLOW ARROW

CDS MH INLET

CUT AREA

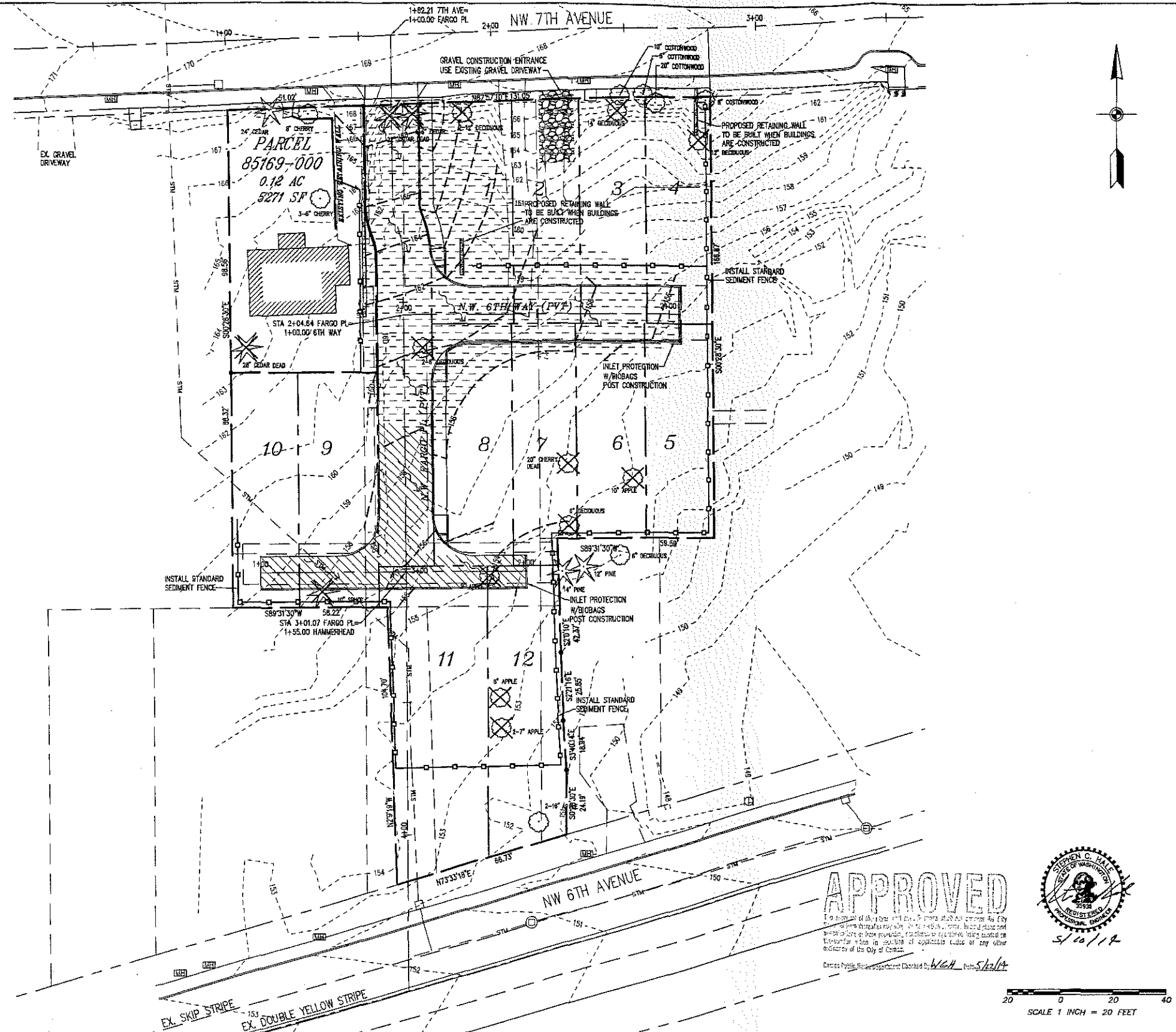
FILL AREA

STOCKPILE AREA

EXISTING TREE TO REMAIN

EXISTING TREE TO BE REMOVED

ESTIMATED CUT = 89 CY
ESTIMATED FILL = 637 CY
TOTAL IMPORT = 548 CY



REVISIONS	
DESCRIPTION	DATE

7TH AVENUE
TOWNHOMES

PIVOTAL

1101 SE Tech Center Drive
Suite 185
Vancouver, WA 98683
ph. (360) 882-4268
fax (360) 882-4266
sdixon@pivotalcomm.com

GRADING AND EROSION CONTROL PLAN

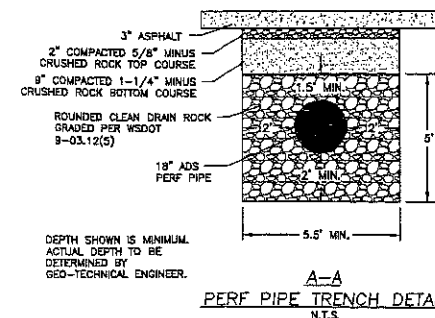
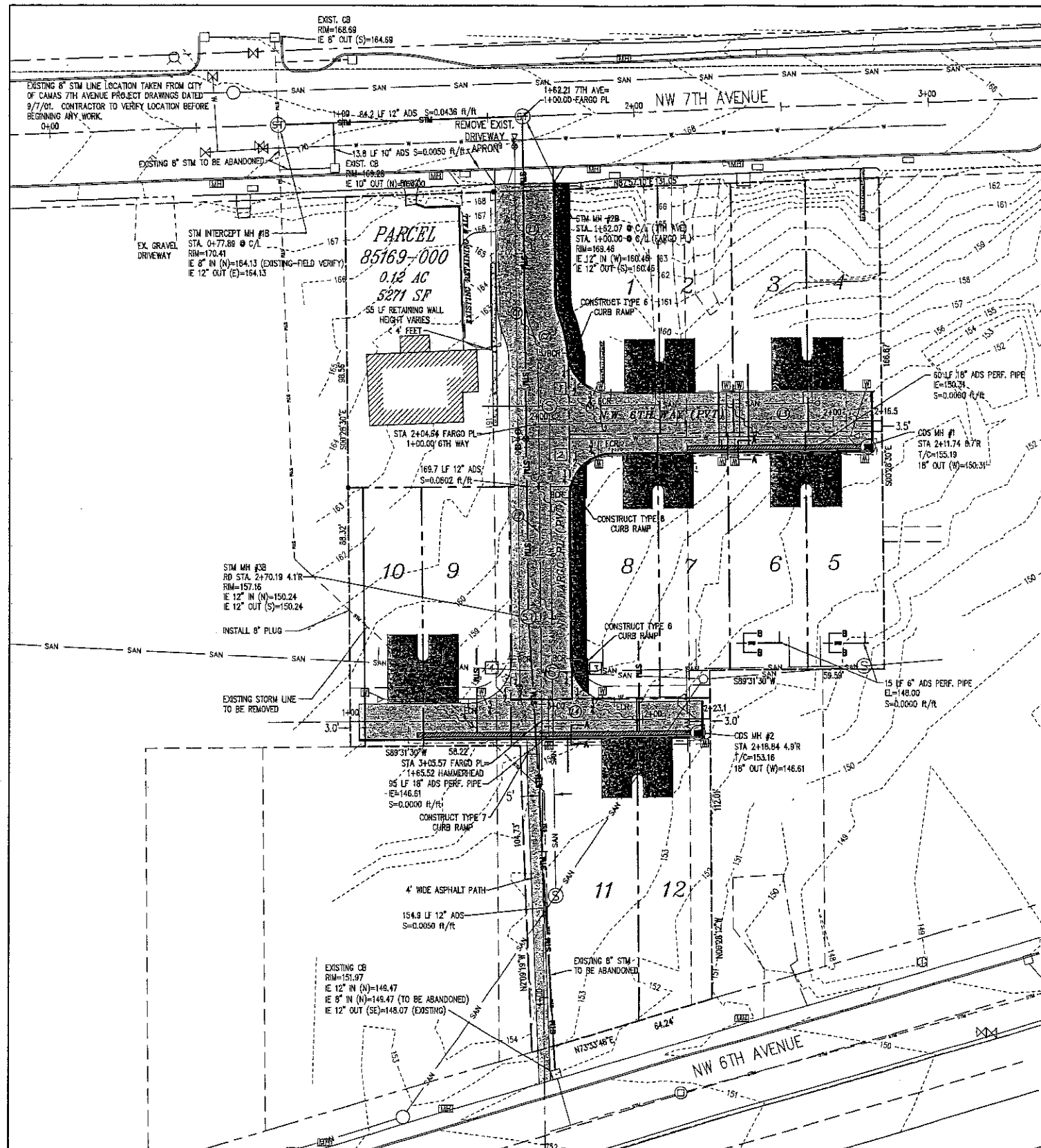
APPLICANT/OWNER:
CRG, INC
5440 SW WESTGATE DRIVE,
SUITE 370
PORTLAND, OR 97221
ATTN: DOUG CAMPBELL
503-715-3120

DESIGNED: SED
DRAWN: SED
CHECKED: SCH
DATE: APRIL 28, 2014
PROJECT #: MISC0010

SCALE: 1" = 20'

SHEET

3



CENTERLINE LINE TABLE		
LINE	BEARING	LENGTH
①	S 0°28'30\"	61.03'
②	S 0°28'30\"	276.08'
③	N 89°31'30\"	116.49'
④	N 89°31'30\"	123.08'

CENTERLINE CURVE TABLE		
CURVE	DELTA	RADIUS
①	21°2'22\"	30.00'
②	21°2'22\"	30.00'

CURB RETURN DATA

CURVE INFORMATION	POINT	STATION	OFFSET	T/C ELEV	T/C LENGTH
R = 15.00' Δ = 86°25'42\"	BCR	1+81.19	10.00	163.95	5.66
	1/4 Δ	-	-	163.55	5.66
	1/2 Δ	-	-	162.65	5.66
	3/4 Δ	-	-	161.55*	5.66
ECR		1+24.89	10.00	160.85*	

CURVE INFORMATION	POINT	STATION	OFFSET	T/C ELEV	T/C LENGTH
R = 15.00' Δ = 90°0'0\"	BCR	2+29.64	10.00	159.56	5.89
	1/4 Δ	-	-	159.91	5.89
	1/2 Δ	-	-	160.25	5.89
	3/4 Δ	-	-	160.60	5.89
ECR		1+25.00	10.00	160.94	

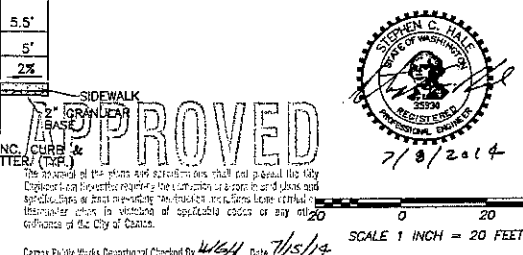
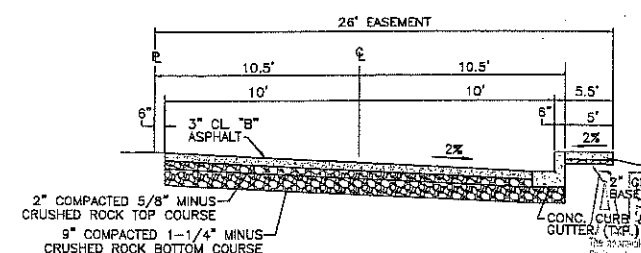
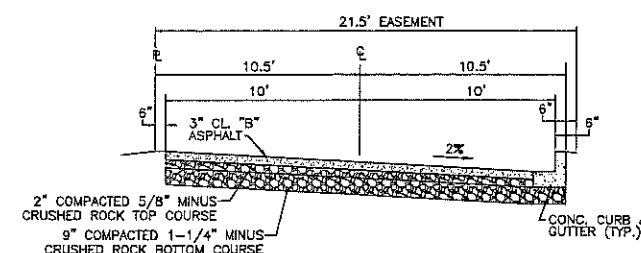
CURVE INFORMATION	POINT	STATION	OFFSET	T/C ELEV	T/C LENGTH
R = 15.00' Δ = 90°0'0\"	BCR	2+84.57	10.00	156.83	5.89
	1/4 Δ	-	-	156.36	5.89
	1/2 Δ	-	-	155.89	5.89
	3/4 Δ	-	-	154.92*	5.89
ECR		1+90.52	6.00	154.44*	

CURVE INFORMATION	POINT	STATION	OFFSET	ASPHALT ELEV	ASPHALT LENGTH
R = 15.00' Δ = 90°0'0\"	BCR	2+84.57	10.00	156.73	5.89
	1/4 Δ	-	-	156.80	5.89
	1/2 Δ	-	-	156.88	5.89
	3/4 Δ	-	-	156.96	5.89
ECR		1+40.52	6.00	157.03	

* TOP OF ASPHALT

STORM SEWER LATERAL TABLE

LOT NO.	DISTANCE FROM MAINHOLE	LATERAL LENGTH	TYPE	MATERIAL	SIZE	DEPTH OF COVER
1/2	50'	27'	GRAVITY	ADS N-12	4"	5'
3/4	40'	27'	GRAVITY	ADS N-12	4"	5'
7/8	21'	30'	GRAVITY	ADS N-12	4"	5'
9/10	75'	28'	GRAVITY	ADS N-12	4"	5'
11/12	44'	12'	GRAVITY	ADS N-12	4"	5'



REVISIONS	
DESCRIPTION	DATE
FARGO PLACE/6TH EXTENDED, REVISE STM, CR DATA	7/2/14

7TH AVENUE TOWNHOMES

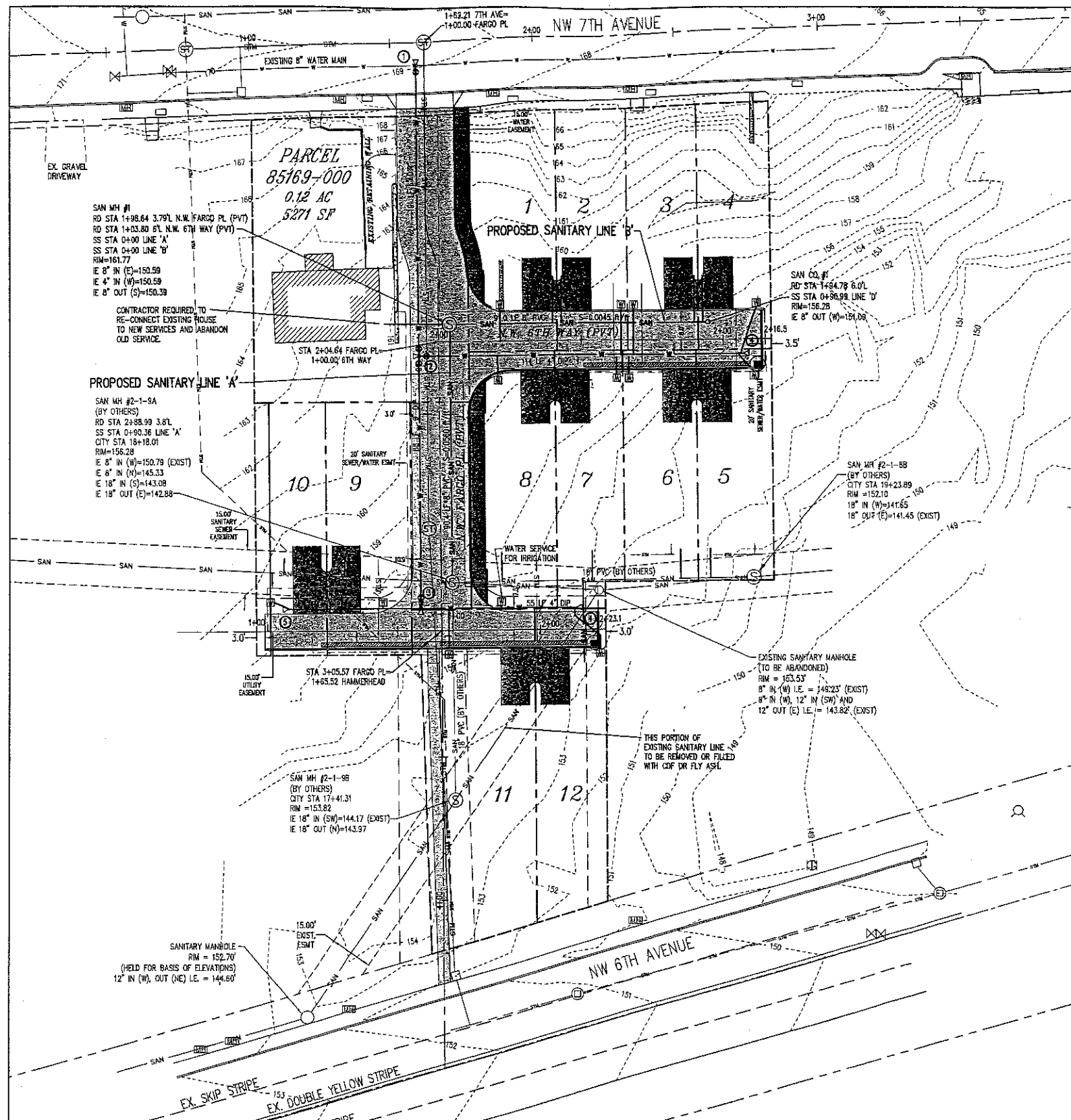
ENGINEER:
PIVOTAL
1101 SE Tech Center Drive
Suite 185
Vancouver, WA 98683
ph. (360) 882-4258
fax (360) 882-4266
sdlx@pivotalcomm.com

STREET AND STORM DRAINAGE PLAN

APPLICANT/OWNER:
CRG, INC
5440 SW WESTGATE DRIVE,
SUITE 370
PORTLAND, OR 97221
ATTN: DOUG CAMPBELL
503-715-3120

DESIGNED: SED
DRAWN: SED
CHECKED: SCH
DATE: JULY 2, 2014
PROJECT #: MISC0010

SCALE: 1" = 20'
SHEET
4



**SANITARY SEWER
LATERAL TABLE**

LOT NO.	CITY PROJECT STATION	DISTANCE FROM DOWNSTREAM MANHOLE	LATERAL LENGTH	TYPE	MATERIAL	SIZE	DEPTH OF COVER
1	-	36'	18'	GRAVITY	PVC SCH. 40	6"	5'
2	-	39'	18'	GRAVITY	PVC SCH. 40	6"	5'
3	-	88'	18'	GRAVITY	PVC SCH. 40	6"	5'
4	-	89'	18'	GRAVITY	PVC SCH. 40	6"	5'
5	19+08.89 (N)	15'	10'	GRAVITY	PVC SCH. 40	6"	5'
6	18+98.45 (N)	25'	10'	GRAVITY	PVC SCH. 40	6"	5'
7	18+66.89 (N)	57'	10'	GRAVITY	PVC SCH. 40	6"	5'
8	18+35.89 (N)	88'	-	-	-	-	-
9	-	38'	-	-	-	-	-
10	-	60'	5'	GRAVITY	PVC SCH. 40	6"	5'
11	17+85.79 (E)	50'	5'	GRAVITY	PVC SCH. 40	6"	5'
12	18+63.84 (S)	80'	28'	GRAVITY	PVC SCH. 40	6"	5'

1. ALL LATERALS TO BE INSTALLED WITH A MINIMUM 2% SLOPE

TOTAL LENGTH 8" PVC MAIN LINE = 177.9'
TOTAL LENGTH 18" PVC MAIN LINE = 185.5'
TOTAL LENGTH 4" PVC LATERALS = 138.0'

WATER NOTES

- (1) 8" X 8" X 6" FL TEE W/ THRUST BLOCK
(1) 6" FLAMJ GATE VALVE W/ MEGALUG JOINT RESTRAINT
- (1) 6" X 6" X 4" FL TEE W/ THRUST BLOCK
(2) 6" FLAMJ GATE VALVES W/ MEGALUG JOINT RESTRAINTS
(1) 4" FLAMJ GATE VALVE W/ MEGALUG JOINT RESTRAINTS
- (1) 4" X 4" X 4" FL TEE W/ THRUST BLOCK
(1) 6" FLAMJ GATE VALVE W/ MEGALUG JOINT RESTRAINT
(1) 6" X 4" REDUCER
- (1) STD. BLOW-OFF ASSEMBLY (NO A.A.R.V.)
- (1) STD. BLOW-OFF ASSEMBLY WITH A.A.R.V.

SERVICE LATERALS SHALL BE 1" IN DIAMETER

DOUBLE STRAP SADDLES REQUIRED ON 4" DIP

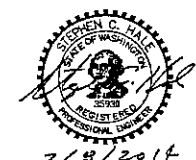
4" DIA D.I.P. WATER PIPE TO BE INSTALLED - 216 LF

6" DIA G.I.P. WATER PIPE TO BE INSTALLED - 189 LF

APPROVED

The approval of this plan and specifications shall not prevent the City Engineer from immediately requiring any modification of the plan and specifications as from time to time the conditions may require.

Camas Public Works Department Checked By: *WGH* Date: *7/15/14*



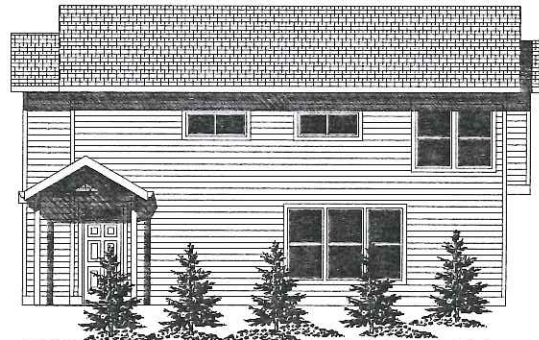
7/8/2014

SCALE 1" = 20'
SHEET 11 OF 11

REVISIONS		7TH AVENUE TOWNHOMES	ENGINEER: PIVOTAL	1101 SE Tech Center Drive Suite 185 Vancouver, WA 98683 ph. (360) 882-4268 fax (360) 882-4266 sdixon@pivotafcomm.com	SANITARY SEWER AND WATER PLAN	APPLICANT/OWNER: CRG, INC 5440 SW WESTGATE DRIVE, SUITE 370 PORTLAND, OR 97221 ATTN: DOUG CAMPBELL 503-715-3120	DESIGNED: SED	SCALE: 1" = 20'
DESCRIPTION							DRAWN: SED	
DATE							CHECKED: SCH	
NW FARGO PLACE/6TH WAY EXTENDED, REVISE STM							DATE: JULY 2, 2014	
							PROJECT #: MISC0010	



WEST ELEVATION
SCALE 1/8"=1'-0"



NORTH & SOUTH ELEVATION
SCALE 1/16"=1'-0"



EAST ELEVATION
SCALE 1/16"=1'-0"



NOTES: ALL CONSTRUCTION TO BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL RESIDENTIAL CODE, THE INTERNATIONAL MECHANICAL CODE, THE INTERNATIONAL PLUMBING CODE, THE INTERNATIONAL ELECTRICAL CODE, THE INTERNATIONAL FIRE CODE, THE INTERNATIONAL BUILDING CODE, THE INTERNATIONAL SLEEPING TENTHED CODE, THE INTERNATIONAL WIND-BURNING CODE, THE INTERNATIONAL FLOODING CODE, THE INTERNATIONAL HAZARDOUS MATERIALS CODE, THE INTERNATIONAL NUCLEAR REGULATORY CODE, THE INTERNATIONAL SPACE AND NAUTICAL CODE, THE INTERNATIONAL AIRPORTS CODE, THE INTERNATIONAL MARITIME CODE, THE INTERNATIONAL AEROSPACE CODE, THE INTERNATIONAL SPACE AND NAUTICAL CODE, THE INTERNATIONAL AIRPORTS CODE, THE INTERNATIONAL MARITIME CODE, THE INTERNATIONAL AEROSPACE CODE.

ORIG		
REV	11-9-14	EM
REV	1-23-15	RM
REV		

PLAN 1407 SF



7TH AVE TOWNHOMES

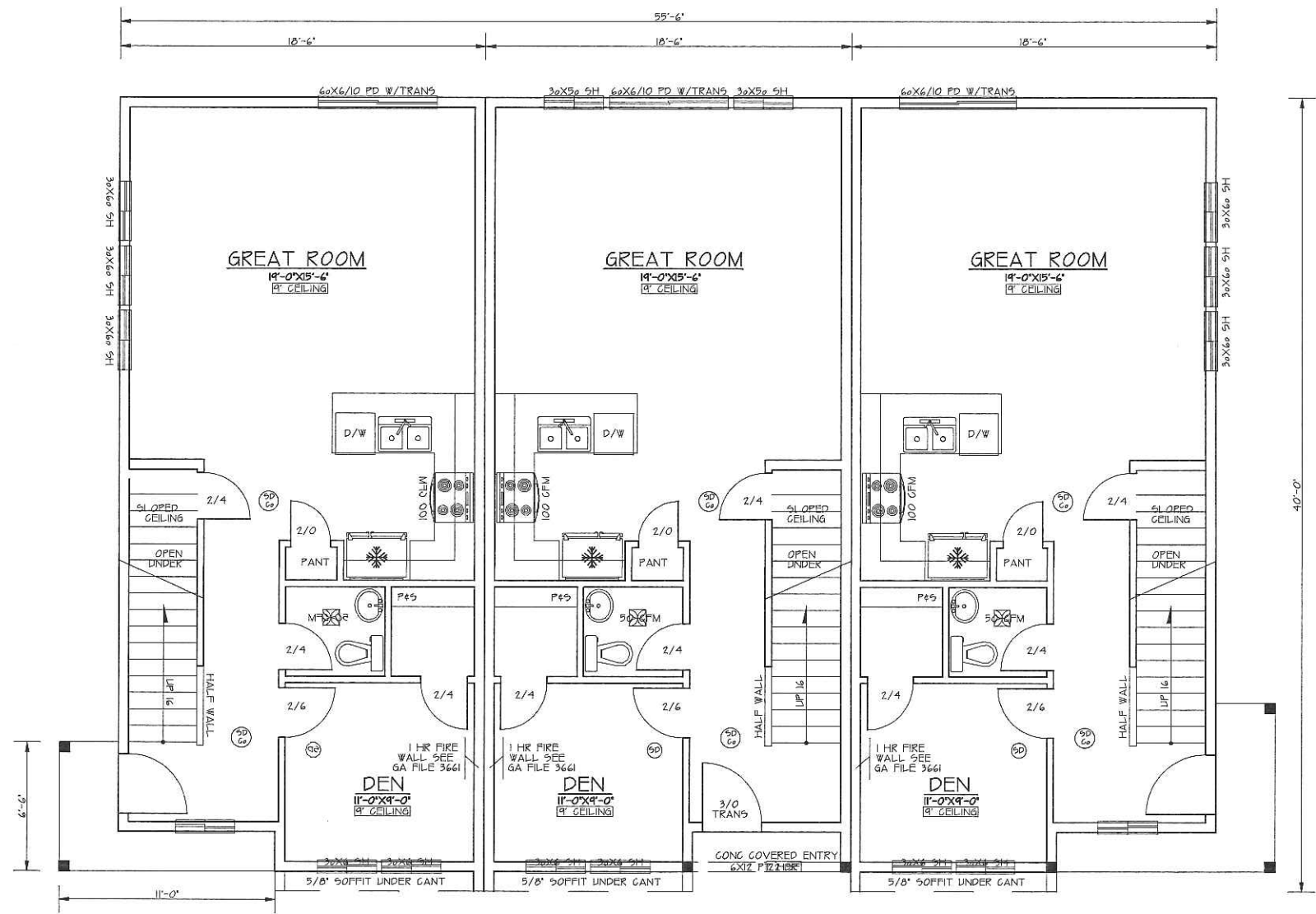
DESIGN NORTHWEST • PH: (509) 260-1766 • www.DesignNW.net

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE 2012 INTERNATIONAL RESIDENTIAL BUILDING CODE (IRC) AND THE 2012 INTERNATIONAL BUILDING CODE (IBC). THE OWNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR COMPLYING WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS. THE DESIGNER SHALL NOT BE RESPONSIBLE FOR ANY VIOLATIONS OF ANY APPLICABLE CODES OR REGULATIONS. THE OWNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR COMPLYING WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS. THE DESIGNER SHALL NOT BE RESPONSIBLE FOR ANY VIOLATIONS OF ANY APPLICABLE CODES OR REGULATIONS.

ORIG		
REV	11-9-14	EM
REV	1-23-15	RM
REV		

PLAN 1407 SF

REFER TO ENGINEERING SHEETS FOR SPECS IF LATERAL ENGINEERING IS REQUIRED ACCORDING TO LOCAL BUILDING CODES AND/OR ZONING REGULATIONS.



GROUND FLOOR PLAN
SCALE 1/8"=1'-0"

EACH UNIT AREA	MAIN LEVEL	UPPER LEVEL	TOTAL
	705 SF	702 SF	1407 SF

NOTE: BLACKENED AREA = POSTS OR STUDS
 ■ 6X6 POSTS OR (3)2X6
 ■ 4X6 POSTS OR (3)2X4
 ■ 4X4 POSTS OR (2)2X4
 TO BE DETERMINED BY FRAMER UNLESS SPECIFIED ON THE PLAN.

MIN. LOADS
 FLOOR:
 LIVE 40 lbs. PSF
 DEAD 10 lbs. PSF
 ROOF:
 LIVE 25 lbs. PSF
 DEAD 17 lbs. PSF

6X8 HDR MIN. 7'-9" CEILING
 4X10 HDR MIN. 8'-0" CEILING
 4X10 HDR MIN. 9'-0" CEILING

ALL BEAM, RAFTERS, JOIST, HDRS POST, AND STUDS ARE OF #2 UNLESS NOTED ON PLAN. ANY WOOD IN CONTACT WITH CONCRETE MUST BE PRESSURE TREATED.

GENERAL CODE
 HALLWAYS MIN. WIDTH SHALL BE NOT LESS THAN 36 INCHES.
 EXIT DOOR NOT LESS THAN ONE EXIT DOOR PER DWELLING UNIT, SIDE HINGED AND NOT LESS THAN 36 INCHES IN WIDTH AND 6 FEET 8 INCHES IN HEIGHT PER FLOOR OR LANDING ON EACH SIDE OF EXTERIOR DOOR SHALL NOT BE MORE THAN 15 INCHES LOWER THAN THE TOP OF THE THRESHOLD PER AND OPT. SLOPE OF LANDING OF 2% MAX. (0.25 UNITS VERT. IN 12 UNITS HORIZ.)

SMOKE DETECTORS SHALL BE INSTALLED IN EACH SLEEPING ROOM AND CENTRALLY LOCATED IN ADJACENT CORRIDOR. SMOKE DETECTORS SHALL BE INSTALLED ON EACH FLOOR LEVEL AND IN BASEMENTS. DETECTOR'S SHALL SOUND ALARM AUDIBLE IN ALL SLEEPING AREAS AND SHALL BE EQUIPPED WITH BATTERY BACK-UP AND INTERCONNECTED AND HARD WIRED.

EMERGENCY ESCAPE AND RESCUE OPENINGS
 BASEMENTS AND EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE EGRESS OPENING. SILL HEIGHT NOT MORE THAN 44" FROM ABOVE THE FLOOR.
 MIN. OPENING AREA OF 5.7 SQFT. NET.
 MIN. OPENING HEIGHT OF 24" NET.
 MIN. OPENING WIDTH OF 22" NET.
 WINDOW WELL - HORIZ. AREA

GOVERNING DESIGN CODE
 2012 INTERNATIONAL BUILDING CODE
 2012 INTERNATIONAL RESIDENTIAL CODE
 GENERAL
 SPECIFICATIONS AND CODES REFERENCED IN THESE NOTES ARE THE VERSIONS MOST RECENTLY ADOPTED BY THE PERMITTING AUTHORITY. FIELD VERIFY DIMENSIONS AND ELEVATIONS RELATIVE TO THE EXISTING STRUCTURE PRIOR TO FABRICATION OF MATERIALS. FOR FEATURE CONSTRUCTION FIELD VERIFY DIMENSIONS ON LOT WITH SETBACKS AND ELEVATIONS RELATIVE TO HEIGHTS LIMITS. PER CODES OR PER LOCAL JURISDICTIONS. APPLY, PLACE, ERECT OR INSTALL ALL PRODUCTS AND MATERIALS IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS. ADEQUATELY BRACING STRUCTURE AND ALL STRUCTURAL COMPONENTS AGAINST WIND, LATERAL EARTH AND SEISMIC FORCES UNTIL THE PERMANENT LATERAL FORCE RESISTING SYSTEMS HAVE BEEN INSTALLED. PROVIDE BRACING BETWEEN STUDS (OR OTHER MEANS OF BRACING) AT WOOD BEARING WALLS TO PREVENT STUD BUCKLING PRIOR TO INSTALLATION OF GYPSUM WALLBOARD.

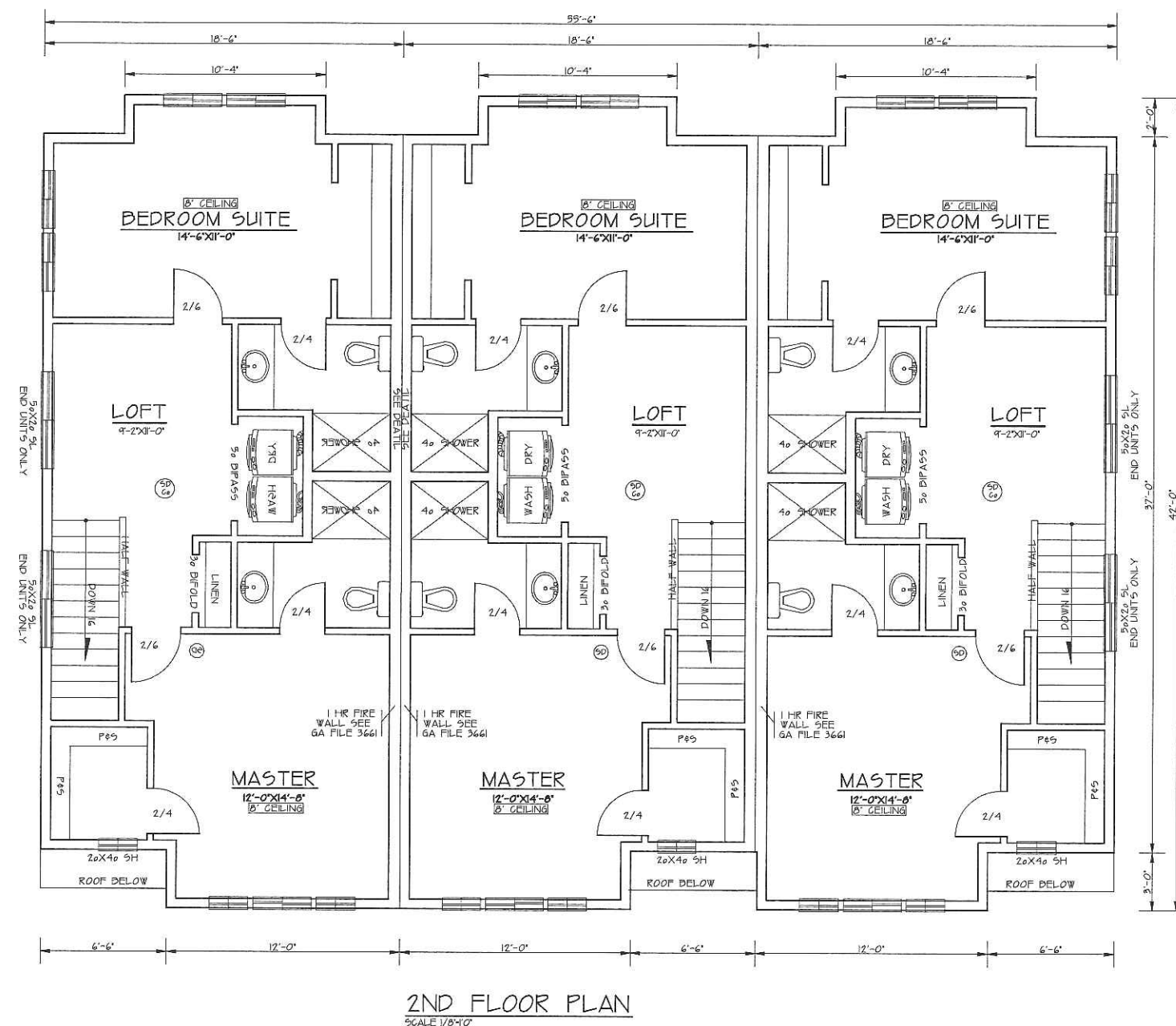


ALL CONSTRUCTION TO BE IN ACCORDANCE WITH THE 2009 INTERNATIONAL RESIDENTIAL CODE (IRC) AND THE 2009 INTERNATIONAL BUILDING CODE (IBC). THE OWNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR COMPLYING WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE BUILDING. THE OWNER SHALL BE RESPONSIBLE FOR THE FINISHES AND FURNITURE. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE BUILDING. THE OWNER SHALL BE RESPONSIBLE FOR THE FINISHES AND FURNITURE.

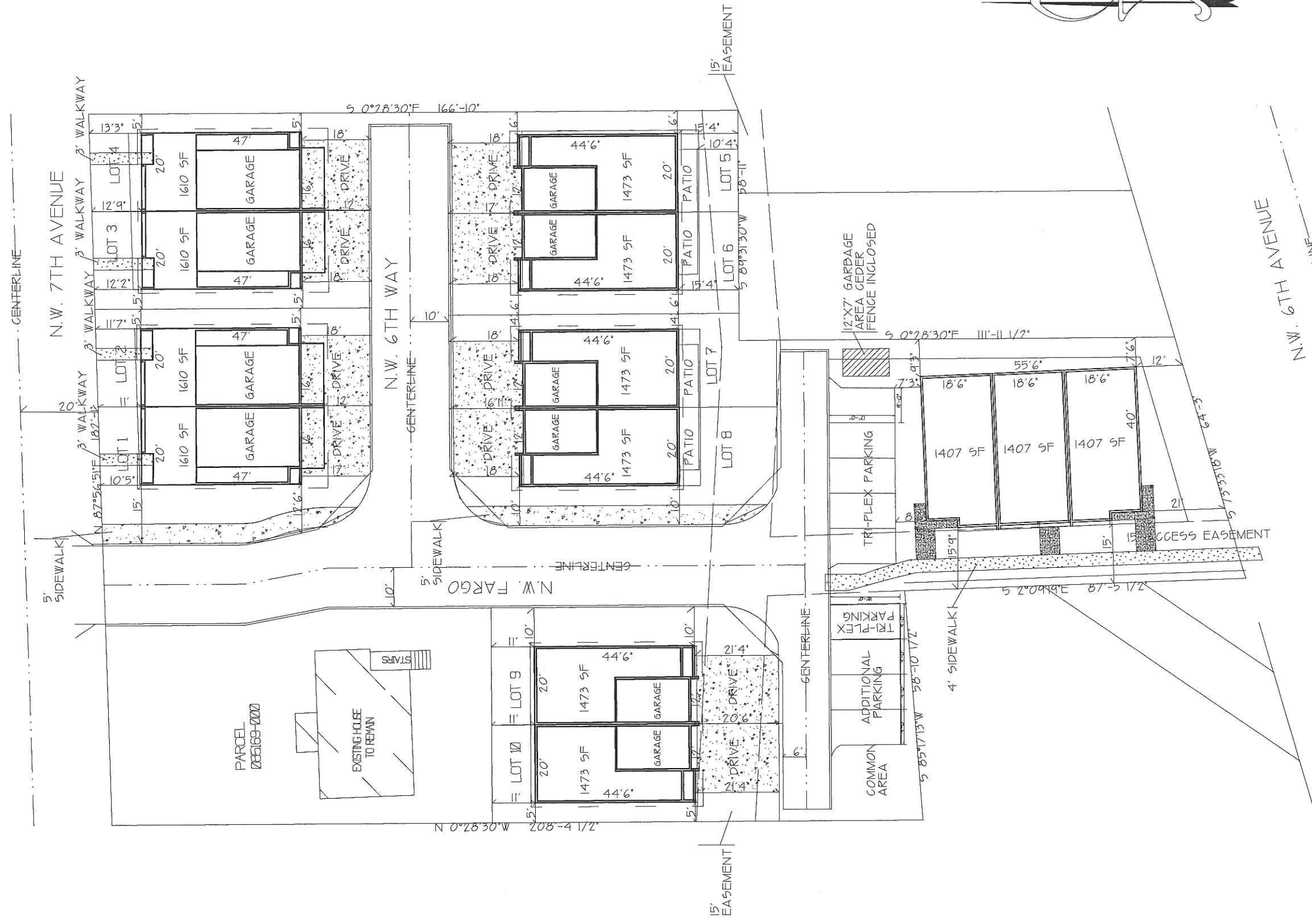
REV 11-5-14 EM
REV 1-23-15 RM
REV 1-23-15 RM

PLAN 1407 SF

REFER TO ENGINEERING SHEETS FOR SPECS IF LATERAL ENGINEERING IS REQUIRED ACCORDING TO LOCAL BUILDING CODES AND/OR ZONING REGULATIONS.



FRAMING LUMBER: DOUGLAS FIR-LARCH GRADE LUMBER
LUMBER SPECIES: NO.2 OR BETTER
LUMBER GRADE: NO.2 OR BETTER
EXTERIOR WALL STUDS NO.2 OR BETTER
INTERIOR NON-BEARING WALL STUDS NO.2 OR BETTER
INTERIOR BEARING WALL STUDS NO.2 OR BETTER
JOISTS NO.2 OR BETTER
BEAMS NO.2 OR BETTER UNLESS NOTED ON PLAN
POSTS NO.2 OR BETTER UNLESS NOTED ON PLAN
BLOCKING STANDARD OR BETTER
SOLID BLOCKING USE SAME DEPTH AS MEMBERS
ANY WOOD IN CONTACT WITH CONCRETE MUST BE PRESSURE TREATED (PER IRC R317.1.2)
GLUE LAMINATED MEMBERS: USE WESTERN
MEMBER GRADE: SIMPLE, MULTIPLE SPAN OR CANTILEVERED (SPANS) USE 24F-V4
MATERIAL STANDARDS: ARCHITECTURAL GRADE APPEARANCE DO NOT USE 24F-LB UNLESS NOTED & APPROVED BY A QUALIFIED SUPPLIER OR STRUCTURAL ENGINEER.
GLULAM COLUMNS: USE COMBINATION #3 DF
PLYWOOD SHEATHING: 1/2" MIN. INDEX 32/16
ROOF SHEATHING: 3/4" MIN. INDEX 40/24 T&G
FLOOR SHEATHING: 7/16" MIN. INDEX 32/10
WALLS SHEATHING: 7/16" MIN. INDEX 32/10
ENGINEERED WOOD PRODUCTS MUST CONFORM WITH ALL APPLICABLE PROVISIONS OF THE IBC
WOOD PRODUCT MANUFACTURER: TRUS JOIST -TJ SERIES JOIST OR DOISE ENGINEERING -DGI SERIES JOISTS
ASSEMBLIES AND HANGERS, AS REQUIRED TO PROVIDE A COMPLETE FLOOR OR ROOF STRUCTURAL SYSTEM PER I-JOIST MANUF.
RIM BOARD: 1-1/4" WIDE, 13E GRADE UNLESS NOTED ON PLANS OR APPROVED BY JOIST SUPPLIER OR STRUCTURAL ENGINEER
BEARING REQUIREMENTS FOR MECHANICAL UNITS: JOIST SUPPLIER AND CONTRACTOR TO DOUBLE ALL JOISTS MEMBERS UNDER MECH. UNITS, UNLESS NOTED OTHERWISE. DO NOT NOTCH OR DRILL STRUCTURAL MEMBERS, EXCEPT AS APPROVED BY THE STRUCTURAL ENGINEER
SIDING: SIDING TO BE DETERMINED BY OWNER/BUILDER
GARAGE / DWELLING SEPARATION: ON THE GARAGE SIDE OF WALLS AND CEILING WITH A MIN. 1/2" GWD AND 5/8" TYPE 'X' GWD AT CEILING WITH HABITABLE ROOMS ABOVE
INSULATION R-VALUES: 2X4 WALLS: R-15 MIN. 2X6 WALLS: R-21 MIN. ROOF CAVITIES: R-49 MIN. VAULTED ROOF CAVITIES: R-30 MIN. UNDER SLAB: R-10 RIGID MIN. 2" HORIZONTAL LENGTH MIN. INSULATION DAFFLES AT VENTS (PER IRC 1203.2) FLOOR CAVITIES: R-30 MIN. WITH 1" MIN. AIR SPACE FOR VENTING (PER IRC 1203.2)
CRAWLSPACE: 18" MIN. CLEARANCE FROM GRADE TO BOTTOM OF FLOOR JOIST AND MIN. 12" CLEARANCE TO BOTTOM OF GIRDERS OR BEAMS IN THE CRAWLSPACE
ROOF: COMPOSITION ROOF SHINGLES MUST BE A MINIMUM OF 25-YEAR ON 15# FELT ON 5/8" SHEATHING ON MANUF. TRUS OR RAFTERS 24" O/C SECTION R802, 803 & 905 USE SIMPSON 2.5 "H CLIP ON EACH TRUSS OR RAFTER
ATTIC VENTILATION: ATTIC VENTILATION MUST BE 1/50th OF THE ATTIC AREA OR 1/300th OF ATTIC AREA IF AT LEAST 50 PERCENT BUT NOT MORE THAN 50 PERCENT OF THE REQUIRED VENTILATION IS 3 FEET ABOVE THE EAVE OR CORNER VENTS OR PROVIDE A MOISTURE BARRIER ON THE WARM SIDE OF THE CEILING (PER IRC R806)
OVERHANGS: OVERHANGS ARE TO BE DETERMINED BY OWNER/BUILDER
GUTTERS: GUTTERS ARE TO BE DETERMINED BY OWNER/BUILDER



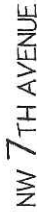
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SCALE:

1" = 15'

7TH AVE TOWNHOMES





OWNER/ CONTRACTOR SHALL HOLD HARMLESS AMERICA THE BEAUTIFUL LANDSCAPE DESIGN FOR ANY OVERRUNS, DELAYS, DAMAGES, ERRORS OR OMISSIONS.

PLANT LEGEND