



DESIGN REVIEW COMMITTEE MEETING AGENDA
Thursday, January 10, 2019, 4:00 PM
City Hall, 616 NE 4th Avenue

I. CALL TO ORDER

II. ROLL CALL / INTRODUCTIONS

III. MEETING ITEMS

A. Title: 11th Avenue Duplex (CUP18-01 and DR18-09)

Presenter: Sarah Fox, Senior Planner

Recommended Action: Staff recommends that the Committee review the project, deliberate and forward a recommendation to the Hearings Examiner.

 [11th Avenue Duplex Staff Report](#)

[1 Applicant's Narrative](#)

[2 Drawings](#)

[3 Surrounding Properties](#)

[4 Map of Surrounding Plexes](#)

[5 Aerial Photo](#)

[6 Design Review Checklist](#)

- B. Title: The Village at Camas Meadows Phase 1 Townhomes (DR19-02)
Presenter: Lauren Hollenbeck, Senior Planner
Recommended Action: Staff recommends that the Committee review the project, deliberate and forward a recommendation to the Director for a final decision.

 [The Village at Camas Meadows Staff Report](#)

- [1 Vicinity Map](#)
- [2 Approved Final Plat Site plan](#)
- [3 Approved Final Landscape Plan](#)
- [4 Front Elevation of Lots 3-5](#)
- [5 Rear Elevation of Lots 3-5](#)
- [6 Main Floor Lots 3-5](#)
- [7 Upper Floor of Lots 3-5](#)
- [8 Front Elevations for Lots 6-8](#)
- [9 Rear Elevation of Lots 6-8](#)
- [10 Lower Floor of Lots 6-8](#)
- [11 Main Floor Lots for Lots 6-8](#)
- [12 Upper Floor for Lots 6-8](#)
- [13 Front Elevation for Lots 9-11](#)
- [14 Rear Elevation for Lots 9-11](#)
- [15 Lower Floor for Lots 9-11](#)
- [16 Main Floor for Lots 9-11](#)
- [17 Upper Floor for Lots 9-11](#)
- [18 Lower Floor for Lots 12-14](#)
- [19 Main Floor for Lots 12-14](#)
- [20 Design Review Checklist](#)

IV. ADJOURNMENT

NOTE: The City of Camas welcomes and encourages the participation of all of its citizens in the public meeting process. A special effort will be made to ensure that persons with special needs have opportunities to participate. For more information, please call the City Clerk's Office at 360.817.1591.



STAFF REPORT

11TH AVENUE DUPLEX

FILES: CUP18-01 AND DR18-09

TO: Hearings Examiner **HEARING DATE:** January 17, 2019

BY: Sarah Fox, Senior Planner **REPORT DATE:** December 31, 2018

PROPOSAL: To request conditional use approval to construct a duplex residential structure on a single family lot

LOCATION: The site is located at 133 NW 11th Avenue, Camas, which is also described as Tax Parcel #80121-000.

APPLICANT: Gary Darling, Contact Marketing
500 W 8th Street, Suite 205
Vancouver, WA 98660

APPLICATION SUBMITTED: September 28, 2018		Technically Complete: November 30, 2018
PUBLIC NOTICE:	Notice of application and public hearing was mailed to property owners within 300 feet of the site on December 11, 2018, and published in the Post Record on December 20, 2018, legal publication #103770.	
APPLICABLE LAW:	The application was submitted on September 28, 2018, and the applicable codes are those vested and in effect through Ordinance #18-014 (Adopted 9-4-18). Camas Municipal Code Chapters (CMC): Title 16 Environment, Title 17 Land Development; and Title 18 Zoning; Specifically (not limited to): Chapter 17.19 Design & Improvement Standards; Chapter 18.07 Use Authorization, Chapter 18.09 Density and Dimensions; Chapter 18.13 Landscaping; Chapter 18.19 Design Review; Chapter 18.43 Conditional Use Permits; and Chapter 18.55 Administrative Provisions. [Note: Citations from Camas Municipal Code (CMC) are indicated with <i>italicized blue type.</i>]	

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I. SUMMARY

The applicant has proposed to redevelop a residential lot with a duplex. The lot is in a single family zone, Residential 7,500 (R-7.5), where duplex developments must obtain conditional use approval per CMC§18.07.040-Table 2.

The 4,994 square foot (sq. ft.) property is vacant. Adjacent properties are a mix of styles, sizes and densities (e.g. single family and multifamily). The application materials includes photos of surrounding properties and a map of nearby multifamily properties. The property is part of the Cowan's Addition subdivision that was platted in 1927. There is a fourplex located directly north of the property. All properties adjacent to the subject site, with the exception of the fourplex are on approximately 5,000 sq. ft. lots.

II. CRITERIA OF APPROVAL FOR CONDITIONAL USE PERMITS (CMC§18.43.050 "A" THROUGH "F")

A. The proposed use will not be materially detrimental to the public welfare, or injurious to the property or improvements in the vicinity of the proposed use, or in the district in which the subject property is situated;

Discussion: CMC 18.03.040 Definitions, defines duplex as *"a structure containing two dwelling units on one lot."* The applicant has proposed a structure with two dwelling units, which is consistent with this definition. The project is a redevelopment in a single family zone, but is a use that can be conditionally allowed.

Findings: The proposed development as a duplex is allowed with approval of a conditional use permit.

B. THE PROPOSED USE SHALL MEET OR EXCEED THE DEVELOPMENT STANDARDS THAT ARE REQUIRED IN THE ZONING DISTRICT IN WHICH THE SUBJECT PROPERTY IS SITUATED;

Discussion: Development standards at CMC§18.09.040 Table 2, for a single family lot include building setback minimums, maximum height standards, and maximum building lot coverage standards. Compliance with those standards is discussed below under the subheading "Setbacks". There are also specific building design standards for duplexes within CMC Chapter 18.19 Design Review that are discussed in detail at Part III of this report. There are landscaping requirements within both CMC Chapter 17.19 Design and Improvement Standards and CMC Chapter 18.13 Landscaping, which is discussed below at subheading "Landscaping".

SETBACKS: The setback standards for a lot that is less than 4,999 square feet are as follows: Front yard is 20 feet; side yard is five feet; and rear yard is 20 feet. The applicant has proposed side yard setbacks of 5.4 feet, rear yard at 25.2 feet, and a front setback of 20 feet.

Findings: The setbacks as proposed meet the minimum requirements.

LANDSCAPING: Per drawing C3, the applicant is proposing a tree in the front yard of each dwelling unit. A street tree for every new residential unit is a requirement per CMC17.19.030 (F)(1), *"Each dwelling unit within a new development shall be landscaped with at least one tree in the planting strip of the right-of-way, or similar location in the front yard of each dwelling unit, with the exception of flag lots and lots accessed by tracts. Required trees shall be a minimum two-inch diameter at breast height (dbh) to create a uniform streetscape (dbh is four and one-half feet above the ground as measured from upside of tree)." The proposed tree in front of each unit complies with this standard.*

The new use is also a conditional use, which requires compliance with additional landscaping standards at CMC§18.13.020. The following is an analysis of compliance with the landscaping standards of CMC Chapter 18.13 Landscaping.

A. The property owner shall be responsible for any future damage to a street, curb, or sidewalk caused by landscaping.

Findings: The building department will monitor if damage occurs during construction.

B. Landscaping and trees shall be selected and located to deter sound, filter air contaminants, curtail erosion, minimize stormwater run-off, contribute to living privacy, reduce the visual impacts of large buildings and paved areas, screen, and emphasize or separate outdoor spaces of different uses or character.

C. Landscape, Tree and Vegetation Plan must include a combination of trees, shrubs, and ground cover to achieve the purposes of this chapter.

- 1. Required landscaping shall be comprised of a minimum of sixty percent native vegetation (or adapted to northwest climate), or drought-tolerant vegetation, and fifty percent evergreen.*
- 2. Deciduous trees shall have straight trunks, be fully branched, have a minimum caliper of two inches, be equivalent to a fifteen-gallon container size, and be adequately staked for planting.*
- 3. Evergreen trees shall be a minimum of five feet in height, fully branched, and adequately staked for planting.*

Findings: The landscape plan meets these criteria. The landscape plan includes native vegetation in excess of the minimum. The Building Division will inspect trees when planted to determine if they meet the requirements as noted.

D. Street trees will be required as part of the frontage improvements. Species, size and spacing of the trees must be consistent with the Design Standards Manual. Unless otherwise specified, trees must generally be spaced thirty feet apart. Substitute varieties are subject to approval by the City of Camas.

Findings: A landscape plan includes a street tree for each unit.

E. Proposed vegetation cannot be an invasive species as listed within the most current edition of the Clark County Noxious Weed List (e.g. English Ivy cultivars).

Findings: The plan does not include any invasive species.

F. Shrubs shall be a minimum of five-gallon pot size. Upright shrubs shall have a minimum height at planting of eighteen inches. Spreading shrubs at planting shall have a minimum width of eighteen inches (smaller shrub sizes may be approved where it is more appropriate within a particular landscape plan).

G. Ground Cover, defined as living material and not including bark chips or other mulch, shall be from containers of one gallon or larger. Plants shall be planted and spaced in a triangular pattern which will result in eighty percent cover in three years. Lawn cannot be the primary ground cover within required landscape buffers unless approved for stormwater conveyance. Grass species, if used as ground cover, shall be native or drought-tolerant, and appropriate for the use of the area.

Findings: The landscape plan includes ground cover along the side and rear yard of Oregon grape and Kinnickinick. Front yard planting appears to include grass.

H. Appropriate measures shall be taken, e.g., installation of irrigation system, to assure landscaping success. If plantings fail to survive, it is the responsibility of the property owner to replace them.

Findings: The application did not provide a proposal for an irrigation system. A condition to this effect shall be included to address this criterion.

I. Required trees, as they grow, shall be pruned in accordance with the International Society of Arboriculture. The pruned tree will provide at least eight feet of clearance above sidewalks and twelve feet above street roadway surfaces.

J. Existing trees may be used as street trees if there will be no damage from the development which will kill or weaken the tree. Sidewalks of variable width and elevation may be utilized to save existing street trees, subject to approval by the city.

K. *Vision clearance hazards shall be prohibited.*

L. *Street trees and other required landscaping which dies or is removed, must be replaced within one year of death or removal. Replacement street trees may be an alternative species from the city's recommended tree list, and may be in a different location as approved by the city.*

Findings: Staff has included a condition in regard to maintenance and replacement.

CMC§18.13.051 Minimum Tree Density Requirement (A), "Tree Density. A minimum tree density per net acre is required and must be incorporated within the overall landscape plan. The tree density may consist of existing trees, replacement trees or a combination of existing and replacement trees, pursuant to the priority established in Section 18.13.052."

Findings: The property is 0.11 acres and therefore must include two tree units (20 tree units per acre). The applicant includes two Leland Cypress trees to meet this requirement.

CMC§18.13.055 (B).Landscaping and Screening Design Standards.

(1) L1, *General Landscaping.*

a. *Intent. The L1 standard is intended to be used where distance is the principal means of separating uses or development, and landscaping enhances the area between them. The L1 standard consists principally of groundcover plants; trees and high and low shrubs also are required.*

b. *Required Materials. There are two ways to provide trees and shrubs to comply with an L1 standard. Shrubs and trees may be grouped. Groundcover plants, grass lawn, or approved flowers must fully cover the landscaped area not in shrubs and trees.*

Findings: The application includes five feet of landscaping as required between the single family residential properties to the west and east of the lot. The front yard landscaping does not group the trees and shrubs. A condition to remedy this is included.

C. THE PROPOSED USE SHALL BE COMPATIBLE WITH THE SURROUNDING LAND USES IN TERMS OF TRAFFIC AND PEDESTRIAN CIRCULATION, DENSITY, BUILDING, AND SITE DESIGN;

Discussion: The subject property is located in a neighborhood with a mix of designs and densities.

The applicant has proposed a design for the duplex that staggers the units rather than being flush with one another and the front doors are visible from the street. The front doors are set forward of the garage doors for both units as demonstrated on Sheet A2.00. Design Review criteria is discussed in the following section.

Findings: The development design is generally compatible with the surrounding land uses.

ROADS: CMC 17.19.040(B) requires that new developments construct half street improvements. NW 11th Avenue consists of a 65-foot right-of-way, with paved road and curbs on both sides. The applicant is not required to dedicate any additional right-of-way to meet this standard. The applicant is required to construct sidewalk, driveway access, and replace any worn or damaged curb along the frontage.

Findings: Dedication of additional right-of-way is not required. Staff finds that the following requirements are feasible and are compatible with the neighboring properties:

- **The applicant shall construct a 5-ft. wide hard surface sidewalk that is ADA compliant. Sidewalk shall be detached in order to allow for a planter strip.**
- **A shared driveway access shall be constructed to serve both sides of the duplex. Driveway throat shall not exceed 40% of the total lot frontage.**
- **Road surface restoration for utility cuts shall be per Camas Design Standards Manual, General Detail G2 which requires: Surface restoration for longitudinal trench cuts to be full lane width with 2-**

inch grind and inlay and for transverse trench cuts to be 12-feet on each side of trench with a full width 2-inch grind and inlay.

Water: There is an existing 6-inch ductile iron water main located in NW 11th Avenue. Applicant is proposing to provide two individual services to be tapped at the main for each unit. The Applicant will be required to extend these services to the right-of-way and install a double detector check valve and water meters for billing purposes. The domestic and irrigation lines beyond the meters will be privately owned and maintained by the Applicant.

Sanitary Sewer: There is an existing 15-inch PVC gravity sewer main in NW 11th Avenue. Applicant is proposing to provide two 4-inch sewer laterals that will be tapped at the main and be extended to each duplex.

Stormwater: The proposed improvements are less than 5,000 sq. ft. of impervious surface, therefore treatment and detention are not required. Applicant is proposing to connect the roof drains to a new catch basin that would connect to the existing 10-inch storm line located at the corner of NW 11th Avenue and NW Division Street.

Findings: Staff finds that adequate provisions for water, sanitary sewer, and stormwater to the site can be provided.

D. APPROPRIATE MEASURES HAVE BEEN TAKEN TO MINIMIZE THE POSSIBLE ADVERSE IMPACTS THAT THE PROPOSED USE MAY HAVE ON THE AREA IN WHICH IT IS LOCATED;

Discussion: The proposed use as a duplex should, if designed properly, blend into the surrounding neighborhood. Staff has proposed conditions in regard to landscape and roadway improvements that should mitigate any potential adverse impacts of the project.

Findings: Staff has proposed conditions of approval to minimize potential adverse impacts.

E. THE PROPOSED USE IS CONSISTENT WITH THE GOALS AND POLICIES EXPRESSED IN THE COMPREHENSIVE PLAN;

Discussion: The citywide land use policy, Policy LU-1.3 requires compatibility of use and design of the surrounding and built environment for new development. Also, policy LU-1.5, states, *"Where compatible with surrounding uses, encourage redevelopment or infill development to support the efficient use of urban land."* The proposed project being a duplex supports the policy of "efficient use of urban land".

Policy H-1.6, states, *"Encourage in-fill development on vacant or underutilized sites, subject to design review guidelines, that have adequate urban services, and ensure that the development is compatible with the surrounding neighborhood."* Analysis of the surrounding neighborhood is provided with the applicant's submittal. Staff finds that the in-fill development is compatible.

Findings: The application is consistent with the comprehensive plan.

F. ANY SPECIAL CONDITIONS AND CRITERIA ESTABLISHED FOR THE PROPOSED USE HAVE BEEN SATISFIED. IN GRANTING A CONDITIONAL USE PERMIT THE HEARINGS EXAMINER MAY STIPULATE ADDITIONAL REQUIREMENTS TO CARRY OUT THE INTENT OF THE CAMAS MUNICIPAL CODE AND COMPREHENSIVE PLAN.

Findings: Staff has proposed conditions that will carry out the intent and purposes of the CMC and the comprehensive plan.

III. CRITERIA OF APPROVAL FOR DESIGN REVIEW (CMC§18.19.050)

According to CMC18.19.050, *“The principles as provided in the DDM or DRM are mandatory and must be demonstrated to have been satisfied in overall intent in order for approval of a design review application to be granted. Standard principles shall apply to all commercial, mixed use, or multifamily uses. Specific principles are used in addition to the standard principles for gateways and corridors, commercial, mixed uses, and multifamily (e.g. apartments, townhouses, duplexes).”*

The Design Review Committee will conduct a public meeting to review the application on January 7, 2019. The following are **staff findings**, which may be amended prior to the public hearing as recommended by the Design Review Committee.

CMC§18.19.050 (A) Standard Principles.

1. *Landscaping shall be done with a purpose. It shall be used as a tool to integrate the proposed development into the surrounding environment.*

Findings: Sheet C3 illustrates landscaping along the entire perimeter of the site to include evergreen trees at the rear of the site and ground cover plants covering the majority of the yard areas.

2. *All attempts shall be made at minimizing the removal of significant natural features. Significant natural features shall be integrated into the overall site plan.*

Findings: The site does not have any mature landscaping or trees. The site grading will be minimal.

3. *Buildings shall have a "finished" look. Any use of panelized materials shall be integrated into the development in a manner that achieves a seamless appearance.*

Findings: The applicant is proposing to utilize Hardi-plank and composition roofing. No panelized materials are proposed.

4. *A proposed development shall attempt to incorporate or enhance historic/heritage elements related to the specific site or surrounding area.*

Findings: The surrounding area has been residentially developed and no other historic elements are warranted.

CMC§18.19.050 (B) Specific Principles, Subsection (3) Multifamily

c. Duplex, Triplex and Four-Plex.

- i. *Garages shall account for less than fifty percent of the front face of the structure. Garages visible from the street shall be articulated by architectural features, such as windows, to avoid a blank look.*

Findings: The garages will have a glass panel and are less than 50% of the front façade.

IV. CONCLUSIONS OF LAW

Based on the above findings and discussion provided in this report, staff concludes that the consolidated application for a duplex (File #CUP18-01) should be approved, because it does or can comply with the applicable standards.

- The application materials are in conformance with CMC Chapter 18.55, Article III Application Requirements.
- As conditioned, the development can satisfy the public design standards of 17.19.040 Infrastructure Standards.
- As conditioned, the development can satisfy the Design Review Standards of CMC Chapter 18.19 Design Review.

- As conditioned, the development can satisfy the requirements of CMC Chapter 18.43 Conditional Use Permits.

V. RECOMMENDATIONS

Staff recommends APPROVAL of the application for 11th Avenue Duplex (File #CUP18-01) with conditions. The recommendation is based on the application meeting the minimum requirements of Camas Municipal Codes, and conditioned as follows:

PROPOSED CONDITIONS

The following conditions are in addition to any conditions required from other permits or approvals issued to this project. Unless otherwise waived or modified in this decision, the development must comply with the minimum requirements of the Camas Municipal Code.

1. Site improvement plans for work within the right-of-way; street, water, sanitary sewer and stormwater improvements shall be prepared in accordance with Camas Design Standards Manual (CDSM) and City Standards.
2. The plans shall be prepared by a licensed civil engineer in Washington State and submitted to the City's Engineering Department for review and approval.
3. A 3% construction plan review and inspection fee shall be required for all civil site work for this development. The fee will be based on an engineer's estimate or construction bid. The specific estimate will be submitted to the City's Engineering Department for review and approval. The fee shall be paid prior to the construction plans being signed and released to the applicant. Under no circumstances will the applicant be allowed to begin construction prior to approval of the construction plans.
4. Any existing wells and septic tanks and septic drain fields shall be abandoned in accordance with state and county guide lines regardless of lots or properties served by such utility, per CMC 17.19.020.
5. Regulations for installation of public improvements, improvement agreements, bonding, final platting, and final acceptance shall be found in CMC 17.21.
6. In the event that any item of archaeological interest is uncovered during the course of a permitted ground disturbing action or activity, all ground disturbing activities shall immediately cease and the applicant shall notify the Public Works Department and DAHP.
7. The applicant shall remove all temporary erosion prevention and sediment control measures from the site at completion of all site improvements, including stabilization of all disturbed soil, unless otherwise directed by the Public Works Director.
8. Final as-built construction drawing submittals shall meet the requirements of CMC 17.01.050 and the Camas Design Standards Manual (CDSM) for engineering as-built submittals.
9. The applicant shall construct a 5-ft. wide hard surface sidewalk that is ADA compliant. Sidewalk shall be detached in order to allow for a planter strip.
10. A shared driveway access shall be constructed to serve both sides of the duplex. Driveway throat shall not exceed 40% of the total lot frontage.
11. Road surface restoration for utility cuts shall be per Camas Design Standards Manual, General Detail G2 which requires: Surface restoration for longitudinal trench cuts to be full lane width with 2-inch grind and inlay and for transverse trench cuts to be 12-feet on each side of trench with a full width 2-inch grind and inlay.
12. A revised landscaping plan must be provided no later than building plan submittal, and approved by the Planning Division prior to commencement of site construction. *The landscape plan will include an irrigation plan, and will group the front yard plantings as required per CMC§18.13.055.*

13. The approved landscaping shall be maintained in a manner as to ensure plant survival for three years after installation. A watering system shall be required. If plantings fail to survive, they must be replaced promptly.

14. Landscaping and watering system shall be installed consistent with the approved final landscaping plan **prior to receiving final occupancy permits from the Building Division.**

15. This permit shall expire in two years of the date of the final decision per CMC§18.55.260, if no building plans are submitted.

133 NW 11TH Avenue Duplex

**Conditional Use Permit and Design Review
Application**

Camas, Washington

September 26, 2018

Contact Marketing
500 West 8th Avenue, Suite 205
Vancouver, WA 98660
(503) 644-4628

Fact Sheet

Project Name: 133 NW 11th Avenue Duplex

Lot Area: 4,994 SF

Bldg. Area 2090 SF

Case Number: PA 18-36

Location: 133 NW 11th Avenue
Camas, WA 98607

Request: The applicant is proposing to construct a duplex residential building at 133 NW 11th Avenue. The property is in the R-7.5 zone and is 4,994 SF (0.115 acres) in size. The Tax Account is 80121-000.

Applicant: Gary Darling
Contact Marketing
500 West 8th St. Suite 205
Vancouver, WA 98660
(503) 644-4628
gid@dleng.net

Contact Person: Same as applicant

Property Owner: Contact Marketing
500 West 8th Street Suite 205
Vancouver, WA 98660

Type of Review: Type III

County Staff	Name	Phone	Email Address
Planner:	Sara Fox	360-817-7269	sfox@cityofcamas.us
Engineering:	Anita Ashton	360-817-1561	
Fire Marshal's Office	Randy Miller	360-834-6191	

Narrative - Conditional Use Permit

Camas Municipal Code

This narrative is in support of a Conditional Use Permit. A conditional use permit requires that Section 18.43.050 - Criteria be addressed.

A. The proposed use will not be materially detrimental to the public welfare, or injurious to the property or improvements in the vicinity of the proposed use, or in the district in which the subject property is situated;

The proposed use is a duplex residence consisting of two new residential units. The neighborhood contains a variety of single family residences, duplexes, and fourplexes. Most of them are older. The addition of a newer, high quality duplex residence will only enhance the public welfare of the neighborhood. Removing a vacant lot which can harbor pests and be a hazard of itself will be a benefit to the neighborhood.

B. The proposed use shall meet or exceed the development standards that are required in the zoning district in which the subject property is situated;

The proposed duplex will exceed the development standards of the neighborhood and will provide two new family size housing units near the developing downtown area. A staff report outlines both the building and engineering requirements necessary to develop this site.

C. The proposed use shall be compatible with the surrounding land uses in terms of traffic and pedestrian circulation, density, building, and site design;

The proposed duplex development will be required to comply with engineering requirements in terms of frontage improvements and utilities. The construction of the development will foster pedestrian circulation with a new sidewalk. The site design will comply with all setback and landscape standards of the City of Camas for this zone. The building will consist of three stories with a single car garage being on the first level and the overall building height will not exceed the maximum height limit allowed for the zone. The proposed duplex conforms to the density of the neighborhood as other duplexes and fourplexes exist that are built on comparable lot sizes.

D. Appropriate measures have been taken to minimize the possible adverse impacts that the proposed use may have on the area in which it is located;

Once construction is completed, the impact of the new duplex units should be only positive as there will be two new higher quality residences with frontage improvements constructed in the neighborhood. During construction, work will only take place in hours allowed by the City, and all work will be performed by experienced contractors.

E. The proposed use is consistent with the goals and policies expressed in the comprehensive plan; In addition to the development being consistent with the goals and policies of the comprehensive plan, the proposed duplex development is an appropriate use for this lot. This lot is located across the street from an industrial zone and just to the east of an industrial zone. The downtown commercial zone is one block away. This zone is a single-family medium zone. Both the commercial zone and industrial zone will contain businesses needing a workforce. This lot is situated in a good location to be able to provide more than the minimum number of housing units and will be able to add to the stock of nearby and affordable, workforce housing units.

F. Any special conditions and criteria established for the proposed use have been satisfied. In granting a conditional use permit the hearings examiner may stipulate additional requirements to carry out the intent of the Camas Municipal Code and comprehensive plan. *The project will be largely in compliance with the neighborhood as evidenced by the numerous multiplex units on the surrounding streets.*

Narrative - Design Review

18.19.050 - Design principles.

The principles as provided in the DDM or DRM are mandatory and must be demonstrated to have been satisfied in overall intent for approval of a design review application to be granted. Standard principles shall apply to all commercial, mixed use, or multifamily uses. Specific principles are used in addition to the standard principles for gateways and corridors, commercial, mixed uses, and multifamily (e.g. apartments, townhouses, duplexes).

A. Standard Principles.

1. Landscaping shall be done with a purpose. It shall be used as a tool to integrate the proposed development into the surrounding environment. *Landscaping will be minimal due to the site size, but a landscape plan has been prepared with native plants that also will not need much water. Two street trees will be provided in the planter strip.*
2. All attempts shall be made at minimizing the removal of significant natural features. Significant natural features shall be integrated into the overall site plan. *The most prominent feature of the lot is the 15 feet of drop from the back to the front. The house will be designed to work with the topography, rather than mass grading the site. The site is small and there are no existing significant trees to speak of.*
3. Buildings shall have a "finished" look. Any use of panelized materials shall be integrated into the development in a manner that achieves a seamless appearance. *The building will be finished with contemporary design elements yet will also complement the neighborhood architecture. Materials, articulation, finishes and orientation of doors and windows, will provide interest for passersby but will still "fit in" to the neighborhood.*
4. A proposed development shall attempt to incorporate or enhance historic/heritage elements related to the specific site or surrounding area. *This is an older neighborhood bordering both commercial and industrial zones. It lacks a theme but will likely be a developing area as the downtown core area develops and becomes a popular commercial and tourist center in the coming years. Situated in the extreme SE corner of this neighborhood, the new development will be in an area that is somewhat of a transition from commercial/industrial to residential. By providing a modern, yet simple and more conservative design, the house will set a standard for future development in the neighborhood that will be welcoming to those entering our exiting the commercial and industrial zones.*

B. Specific Principles

3. Multi-Family

c. Duplex, Triplex and Four-Plex.

- i. Garages shall account for less than fifty percent of the front face of the structure. Garages visible from the street shall be articulated by architectural features, such as windows, to avoid a blank look. *The proposed garages will be less than 50% of the front face and complies with this requirement.*



136 NW 12 AVE
80140

131 NW 11 AVE
81130

1128 NW ASH ST
81145

131 NW 11 AVE
81130

131 NW 11 AVE
81150

133 NW 11 AVE
80121

1103 DIVISION ST
80120

131 NW 11 AVE
986038094

DIVISION STREET

NW 11TH AVE.

SITE PLAN

SCALE: 1" = 40'

SCALE: 1" = 40'

N

40 20 10 0 40

133 NW 11TH AVE DUPLEX
CAMAS, WA
COVER SHEET

CO



LEGEND:

- FOUND 1/2" S.R. AS NOTED
- SET 5/8" X 30" S.R. WITH Y.P.C. MARKED *FOSTER 21675
- S.F. DENOTES SQUARE FEET
- S.R. DENOTES STEEL ROD (REBAR)
- FND. DENOTES FOUND
- C/L DENOTES CENTERLINE
- Y.P.C. DENOTES YELLOW PLASTIC CAP
- (M) DENOTES MEASURED

CLARK COUNTY BENCH MARK
BENCH MARK # 241 (LACAMAS - 17) LOCATED AT THE
INTERSECTION OF 14TH AVENUE AND EVERETT STREET - NW
QUADRANT, NORTH CURB RETURN --
ELEVATION = 215.54

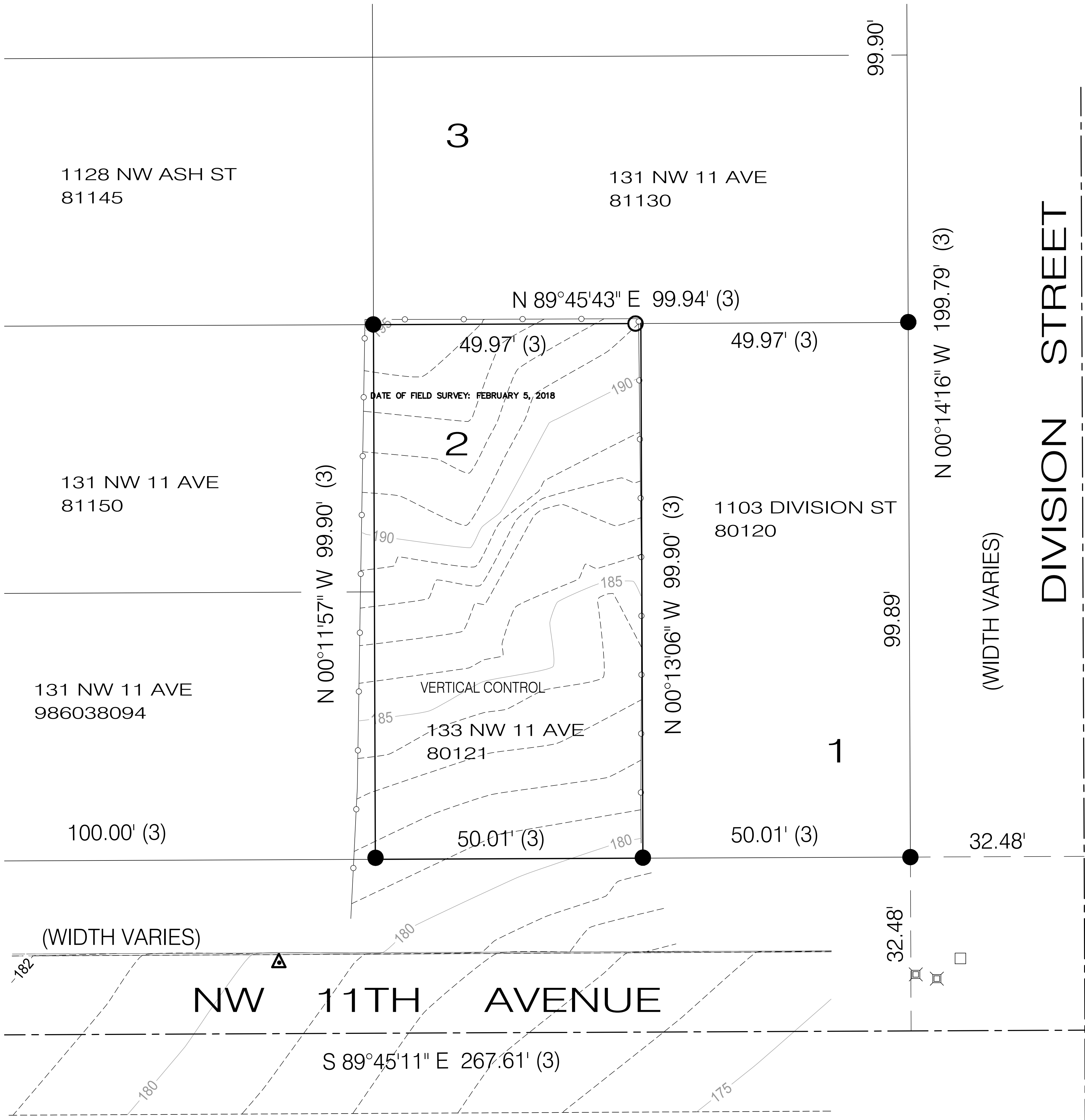
SURVEYED BY
FOSTER SURVEYING, INC.
3517 SE 198th AVENUE
CAMAS, WASHINGTON 98607
503-997-1100

SURVEYED FOR:
DL DESIGN GROUP INC.
10605 NE 65TH STREET
VANCOUVER, WASHINGTON 98662

TOPOGRAPHIC SURVEY

OF PORTIONS OF LOTS 1 AND 2 OF BLOCK 9 OF "COWAN'S ADDITION" (D-60)
IN THE SOUTHWEST ONE-QUARTER OF THE NORTHWEST ONE-QUARTER
OF SECTION 11, TOWNSHIP 1 NORTH, RANGE 3 EAST, WILLAMETTE MERIDIAN
IN THE CITY OF CAMAS, CLARK COUNTY, STATE OF WASHINGTON

ASSESSOR'S PARCEL NO. : 80121 002

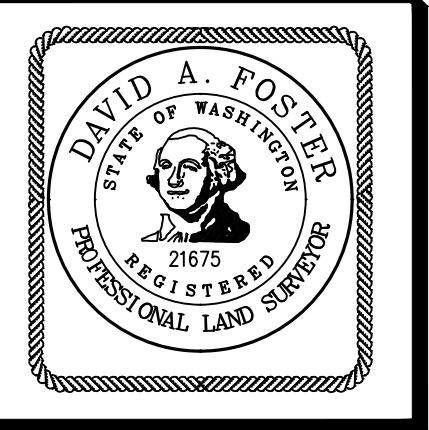


D

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DESIGN GROUP INC.

500 W. 8th Street
Suite 205
Vancouver, WA 98660
(503) 644-4628



133 NW 1 1TH AVE DUPLEX
CAMAS, WA

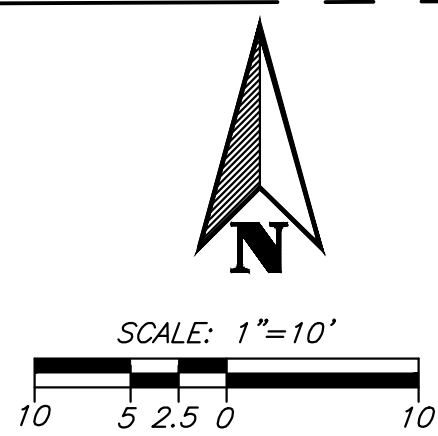
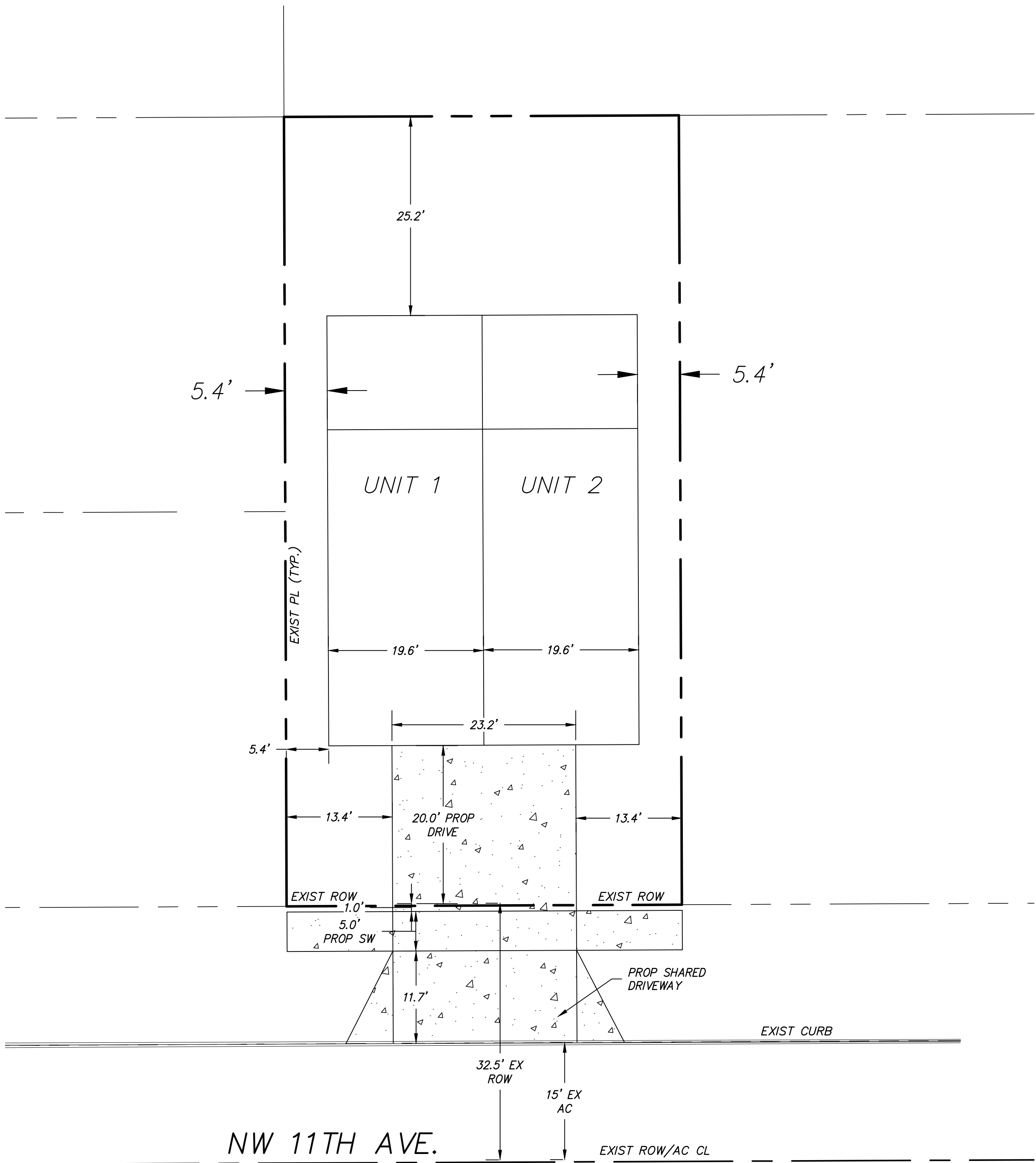
EXISTING CONDITIONS

REV.	DATE	BY

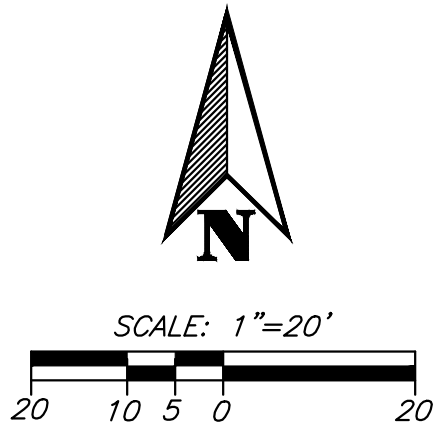
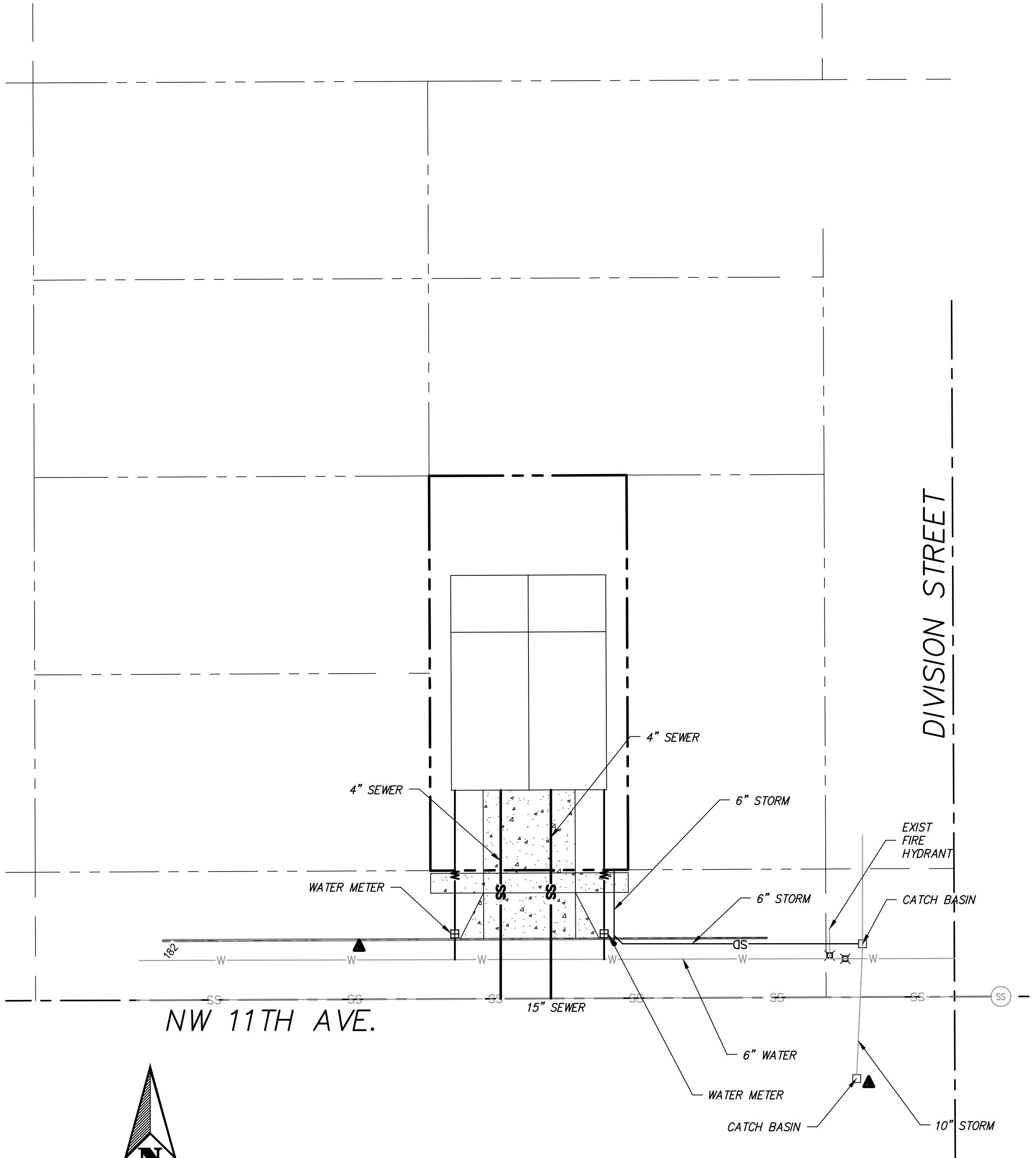
PROJECT NUMBER	CMP001
Date:	09/27/2018
Scale:	1" = 10'
Drawn By:	KMS
Designed By:	GID
Checked By:	GID

C1

XREF LIST
Ltscale: 40
Pltscale: 0
Resolved
TH001X01
TH001X10
TH001X50
Unresolved



SITE PLAN
SCALE: 1" = 10'



UTILITY PLAN
SCALE: 1" = 20'

DL
DESIGN GROUP INC.
500 W. 8th Street
Suite 205
Vancouver, WA 98660
(503) 644-4628

CARY L. DARLING
STATE OF WASHINGTON
REGISTERED PROFESSIONAL ENGINEER
EXPIRES: 9/3/19

133 NW 11TH AVE DUPLEX
CAMAS, WA
SITE PLAN AND UTILITY PLAN

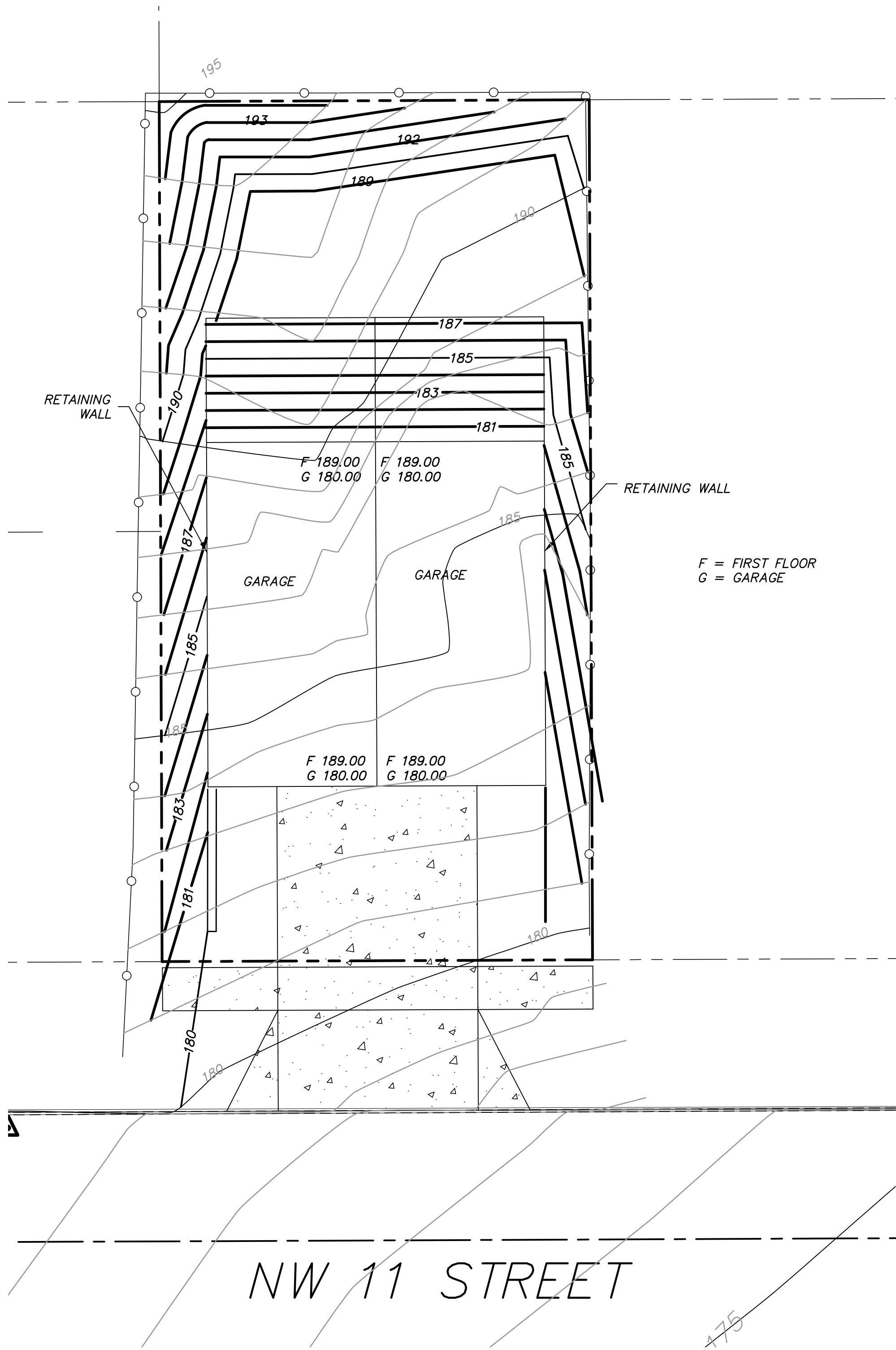
REV.	DATE	BY

PROJECT NUMBER	CMP001
Date:	09/27/2018
Scale:	AS SHOWN
Drawn By:	KMS
Designed By:	GID
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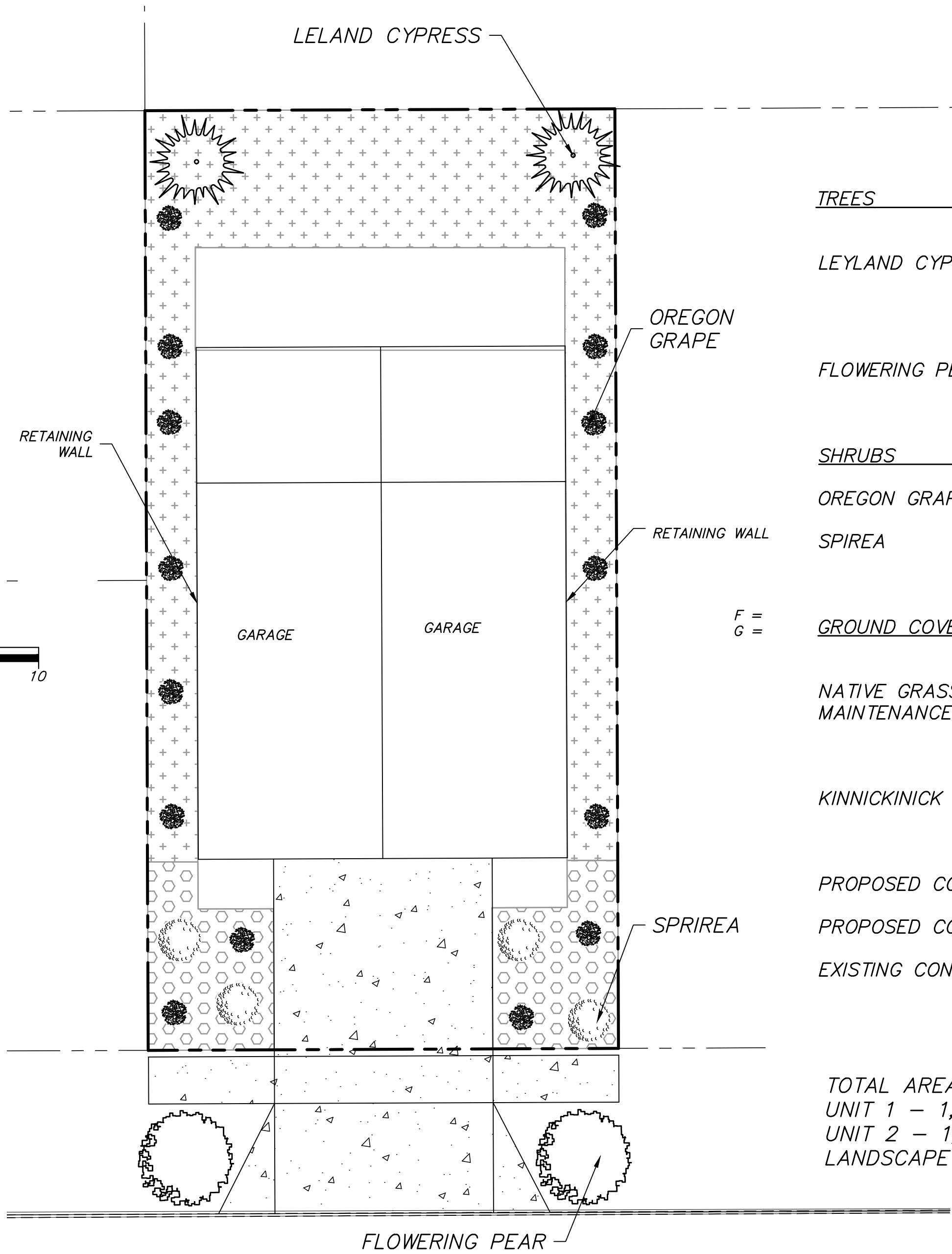
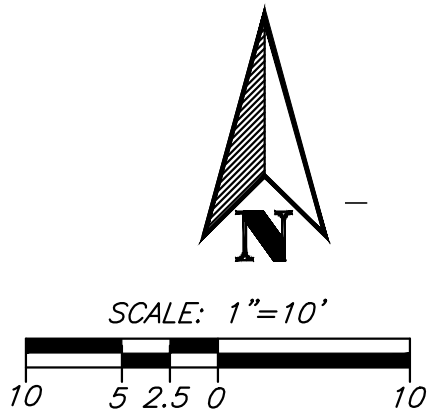
KREF LIST

tscale: 1
palscale: 1

Resolved
2HC001X01
2HC001X10
2LD-LOGO
STAMP.GID



GRADING PLAN
SCALE: 1" = 10'



LANDSCAPE PLAN
SCALE: 1" = 10'

- TREES
- LEYLAND CYPRESS
- FLOWERING PEAR
- SHRUBS
- OREGON GRAPE
- SPIREA
- GROUND COVERINGS
- NATIVE GRASS - LOW MAINTENANCE
- KINNICKINICK
- PROPOSED CONTOURS - MINOR
- PROPOSED CONTOURS - MAJOR
- EXISTING CONTOURS

TOTAL AREA - 4,994 SQ FT
UNIT 1 - 1,068 SQ FT
UNIT 2 - 1,068 SQ FT
LANDSCAPE - 2,393 SQ FT

DL
DESIGN GROUP INC.
500 W. 8th Street
Suite 205
Vancouver, WA 98660
(503) 644-4628

CARY L. DARLING
STATE OF WASHINGTON
P 1440
REGISTERED PROFESSIONAL ENGINEER
EXPIRES: 9/3/19

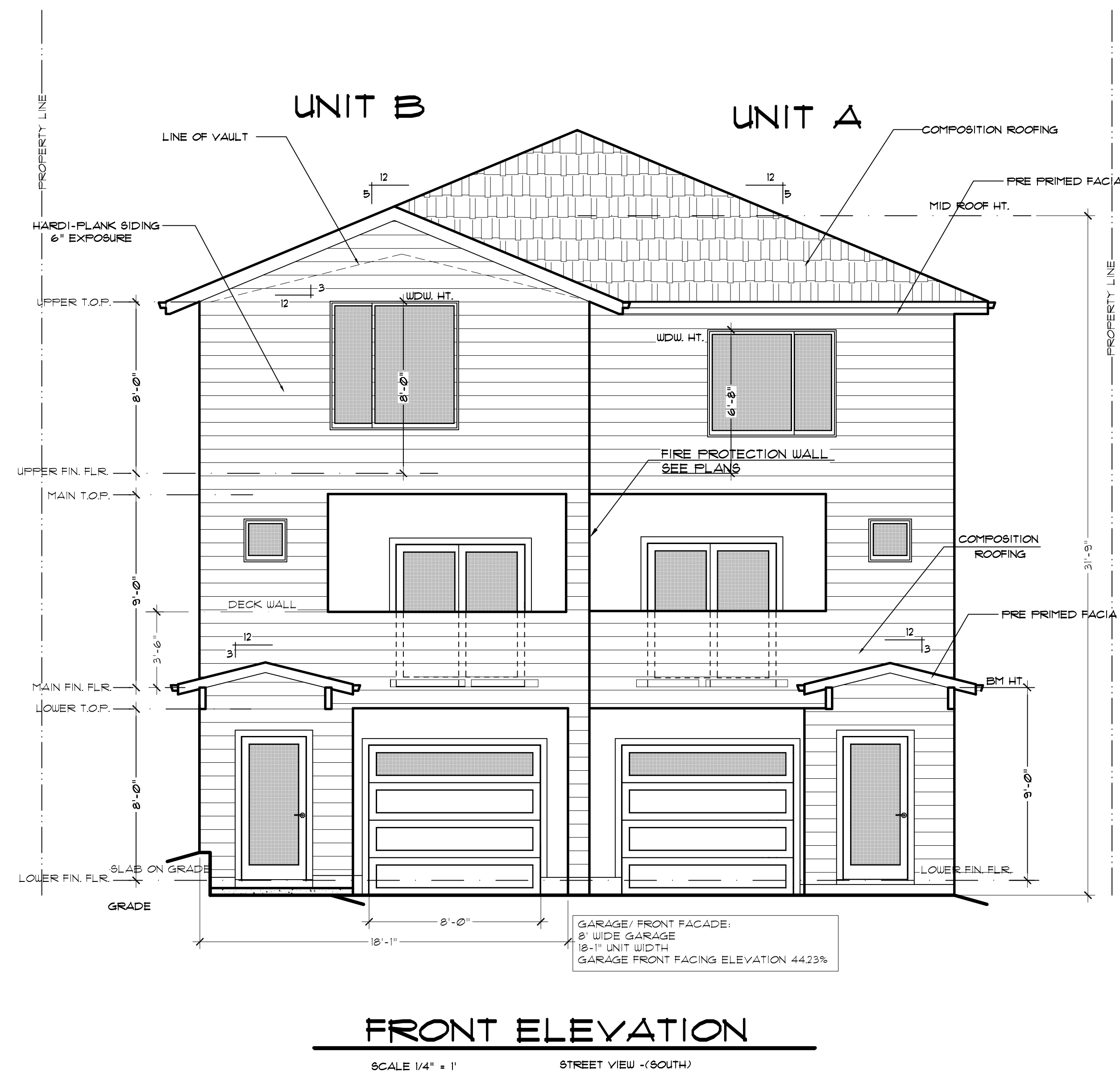
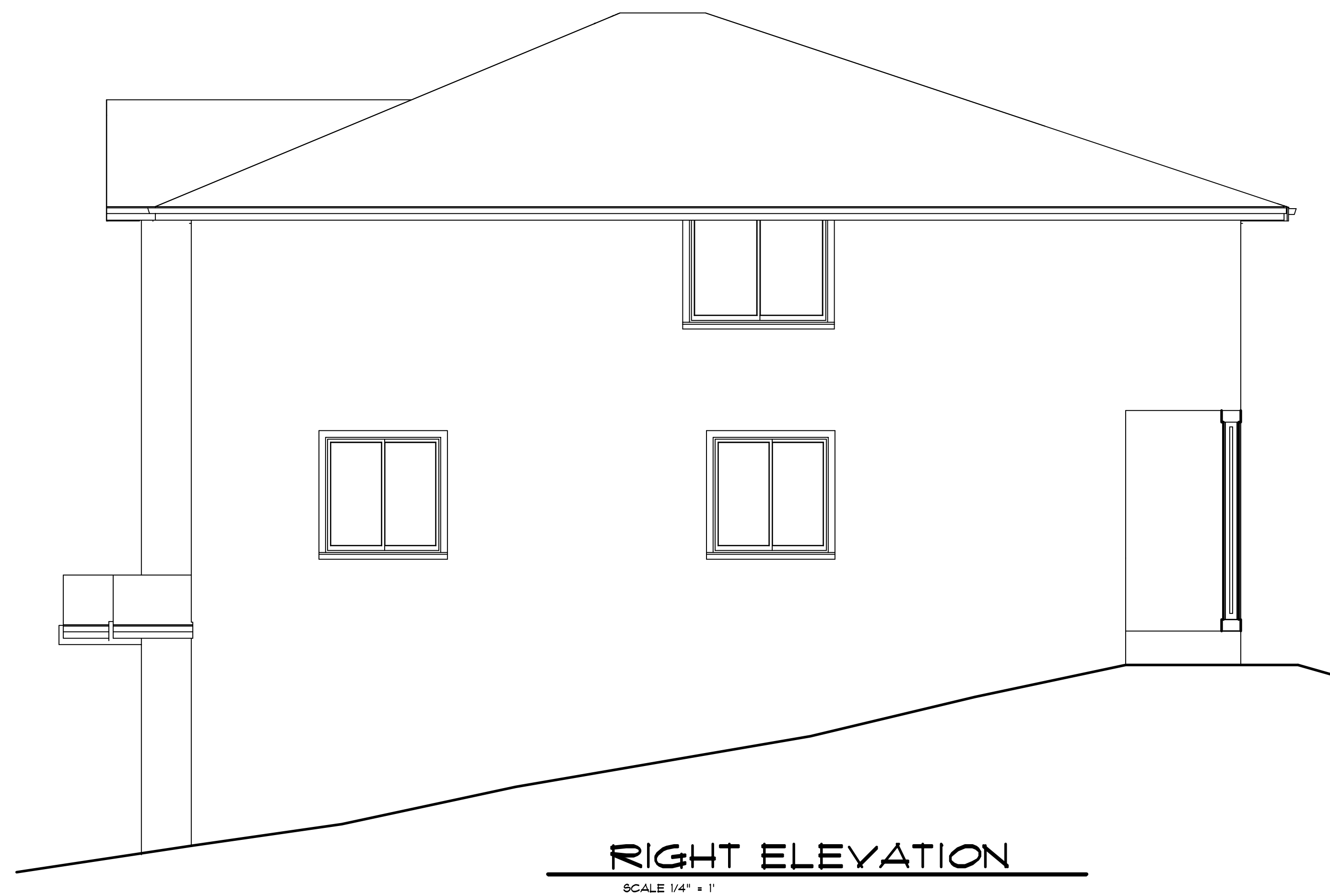
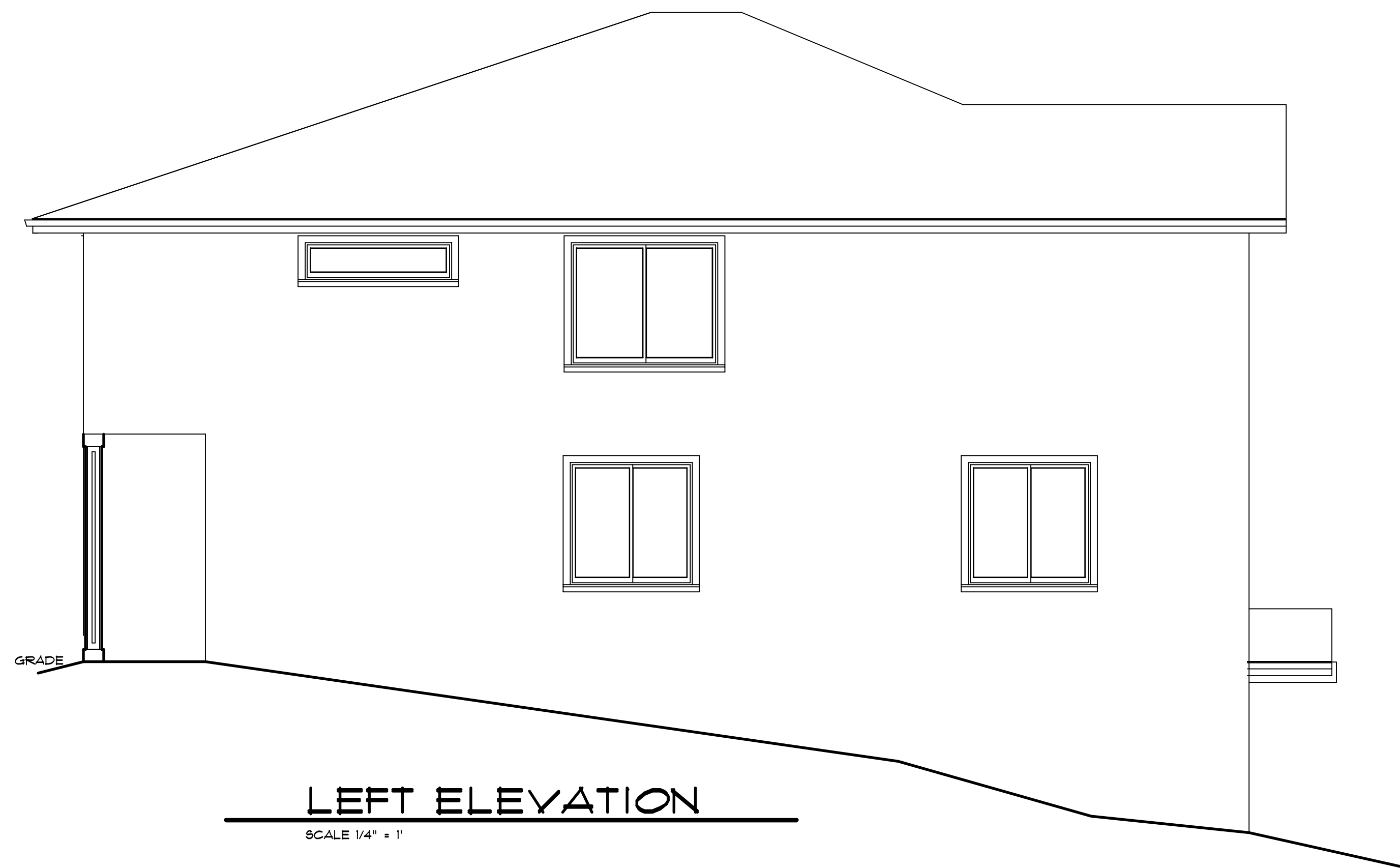
133 NW 11TH AVE DUPLEX
CAMAS, WA

GRADING AND LANDSCAPE PLAN

REV.	DATE	BY

PROJECT NUMBER	CMP001
Date:	09/27/2018
Scale:	AS NOTED
Drawn By:	KRF
Designed By:	IML
Checked By:	GID

C3



A2.00

-SS DESIGN LLC-
Vancouver, Washington
tel. (360) 521-3667

A Proposed Project for:
11th Street Duplex
133 NW 11TH AVE, CAMAS, 98607

REV.	DATE
LAVIK S.	09.27.1

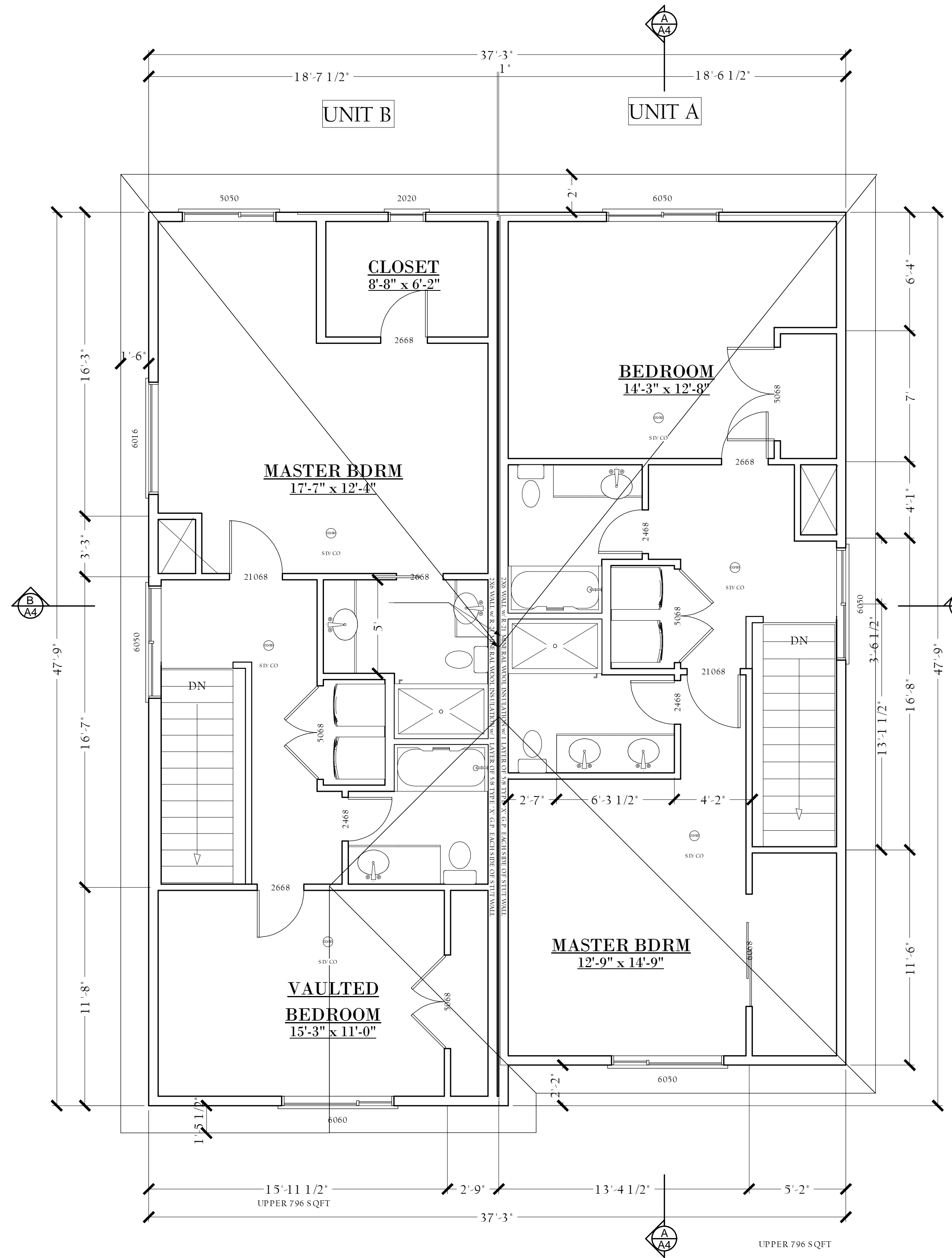
NOTE:
CONSTRUCTION TO BE IN ACCORDANCE WITH
APPLICABLE BUILDING CODES.
IT IS RESPONSIBILITY OF THE
BUILDER TO CHECK FOR ERRORS ON THIS PLAN.
WRITTEN DIMENSIONS HAVE PRECEDENCE OVER



LIVING AREA
1441 sq ft



SCALE 1/4" = 1'



LEVEL 3- FLR PLAN

SCALE 1/4" = 1'

Google Maps 133 NW 11th Ave



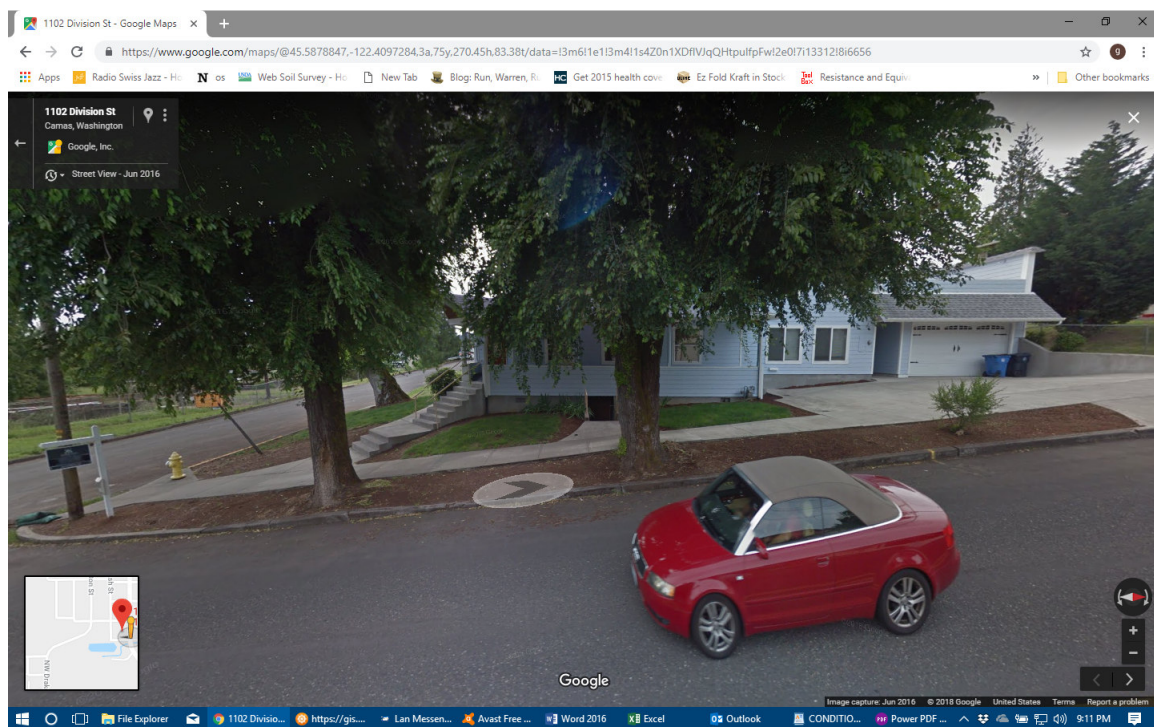
133 NW 11th



133 NW 11th (PROJECT SITE)



131 NW 11th Avenue



1102 NW Division



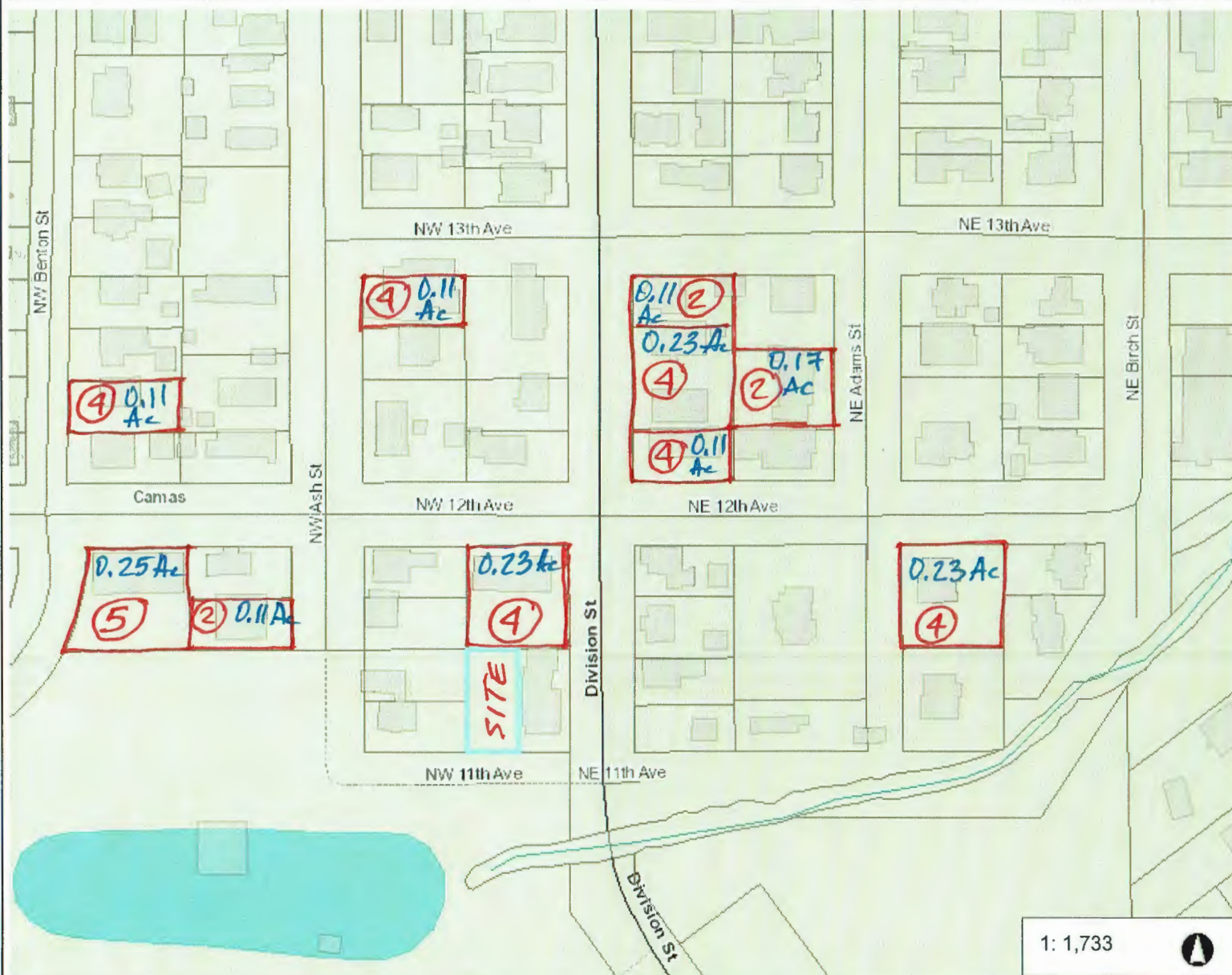
108 NW 12th



1123 and 1131 NW Ash Street



MULTIFAMILY PROPERTIES



Legend

- Building Footprints
- Taxlots
- Cities Boundaries
- Urban Growth Boundaries

② = number OF UNITS

0.11 Ac - Area

Notes:

1: 1,733



288.9 0 144.45 288.9 Feet

WGS_1984_Web_Mercator_Auxiliary_Sphere
Clark County, WA. GIS - <http://gis.clark.wa.gov>

This map was generated by Clark County's "MapsOnline" website. Clark County does not warrant the accuracy, reliability or timeliness of any information on this map, and shall not be held liable for losses caused by using this information.

Google Maps 133 NW 11th Ave



Imagery ©2018 Google, Map data ©2018 Google 50 ft



133 NW 11th Ave

Camas, WA 98607

HHQQ+5W Camas, Washington



DESIGN REVIEW CHECKLIST

The purpose of this sheet is to provide a simplified and expedited review of the design review principles and guidelines using objective review standards. The standards are intended as tool for the decision-maker in making findings that the proposal either achieves compliance with the intent of the principles or reasonably mitigates any conflict. When reviewing the check sheet, the proposal should as a whole “comply” with the standards and thus be generally consistent with the overriding principles. [Yes = In Compliance; No = Not In Compliance; NA = Not Applicable]

Standard Principles and Guidelines

ARCHITECTURE				
Yes	No	NA	Principles and Guidelines	Comments
			Corrugated materials, standing seam, T-1 11, or similar siding materials are avoided unless it produces a high visual (or aesthetic) quality.	
			Buildings walls or fences visible from roadways are articulated in order to avoid a blank look.	
			The use of bold colors has been avoided unless used as minor accents.	
			Higher density/larger structures abutting lower density residential structures have been designed to mitigate size and scale differences.	
LANDSCAPING AND SCREENING				
Yes	No	NA	Principles and Guidelines	Comments
			Vegetation for landscaping includes native, low maintenance plantings. Significant trees are retained if feasible.	
			Trees planted along streetscapes with overhead power lines include only those trees identified on the City’s Tree list.	
			Landscaping, including trees, shrubs, and vegetative groundcover, is provided to visually screen and buffer the use from adjoining less intense uses including parking.	
			Proposed fencing is incorporated into the landscaping so as to have little or no visual impact.	
			Signs located on buildings or incorporated into the landscaping	

			are unobtrusive and vandal resistant. If illuminated they are front lit.	
			Landscape lighting - low voltage, non-glare, indirect lighting is directed, hooded or shielded away from neighboring properties.	
			Street lighting (poles, lamps) is substantially similar or architecturally more significant than other street lighting existing on the same street and do not conflict with any City approved street lighting plans for the street.	
			Parking and building lighting is directed away from surrounding properties through the use of hooding, shielding, siting and/or landscaping.	
			Outdoor furniture samples are consistent with the overall project design.	
			Existing trees over 6" dbh that are not required to be removed to accommodate the proposed development are retained and incorporated into the landscape plan.	
			Rock outcroppings, forested areas and water bodies are retained.	
HISTORIC AND HERITAGE PRESERVATION				
Yes	No	NA	Principles and Guidelines	Comments
			The use of Historic Markers, information kiosks, project names, architectural features, or other elements of the project promote the historic heritage of the site or surrounding area.	

			seamless appearance or creates a cohesive development.	
			New streets intersecting commercial properties are designed to create a safe environment. “Coving” techniques and “round-a-bouts” were considered for traffic calming when appropriate.	
MULTI-FAMILY				
Yes	No	NA	Principles and Guidelines	Comments
1. STACKED HOUSING (APARTMENTS)				
Landscaping & Screening				
			All on-site parking areas are screened with landscaping. Parking spaces are clustered in small groups of no more than 6-10 spaces and separated by landscaping to create a pedestrian friendly park-like environment.	Not Applicable
			Green belts are used to separate different uses whenever possible.	
			Vertical intensity of landscaping increases as the height of the structure increases.	
			Stacked housing abutting or located in single-family residentially zoned areas is designed to mitigate size and scale differences.	
Architecture & Streetscape				
			Buildings are brought up to the road to help define traffic/pedestrian movements.	Not Applicable
			Principal pedestrian entrances of buildings are along a street, open space or mid-block passage with the exceptions of visible entrances off a courtyard.	
			Walls are articulated in order to avoid a blank look and provide a sense of scale including a minimum solid to void ratio of 70%/30%.	
			Detachable garages are located to the rear of stacked unit(s) so as not to be directly viewable from a public street.	
			Attached garages account for less than 50% of the front face of the structure. Garages visible from the street are articulated by architectural features, such as windows, to avoid a blank look.	
			Stoops, porches and direct individual entries are included in the ground-floor units.	
			Street lighting poles and lamps are compatible with other nearby lighting on the same street, unless other lighting is	

			expected to be replaced in the foreseeable future or a nostalgic theme compatible with the proposed development is desired. Surrounding sites are screened from parking and building lighting.	
2. TOWNHOMES AND ROWHOUSES				
			All on-site parking areas (excluding driveways & garages) are screened with landscaping.	Not Applicable
			Buildings are brought up to the road to help define traffic/pedestrian movements.	
			Structures abutting or located in single family residentially zoned areas are designed to mitigate size and scale differences when appropriate.	
			Walls are articulated in order to avoid a blank look and provide a sense of scale including a minimum solid to void ratio of 70%/30%.	
			Detachable garages are located to the rear of the townhouse or rowhouse unit(s) so as not to be directly viewable from a public street.	
			Attached garages account for less than 50% of the front face of the structure. Garages visible from the street are articulated by architectural features, such as windows, to avoid a blank look.	
			Green belts are used to separate different uses whenever possible.	
			Vertical intensity of landscaping increases as the height of the structure increases.	
3. DUPLEX, TRIPLEX & FOUR-PLEX				
			Attached garages account for less than 50% of the front face of the structure. Garages visible from the street are articulated by architectural features, such as windows, to avoid a blank look.	
			Buildings provide a complementary façade that faces the public right of way, and is the primary entrance to a unit or multiple units, unless impracticable.	



STAFF REPORT

DESIGN REVIEW

DR19-02 The Village at Camas Meadows

Associated Files: SUB15-04, FP18-06

To:	Design Review Committee
From:	Lauren Hollenbeck, Senior Planner
Applicant:	Steve Rementeria HSR Capital, LLC 2552 NW 12 th Circle Camas, WA 986807
Location:	6440 NW Lambert LN, Camas, WA 98607

APPLICABLE LAW: The application was submitted on March 26, 2018. The applicable codes are those codes that were in effect at the date of application. Camas Municipal Code Chapters (CMC): Title 18 Zoning (not exclusively): CMC Chapter 17.21 Procedures for Public Improvements; CMC Chapter 18.19 Design Review; Camas Design Review Manual (2016); and CMC Chapter 18.55 Administration and Procedures; and RCW 58.17.

BACKGROUND:

The Village at Camas Meadows is located on approximately 3.7 acres of multi-family zoned property (MF-18), east of NW Payne Street between NW Lake Road and NW Camas Meadows Drive in the SW ¼ of Section 28, Township 2 North, Range 3 East, of the Willamette Meridian. This subdivision was submitted in 2015 and has been approved for final plat.

The applicant is currently seeking design review approval for the construction of a 30-unit townhome development with 24 units at 2,080 square feet and 6 units at 1,800 square feet.

Landscaping and engineering plans have been approved for the development.

PURPOSE:

Design Review is required under CMC Chapter 18.19. Design review is not intended to determine the appropriate use on a parcel but rather review a proposed development for compliance with City codes and plans related to landscaping, architectural elevations and other elements relative to required improvements. The recommendations from the Design Review Committee (DRC) must consider the general design review standards (CMC Chapter 18.19.050.A and the Camas Design Review Manual "DRM" pages 4-7), along with the specific standards for multi-family (CMC Chapter 18.19.050.B.3.c and the DRM page 19); which are included in the enclosed Design Review Checklist.

STANDARD AND MULTI-FAMILY DESIGN PRINCIPLES AND GUIDELINES:

The standard and multi-family principles are required and must be demonstrated to have been satisfied in overall intent for design review approval. The standard design guidelines are developed to assist a project in meeting the established principles and each guideline should be adequately addressed. If the proposal cannot meet a specific guideline, then an explanation should be provided by the applicant as to why and how it will be mitigated to satisfy the intent of the design principles. The development guidelines include five major categories: 1) Landscaping and Screening, 2) Architecture, 3) Massing and Setbacks, 4) Historic & Heritage Preservation, and 5) Circulation and Connections. The Design Review Checklist is enclosed to help guide the DRC in reviewing the standard applicable specific design review principles and guidelines.

RECOMMENDATION:

That the Design Review Committee reviews the submitted materials, deliberates, and forwards a recommendation to the Director for a final decision.

APPLICANT/ CONTACT:

HARB ENGINEERING, INC.
CONTACT PERSON: GUS HARB, PE
701 COLUMBIA ST., SUITE 111
VANCOUVER, WA 98660
PHONE: (360) 895-8520
EMAIL: gus@harbengineering.com

OWNER:

CHLOE INVESTMENT, LLC
701 COLUMBIA ST., SUITE 111
VANCOUVER, WA 98660

SURVEYOR:

MINSTER & GLASER SURVEYING, LLC
CONTACT PERSON: DAVE DENNY, PLS
2200 E. EVERGREEN BLVD
VANCOUVER, WA 98661
PHONE: 360-894-3313

GEOTECHNICAL ENGINEER:

COLUMBIA WEST ENGINEERING, INC.
CONTACT PERSON: DANIEL LEHTO, PE, GE
11917 NE 90TH ST.
VANCOUVER, WA 98682
PHONE: 360-823-2900

ARBORIST:

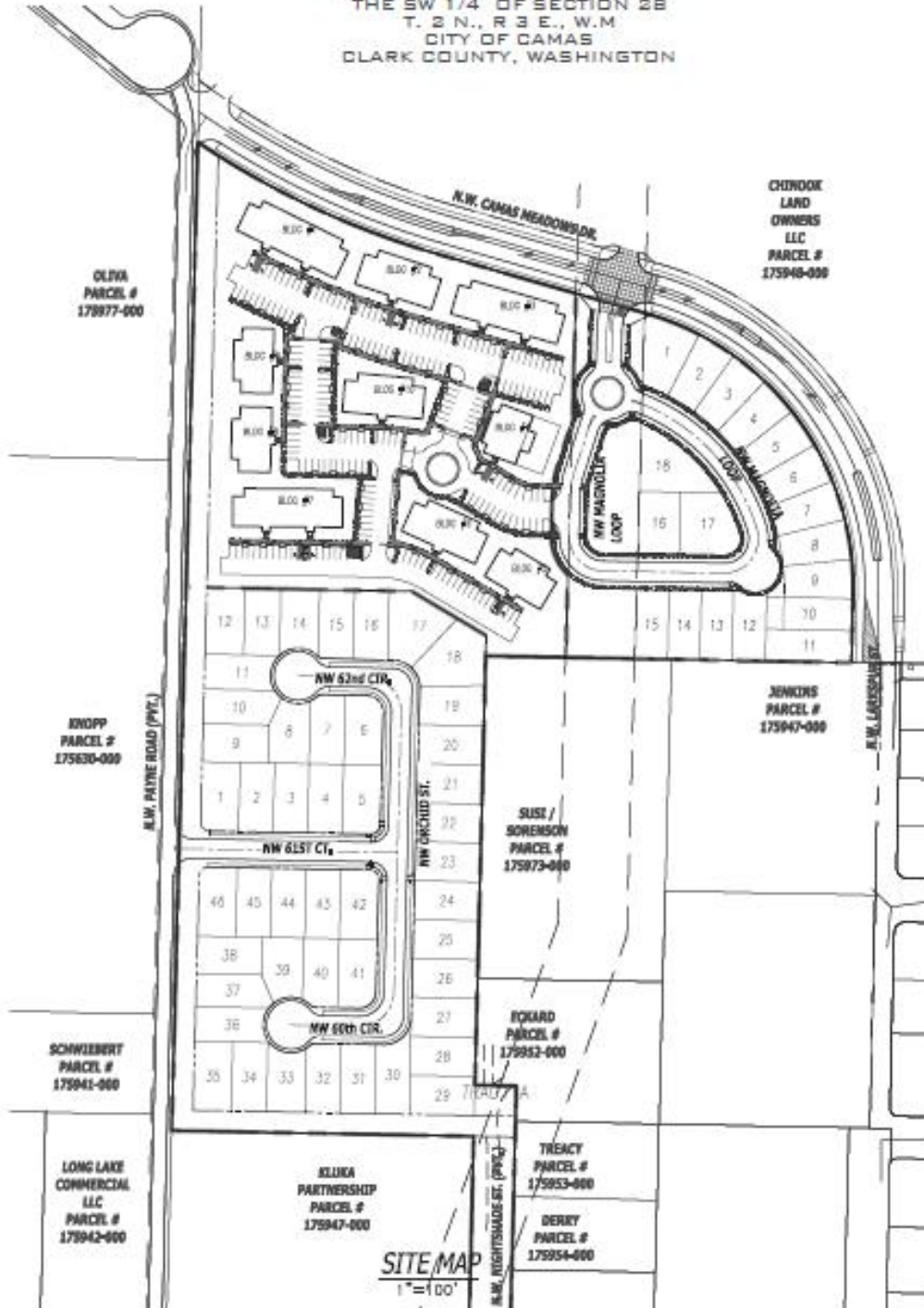
AKS ENGINEERING AND FORESTRY VANCOUVER, LLC
CONTACT PERSON: BRYCE HANSON, PE, LSIT, CERTIFIED ARBORIST
9500 NE 126TH AVE, STE 2520
VANCOUVER, WA 98682
PHONE: 360-882-0419

PARCEL INFORMATION:

PARCEL # 175951-000
PARCEL AREA IS 19.5 ACRES

THE VILLAGE AT CAMAS MEADOWS

PARCEL #175951-000
IN A PORTION OF THE EAST
HALF AND THE WEST HALF OF
THE SW 1/4 OF SECTION 28
T. 2 N., R. 3 E., W.M.
CITY OF CAMAS
CLARK COUNTY, WASHINGTON



VICINITY MAP
NOT TO SCALE

SHEET INDEX:

- P-00 COVER SHEET
- P-01 NOTES AND LEGEND
- P-02 EXISTING CONDITIONS PLAN
- P-03 EXISTING TREE SURVEY
- P-04 EXISTING TREE SURVEY
- P-05 PRELIMINARY PLAT COVER SHEET
- P-06 PRELIMINARY PLAT [PHASE 1]
- P-07A PRELIMINARY PLAT [PHASE 2]
- P-07B PRELIMINARY PLAT [PHASE 2]
- P-08 PRELIMINARY PLAT [PHASE 3]
- P-09 PRELIMINARY STORM DRAINAGE PLAN [PHASE 1]
- P-10 PRELIMINARY STORM DRAINAGE PLAN [PHASE 1]
- P-11 PRELIMINARY STORM DRAINAGE PLAN [PHASE 1]
- P-12 PRELIMINARY STORM DRAINAGE PLAN [FRONTAGE]
- P-13 PRELIMINARY SANITARY SEWER AND WATER PLAN [PHASE 1]
- P-14 PRELIMINARY SANITARY SEWER AND WATER PLAN [PHASE 2]
- P-15 PRELIMINARY SANITARY SEWER AND WATER PLAN [PHASE 3]
- P-16 PRELIMINARY PUBLIC IMPROVEMENTS PLAN AND PROFILE [NW CAMAS MEADOWS DR.]
- P-17 PRELIMINARY PUBLIC IMPROVEMENTS PLAN [NW PAYNE ST. AND NW LAKE RD.]
- P-18 PRELIMINARY TREE SURVEY PLAN [PHASE 1]
- P-19 PRELIMINARY TREE SURVEY PLAN [PHASE 2]
- P-20 PRELIMINARY TREE SURVEY PLAN [PHASE 3]
- P-21 PRELIMINARY TREE LIST
- P-22 PRELIMINARY STREET LIGHTING AND TREE PLAN [PHASE 1]
- P-23 PRELIMINARY STREET LIGHTING AND TREE PLAN [PHASE 2]
- P-24 PRELIMINARY STREET LIGHTING AND TREE PLAN [PHASE 3]
- P-25 PRELIMINARY STREET LIGHTING AND TREE PLAN [NW CAMAS MEADOWS DR.]
- P-26 PRELIMINARY SITE DETAILS

HARB ENGINEERING
LAND DEVELOPMENT PLANNING ENGINEERING
CONSTRUCTION MANAGEMENT



THE VILLAGE AT
CAMAS MEADOWS

SHEET NAME:

COVER SHEET

DRAWN BY:

DESIGNED BY:

CHECKED BY:

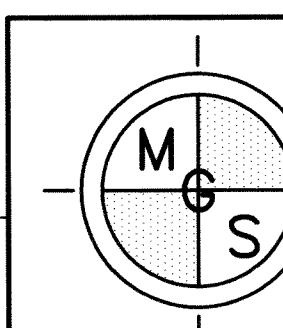
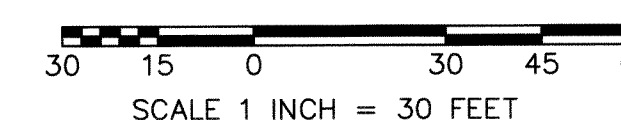
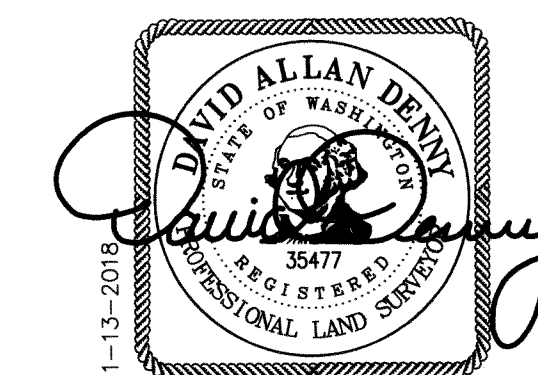
SHEET #

P-00

A SUBDIVISION IN TRACT "D" OF CAMAS
MEADOWS PHASE 2 311-972 IN A PORTION
OF THE NE 1/4,
AND SE 1/4, OF THE SW 1/4
OF SECTION 28
T. 2 N., R 3 E., W.M
CITY OF CAMAS
CLARK COUNTY, WASHINGTON
SHEET 3 OF 3

- INDICATES MONUMENT FOUND AS NOTED
- ⊙ INDICATES 1/2" x 24" REBAR WITH (D.DENNY 35477) CAP SET
- +
- INDICATES ROCK NAIL WITH BRASS WASHER. INSCRIBED NO. 35477 SET AT THE EXTENSION OF LOT LINE IN THE CURB FOR THE PURPOSE OF WITNESS CORNER
- SF INDICATES SQUARE FEET
- INDICATES CALCULATED POSITION
- INDICATES FOUND 1/2" IRON ROD WITH RENTON CAP. HELP
- ⚡ INDICATES FOUND 1/2" IRON ROD WITH D.DENNY CAP. HELP

ANALYSIS OF BEARING: THE SOUTH LINE OF THE SOUTHWEST QUARTER OF SECTION 28, BETWEEN FOUND MONUMENTS PER



MINISTER—GLAESER
SURVEYING INC.
2200 E. EVERGREEN BLVD
VANCOUVER, WA 98661
(360) 694-3313

JOB NO. 14-390
DATE: 5-15-18
CALC BY: DAD
DRAWN BY: DED
CHECKED BY: DAD
FILE:14390PH1.DWG

MINISTER AND GLAESER SURVEYING, INC. MAKES NO WARRANTIES AS TO MATTERS OF UNWRITTEN TITLE SUCH AS ADVERSE POSSESSION, ACQUIESCENCE, ESTOPPEL, ETC.

A FIELD TRAVERSE WAS PERFORMED USING A THREE SECOND TOTAL STATION. THE FIELD TRAVERSE MET THE MINIMUM STANDARDS FOR SURVEYS AS DESIGNATED IN WAC 332-130-090. ALL CORNERS NOTED AS FOUND WERE VISITED 12-05-14.

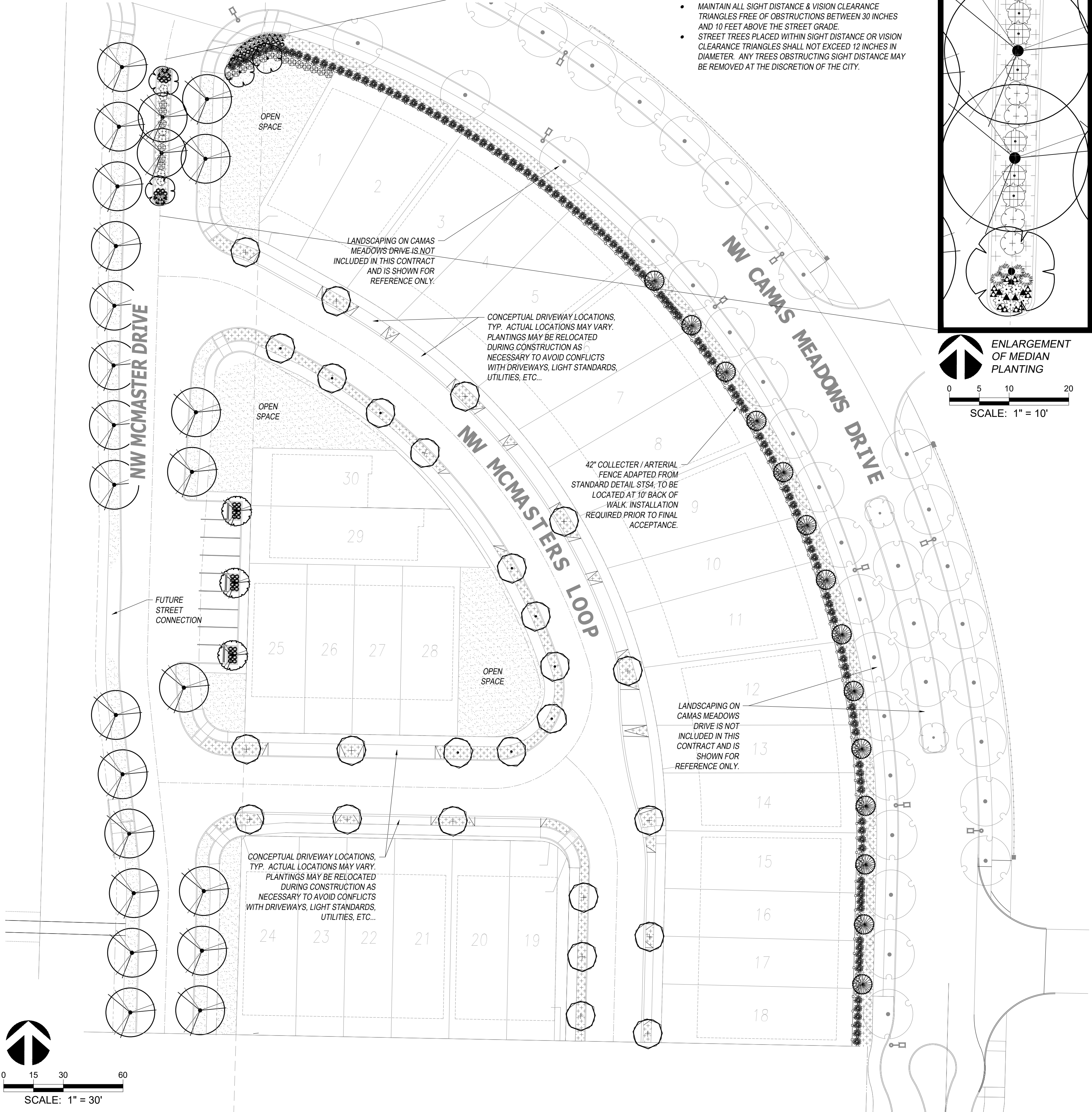
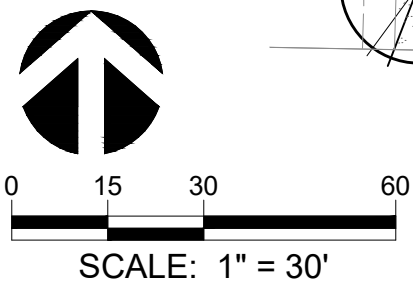
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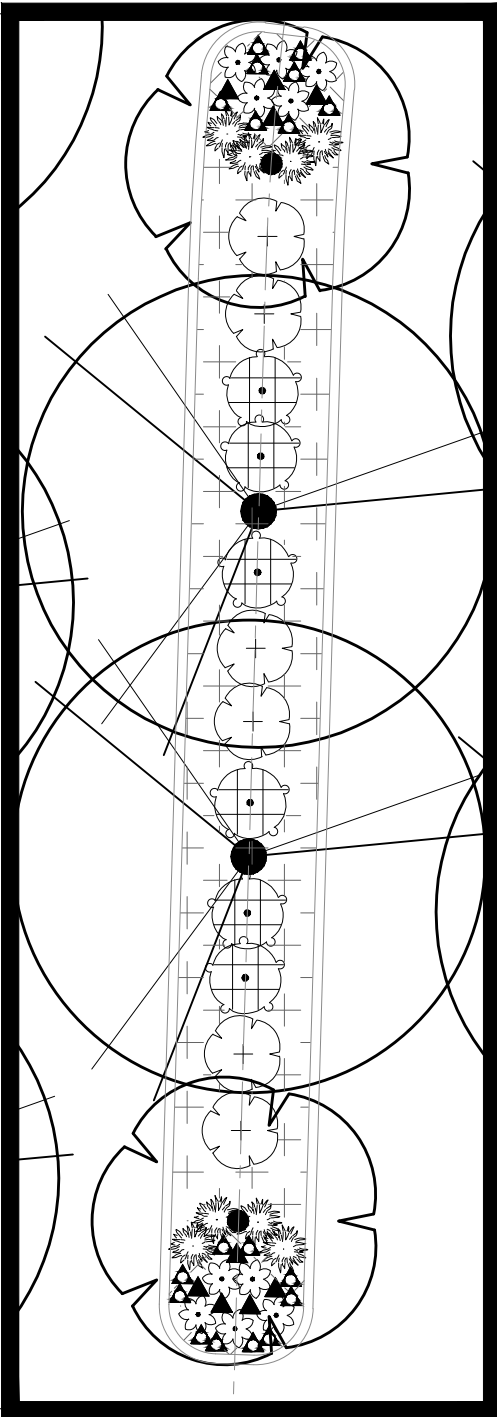


Know what's below.
Call before you dig.

© CLARK LAND DESIGN, PLLC. DATE PLOTTED: Sep. 27, 2018 - 4:57 PM. OLD DRAWING FILE: C:\0-PROJECTS\2017 PROJECTS\1.17.020 THE VILLAGE AT CAMAS PHASE 1\02_CADD\01_SHEETS\7020-7021 LANDSCAPE PLANS.DWG



- STREET TREE NOTES:
- INSTALL ROOT BARRIER PANELS AT EACH TREE LOCATED WITHIN 5 FEET OF CURBS, ROADS, OR SIDEWALKS IN ACCORDANCE W/ STANDARD DETAILS PL8, PL9, & PL10.
 - ANNUAL PRUNING SHALL BE PERFORMED ON ALL STREET TREES UNDER THE DIRECTION OF A CERTIFIED ARBORIST. LOWER BRANCHES SHALL BE REMOVED WHEN APPROPRIATE AS THE TREE CANOPY GROWS HIGHER TO PROMOTE HIGH BRANCHING. BRANCHES SHALL BE MAINTAINED AT A 14' MINIMUM HEIGHT ABOVE ANY STREET TRAVEL LANES AND 6.5' MINIMUM HEIGHT ABOVE SIDEWALKS.
 - MAINTAIN ALL SIGHT DISTANCE & VISION CLEARANCE TRIANGLES FREE OF OBSTRUCTIONS BETWEEN 30 INCHES AND 10 FEET ABOVE THE STREET GRADE.
 - STREET TREES PLACED WITHIN SIGHT DISTANCE OR VISION CLEARANCE TRIANGLES SHALL NOT EXCEED 12 INCHES IN DIAMETER. ANY TREES OBSTRUCTING SIGHT DISTANCE MAY BE REMOVED AT THE DISCRETION OF THE CITY.



ENLARGEMENT OF MEDIAN PLANTING
SCALE: 1" = 10'

PLANT SCHEDULE MEDIAN

STREET TREES	BOTANICAL NAME / COMMON NAME	CONTAINER	SIZE	SPACING	QTY
	Gleditsia triacanthos inermis 'Shademaster' TM / Shademaster Locust	B & B	2" cal	30' o.c.	2
	Prunus sargentii 'Pink Flair' / Pink Flair Sargent Cherry	B & B	2" cal	as shown	2
SHRUBS	BOTANICAL NAME / COMMON NAME	CONTAINER	SPREAD	SPACING	QTY
	Prunus laurocerasus 'Otto Luyken' / Luykens Laurel	5 gal	18"-24"	4' o.c.	6
	Spiraea x bumalda 'Goldflame' / Goldflame Spiraea	5 gal	18"-24"	4' o.c.	6
ANNUALS/PERENNIALS	BOTANICAL NAME / COMMON NAME	CONTAINER	SPREAD	SPACING	QTY
	Hemerocallis x 'Stella de Oro' / Stella de Oro Daylily	bulb/tuber		as shown	10
	Iris x hollandica / Dutch Iris (Mixed Colors)	bulb/tuber		as shown	9
	Narcissus x 'Mount Hood' / Mount Hood Daffodil	bulb/tuber		as shown	18
GRASSES	BOTANICAL NAME / COMMON NAME	CONTAINER	SPREAD	SPACING	QTY
	Pennisetum alopecuroides 'Hamel' / Hameln Dwarf Fountain Grass	1 gal	10"-12"	30" o.c.	8
GROUND COVERS	BOTANICAL NAME / COMMON NAME	CONTAINER	SPREAD	SPACING	QTY
	Cotoneaster dammeri / Bearberry Cotoneaster	1 gal	10"-12"	3' o.c.	20
	Geranium x 'Rozanne' TM / Rozanne Cranesbill	4"pot		12" o.c.	47

PLANT SCHEDULE PHASE 1

TREES	BOTANICAL NAME / COMMON NAME	CONTAINER	SIZE	SPACING	QTY
	Thuja plicata 'Hogan' / Hogan Cedar	B & B	6'	as shown	14
PARKING LOT TREES	BOTANICAL NAME / COMMON NAME	CONTAINER	SIZE	SPACING	QTY
	Pyrus calleryana 'Chanticleer' / Chanticleer Pear	B & B	2" cal	as shown	3
STREET TREES	BOTANICAL NAME / COMMON NAME	CONTAINER	SIZE	SPACING	QTY
	Ginkgo biloba 'Princeton Sentry' / Princeton Sentry Ginkgo To be installed prior to final plat	B & B	2" cal	30' o.c.	9
	Ginkgo biloba 'Princeton Sentry' / Princeton Sentry Ginkgo To be installed prior to occupancy	B & B	2" cal	30' o.c.	17
	Gleditsia triacanthos inermis 'Shademaster' TM / Shademaster Locust	B & B	2" cal	30' o.c.	22
	Prunus sargentii 'Pink Flair' / Pink Flair Sargent Cherry	B & B	2" cal	as shown	2
SHRUBS	BOTANICAL NAME / COMMON NAME	CONTAINER	SPREAD	SPACING	QTY
	Mahonia aquifolium 'Compacta' / Compact Oregon Grape	2 gal	15"-18"	3' o.c.	56
	Prunus laurocerasus 'Otto Luyken' / Luykens Laurel	5 gal	18"-24"	4' o.c.	15
ANNUALS/PERENNIALS	BOTANICAL NAME / COMMON NAME	CONTAINER	SPREAD	SPACING	QTY
	Hemerocallis x 'Stella de Oro' / Stella de Oro Daylily	bulb/tuber		as shown	20
	Iris x hollandica / Dutch Iris (Mixed Colors)	bulb/tuber		as shown	10
	Narcissus x 'Mount Hood' / Mount Hood Daffodil	bulb/tuber		as shown	11
GRASSES	BOTANICAL NAME / COMMON NAME	CONTAINER	SPREAD	SPACING	QTY
	Pennisetum alopecuroides 'Foxtro' / Foxtro Fountain Grass	2 gal	12"-15"	5' o.c.	119
	Pennisetum alopecuroides 'Hamel' / Hameln Dwarf Fountain Grass	1 gal	10"-12"	30" o.c.	37
GROUND COVERS	BOTANICAL NAME / COMMON NAME	CONTAINER	SPREAD	SPACING	QTY
	Cotoneaster dammeri / Bearberry Cotoneaster	1 gal	10"-12"	3' o.c.	617
	Geranium x 'Rozanne' TM / Rozanne Cranesbill	4"pot		12" o.c.	35
SOD/SEED	BOTANICAL NAME / COMMON NAME	CONTAINER	SPREAD	SPACING	QTY
	Turf Hydroseed 'Triple Crown Dwarf' / Dwarf Tall Fescue	hydroseed			15,166 sf

STATE OF WASHINGTON
LICENSED
LANDSCAPE ARCHITECT
JAMES A. CLARK
LICENSE NO. 778
EXPIRES ON 05-30-2020

Clark
Land Design, PLLC
Land Use Planning
Landscape Architecture
Development Consulting

9601 NE 7th Avenue, Suite A-214 | Vancouver, WA 98661 | 360.527.4445 | jclark@clarklanddesign.com

The Village at Camas Meadows
Drive
Camas, Washington

SHEET TITLE
PHASE 1
LANDSCAPE PLAN

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DATE
07.17.2017

ISSUE
PRELIM

REVISION

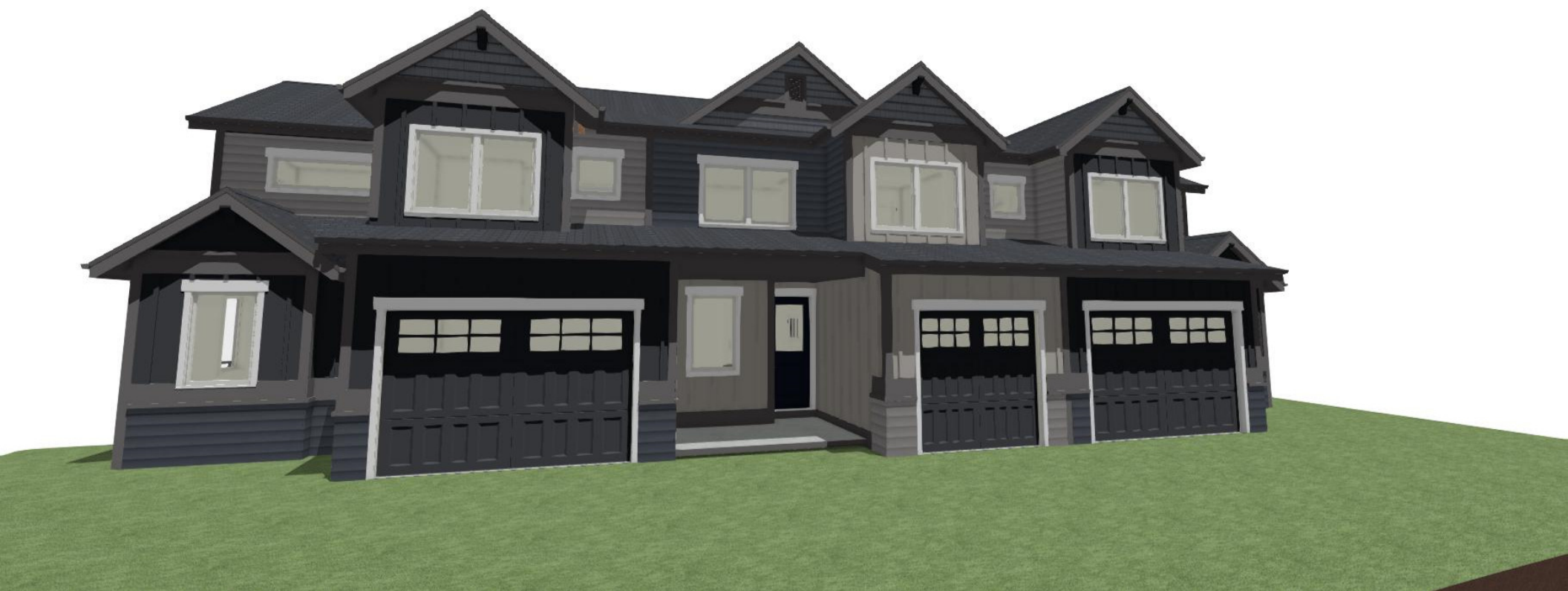
DRAWN BY
JAC

CHECKED BY
JAC

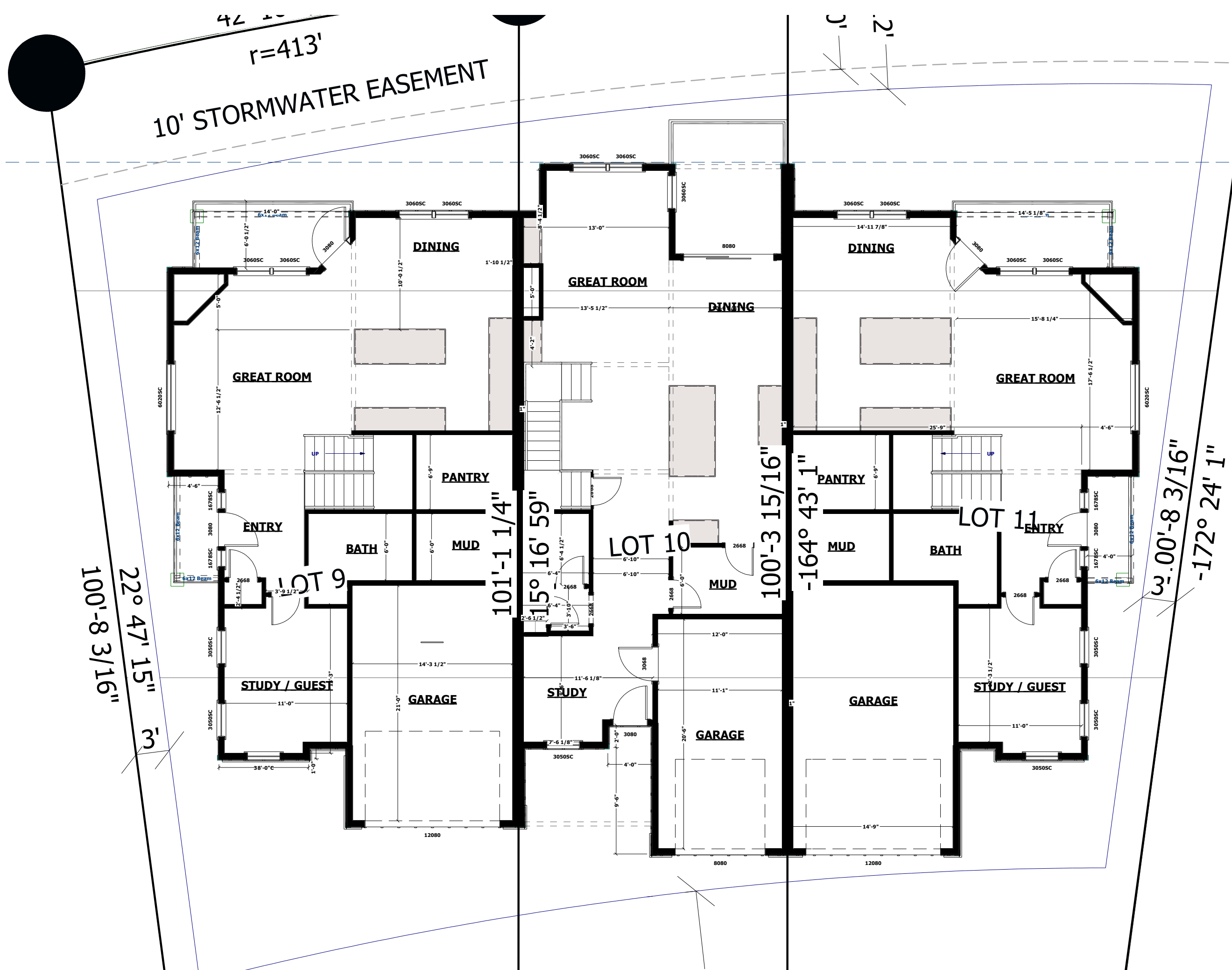
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SCALE: AS SHOWN

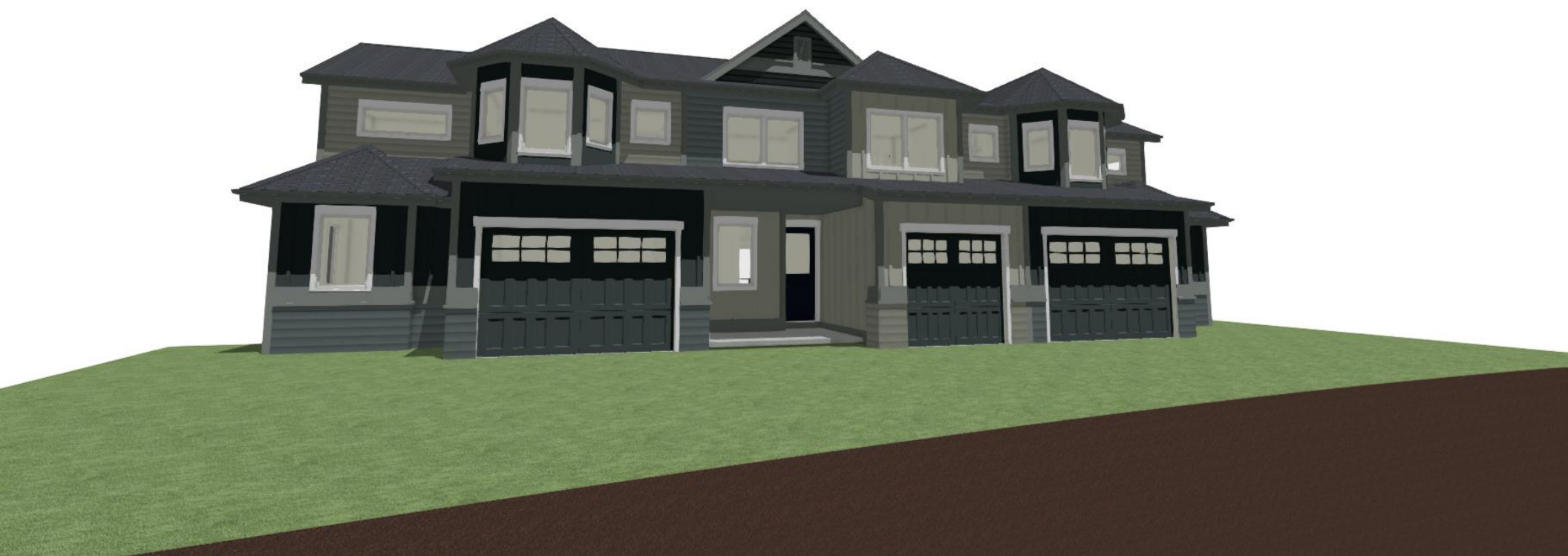
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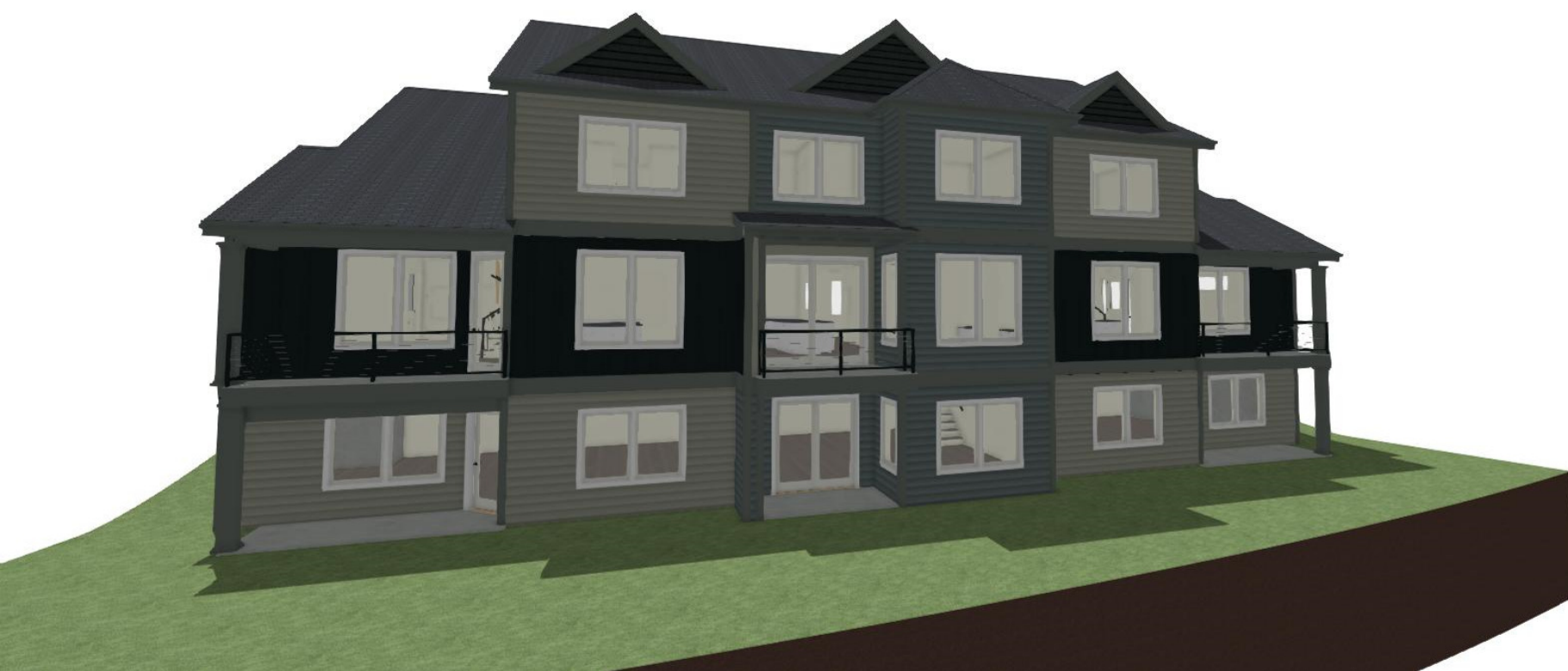


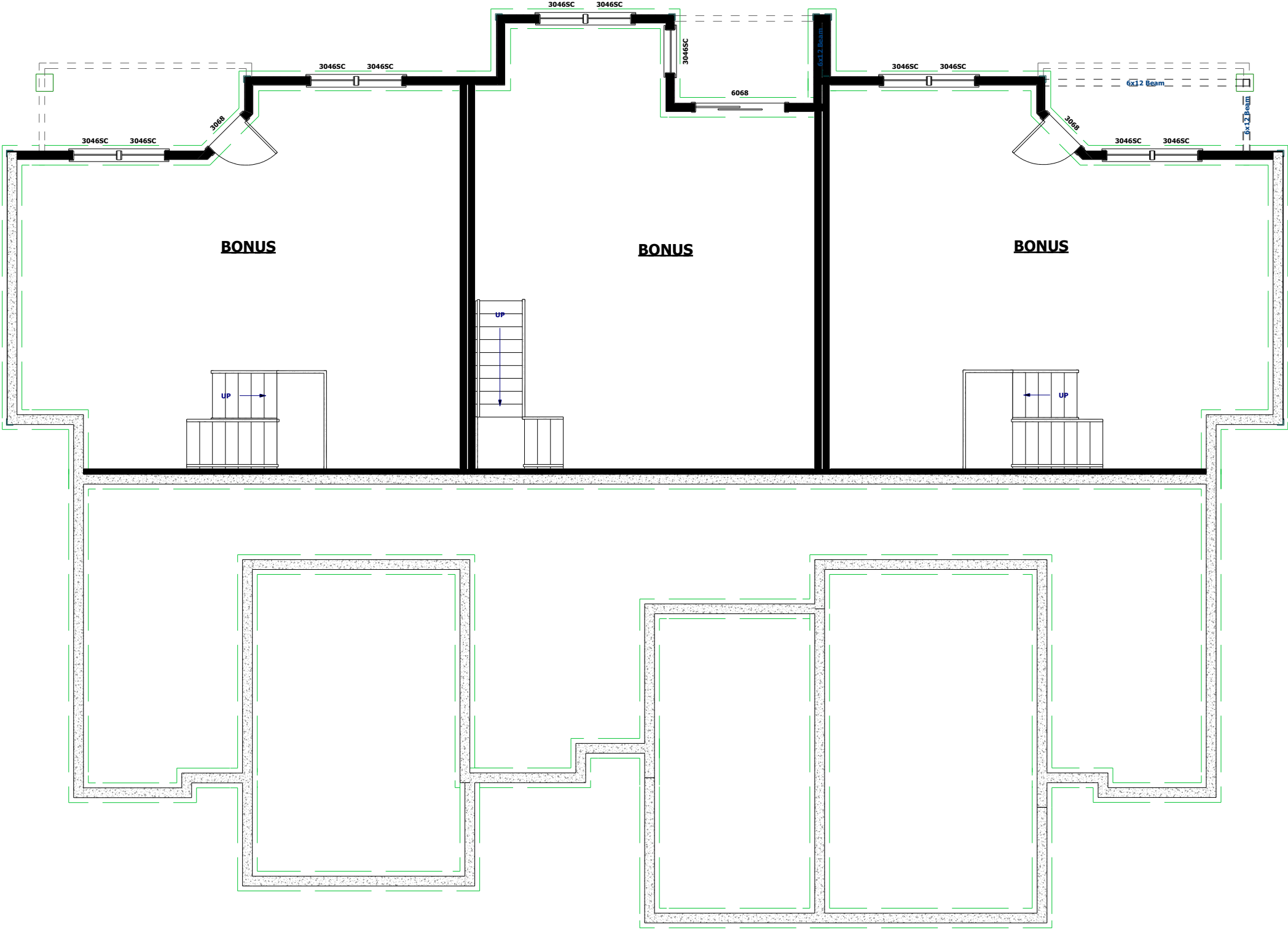










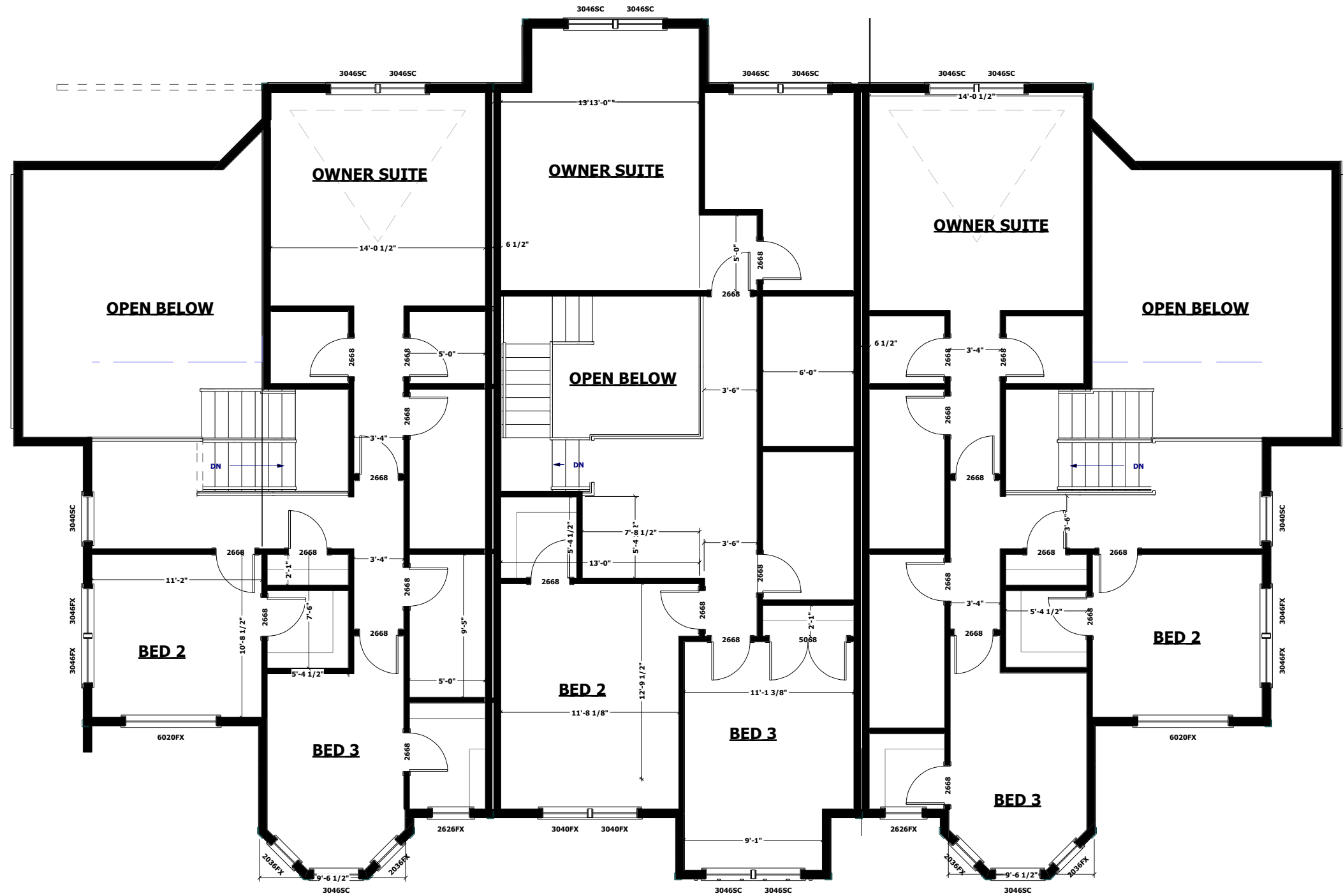


42°-10'-51"
r=413'
10' STORMWATER EASEMENT

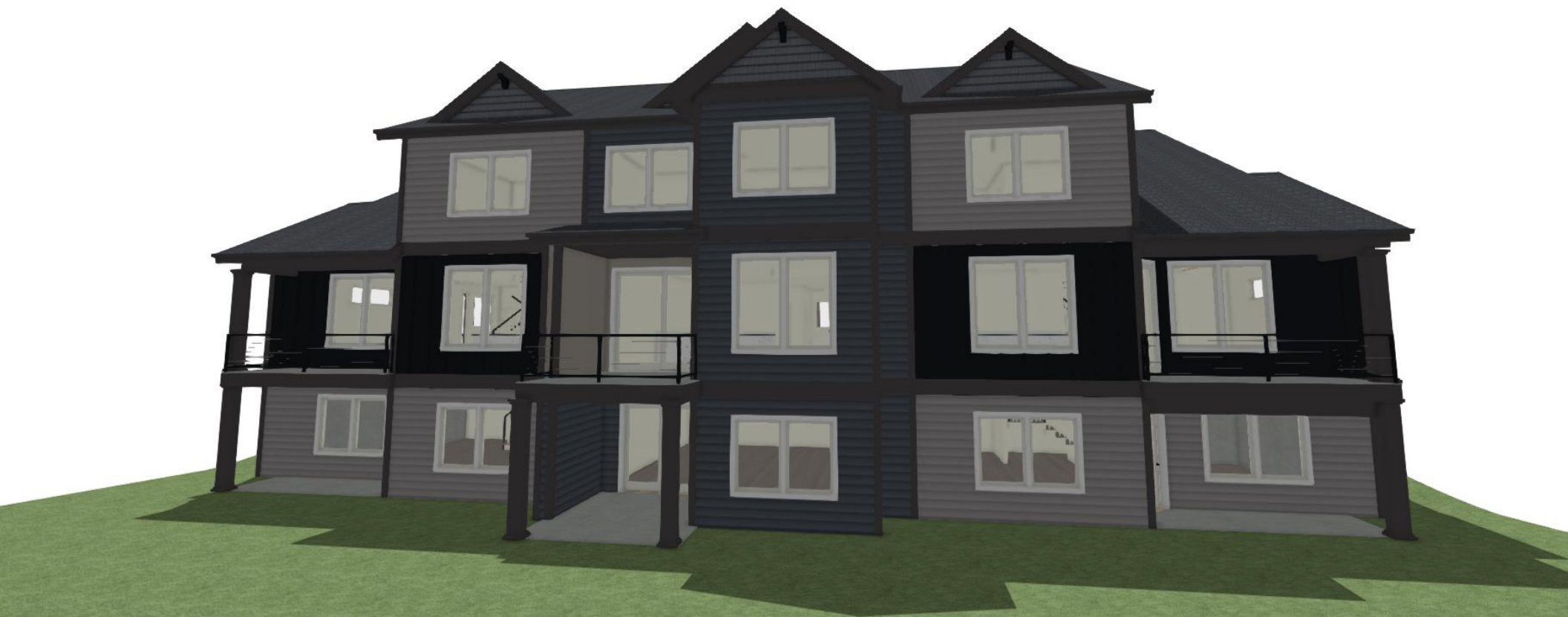
100'-8 3/16"
37° 58' 30"
3'

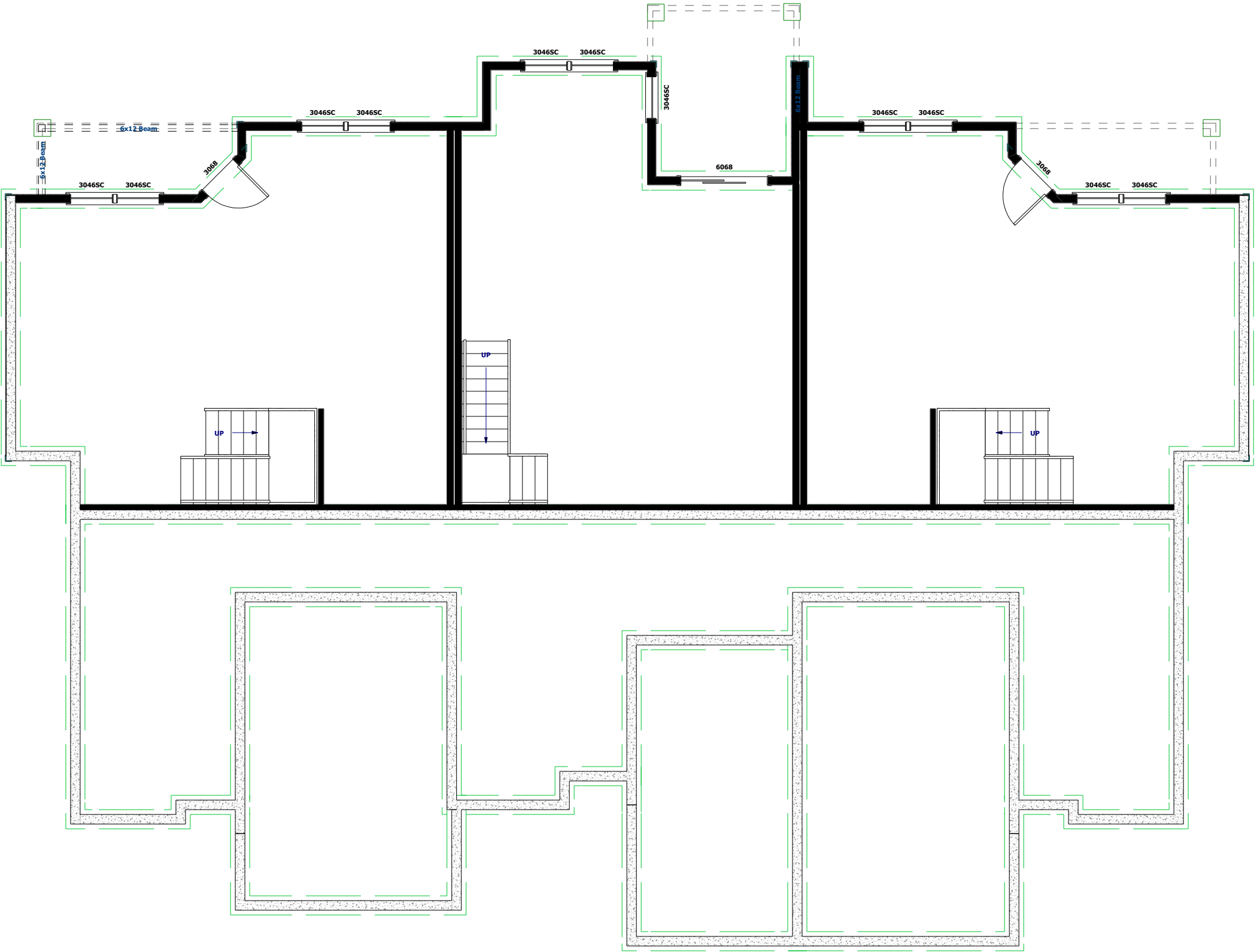


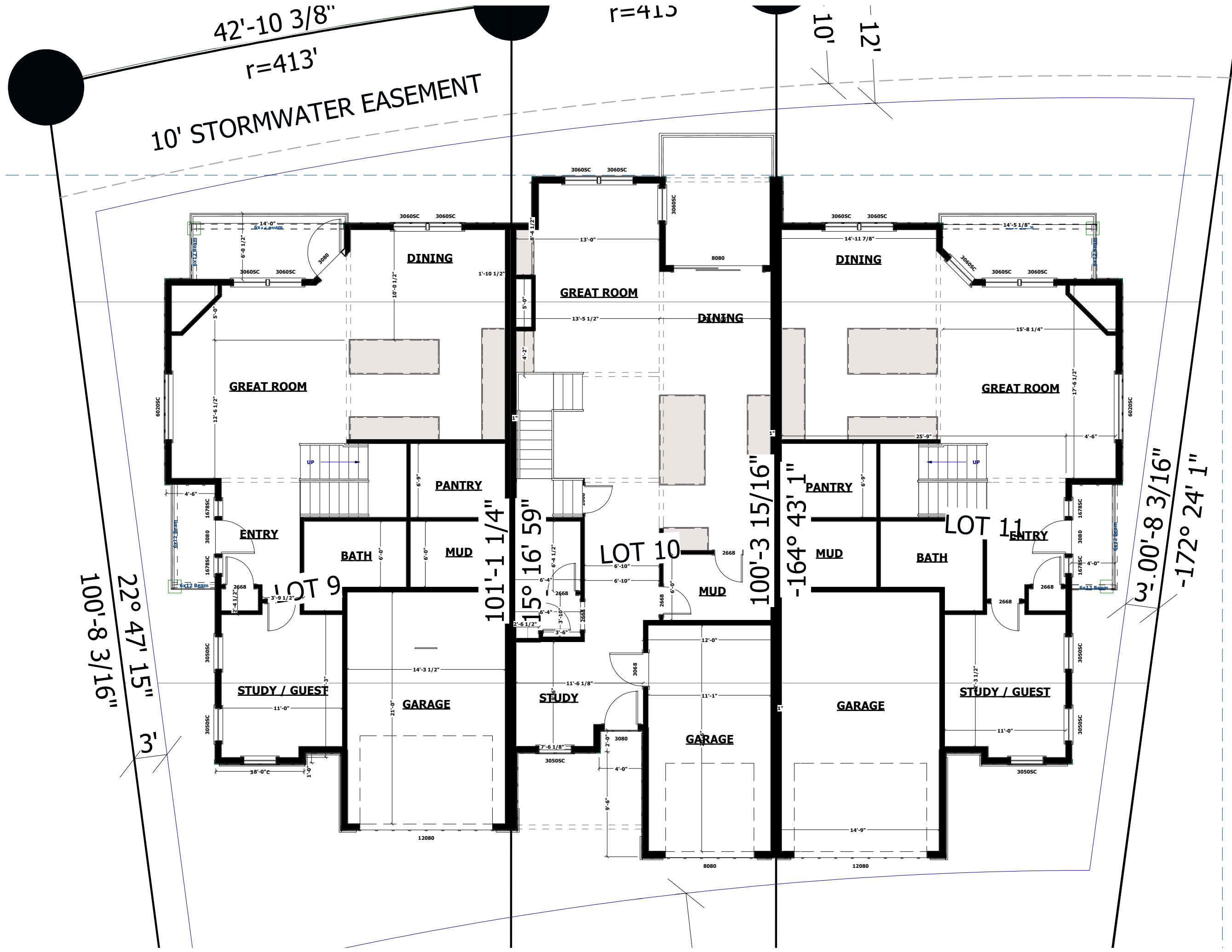
54' 21' 45"
91° 3' 16"
3' 100'-8 3/16"



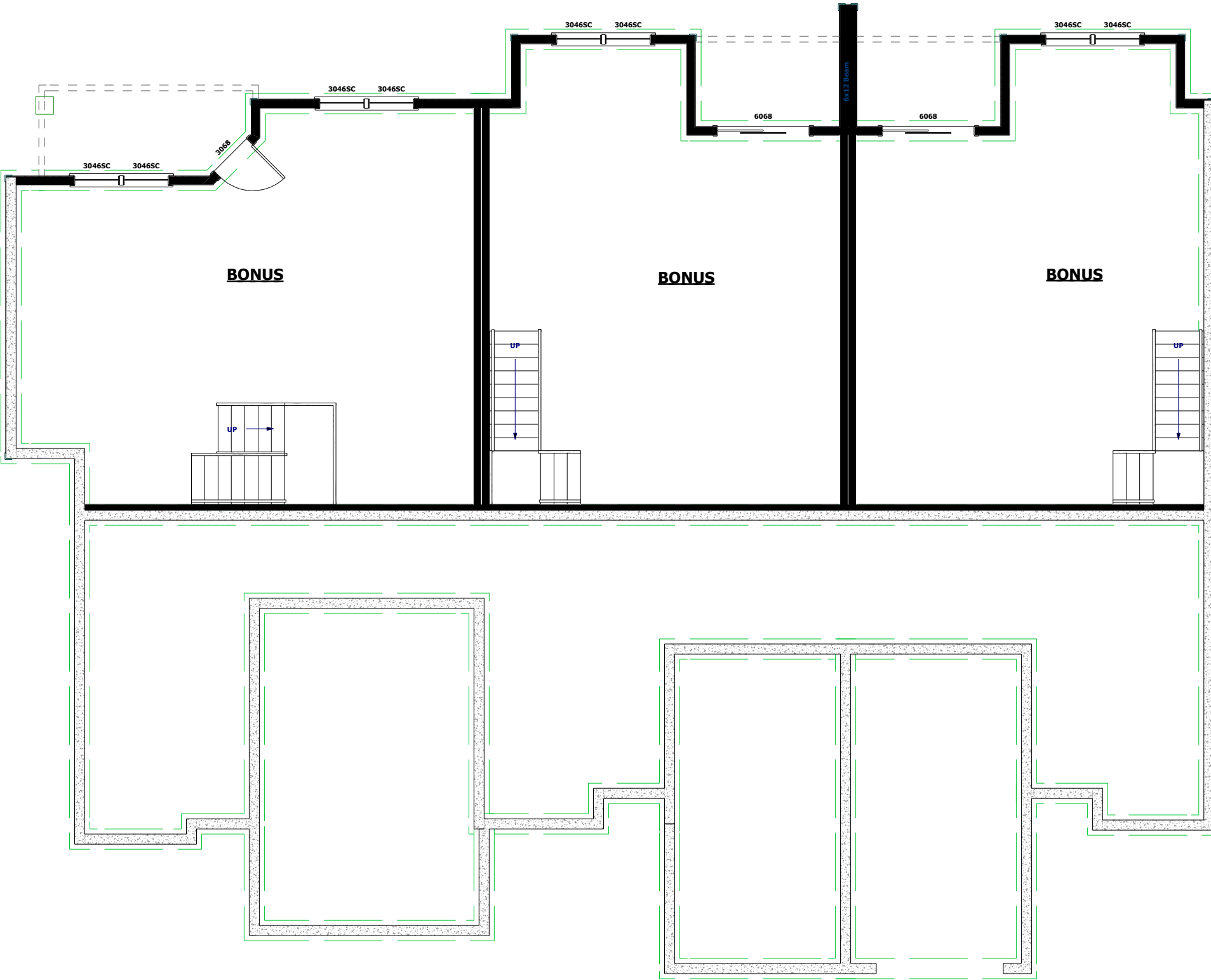


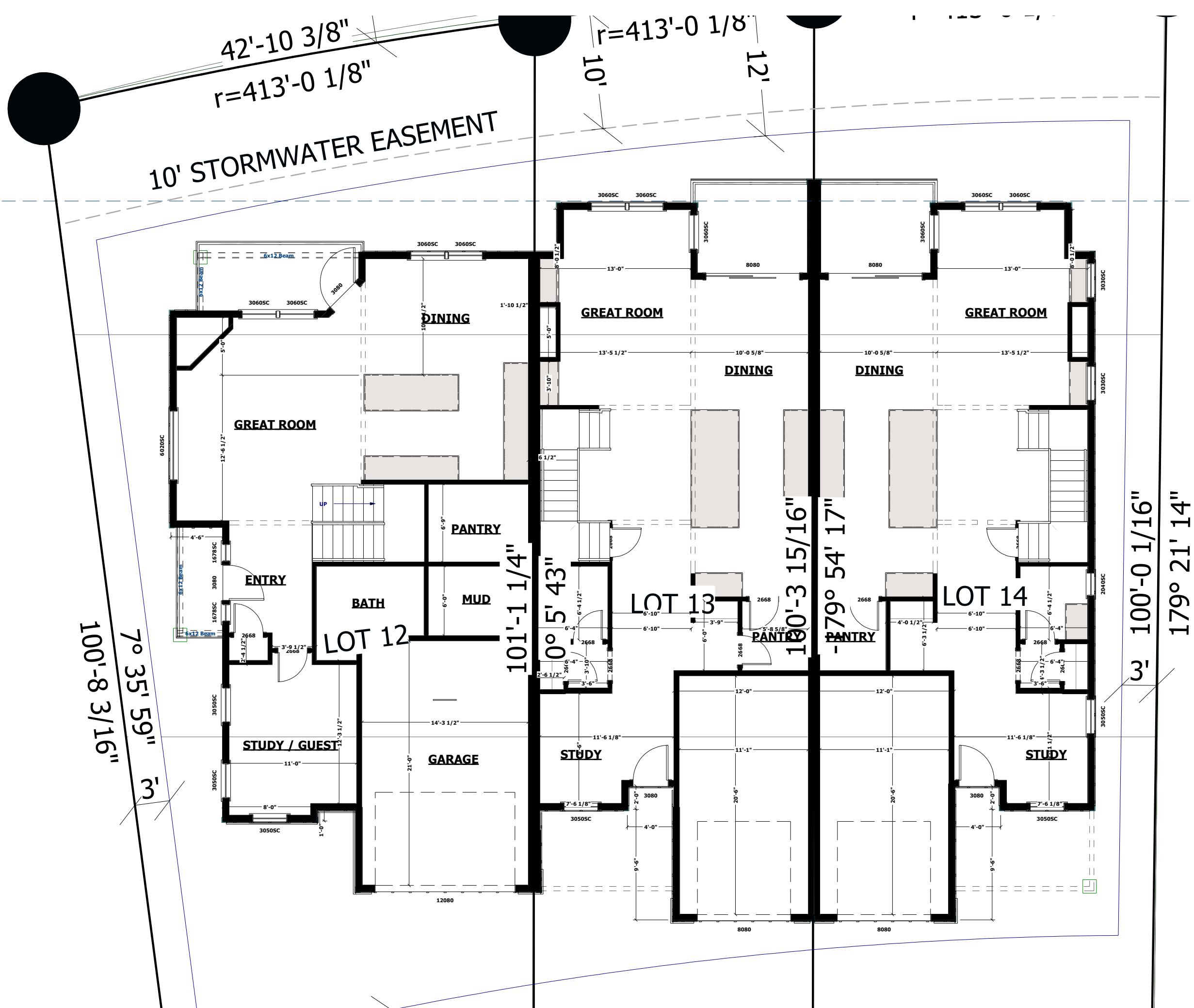














Community Development Department
616 NE Fourth Avenue Camas, WA 98607

Design Review Checklist for The Village at Camas Meadows Ph.1 Townhomes

The purpose of this sheet is to provide a simplified and expedited review of the design review principles and guidelines using objective review standards. The standards are intended as tool for the decision-maker in making findings that the proposal either achieves compliance with the intent of the principles or reasonably mitigates any conflict. When reviewing the check sheet, the proposal should as a whole “comply” with the standards and thus be generally consistent with the overriding principles. [Yes = In Compliance; No = Not In Compliance; NA = Not Applicable]

Standard Principles and Guidelines

ARCHITECTURE				
Yes	No	NA	Principles and Guidelines	Comments
			Corrugated materials, standing seam, T-1 11, or similar siding materials are avoided unless it produces a high visual (or aesthetic) quality.	
			Buildings walls or fences visible from roadways are articulated in order to avoid a blank look.	
			The use of bold colors has been avoided unless used as minor accents.	
			Higher density/larger structures abutting lower density residential structures have been designed to mitigate size and scale differences.	
LANDSCAPING AND SCREENING				
Yes	No	NA	Principles and Guidelines	Comments
			Vegetation for landscaping includes native, low maintenance plantings. Significant trees are retained if feasible.	
			Trees planted along streetscapes with overhead power lines include only those trees identified on the City's Tree list.	
			Landscaping, including trees, shrubs, and vegetative groundcover, is provided to visually screen and buffer	

DESIGN REVIEW CHECKLIST

			the use from adjoining less intense uses including parking.	
			Proposed fencing is incorporated into the landscaping so as to have little or no visual impact.	
			Signs located on buildings or incorporated into the landscaping are unobtrusive and vandal resistant. If illuminated they are front lit.	
			Landscape lighting - low voltage, non-glare, indirect lighting is directed, hooded or shielded away from neighboring properties.	
			Street lighting (poles, lamps) is substantially similar or architecturally more significant than other street lighting existing on the same street and do not conflict with any City approved street lighting plans for the street.	
			Parking and building lighting is directed away from surrounding properties through the use of hooding, shielding, siting and/or landscaping.	
			Outdoor furniture samples are consistent with the overall project design.	
			Existing trees over 6" dbh that are not required to be removed to accommodate the proposed development are retained and incorporated into the landscape plan.	
			Rock outcroppings, forested areas and water bodies are retained.	
HISTORIC AND HERITAGE PRESERVATION				
Yes	No	NA	Principles and Guidelines	Comments
			The use of Historic Markers, information kiosks, project names, architectural features, or other elements of the project promote the historic heritage of the site or surrounding area.	

DESIGN REVIEW CHECKLIST

Specific Principles and Guidelines

MULTI-FAMILY				
Yes	No	NA	Principles and Guidelines	Comments
1. TOWNHOMES AND ROWHOUSES				
			All on-site parking areas (excluding driveways & garages) are screened with landscaping. Width of driveway is minimized and front yard landscaping is maximized.	
			Buildings are brought up to the road to help define traffic/pedestrian movements.	
			Structures abutting or located in single family residentially zoned areas are designed to mitigate size and scale differences when appropriate.	
			Walls are articulated in order to avoid a blank look and provide a sense of scale including a minimum solid to void ratio of 70%/30%.	
			Detachable garages are located to the rear of the townhouse or rowhouse unit(s) so as not to be directly viewable from a public street.	
			Attached garages account for less than 50% of the front face of the structure (as measured by lineal footage).	
			Garages visible from the street are articulated by architectural features, such as windows, to avoid a blank look.	
			Green belts are used to separate different uses whenever possible.	
			Vertical intensity of landscaping increases as the height of the structure increases.	
2. DUPLEX, TRIPLEX & FOUR-PLEX				
			Corner lots are preferred, and include fronts oriented to the street (In other words, each unit faces a street).	

DESIGN REVIEW CHECKLIST

			Attached garages account for less than 50% of the front face of the structure (as measured by lineal footage).	
			Garages visible from the street are articulated by architectural features, such as windows, to avoid a blank look.	
			Buildings provide a complementary façade that faces the public right of way, and is the primary entrance to a unit or multiple units, unless impracticable.	