DESIGN REVIEW COMMITTEE MEETING AGENDA
Wednesday, June 27, 2018, 5:00 PM
City Hall, 616 NE 4th Avenue

I. CALL TO ORDER

II. ROLL CALL / INTRODUCTIONS

III. MEETING ITEMS

A. Design Review for Union Self Storage Facility (DR18-06)
Details: The applicant proposes to construct a 2-3 story 60,100 square foot mini self-storage facility, which includes RV storage and an office/caretaker's residence in the Community Commercial (CC) zoning district. The Design Review Committee (DRC) provides a recommendation to the decision maker that includes consideration of the general design review standards of the Camas Municipal Code (CMC) Chapter 18.19 Design Review and the Camas Design Review Manual (DRM).
Presenter: Lauren Hollenbeck, Senior Planner
Recommended Action: The Design Review Committee (DRC) reviews the submitted materials, deliberates and forwards a recommendation to the Director for a final decision.

Staff Report for Union Self Storage

Design Review Checklist

Exhibit 1_Applicant's Narrative

Exhibit 2_Existing Conditions Map

Exhibit 3_Site Plan

Exhibit 4_Landscape Plan

Exhibit 5_Building Elevations

Exhibit 6_Union Self Storage Notice of Decision (CUP17-03)

B. Design Review for Camas 6th and Birch Mixed Use Buildings (DR18-05)
Details: The applicant proposed to construct two commercial / residential mixed use buildings in the Downtown Commercial (DC) zoning district. The Design Review Committee (DRC) provides a recommendation to the decision maker that includes consideration of the general design review standards of the Camas Municipal Code (CMC) Chapter 18.19 Design Review and the Camas Design Review Manual (DRM).
Presenter: Lauren Hollenbeck, Senior Planner
Recommended Action: The Design Review Committee (DRC) reviews the submitted materials, deliberates, and forwards a recommendation to the Director for a final decision.

Staff Report for 6th and Birch Mixed Use Project

Exhibit 1_Checklist for Downtown Design Review

Exhibit 2_Applicant's Narrative

Exhibit 3_Vicinity Map

Exhibit 4_Existing Conditions map

Exhibit 5_Site Plan

Exhibit 6_Lighting Plan

Exhibit 7_Landscape Plan

Exhibit 8_Building A_Elevations and Floor Plans

Exhibit 9_Building B Elevations and Floor Plans

Exhibit 10_6th Avenue Elevation

Exhibit 11_Downtown Design Manual

IV. ADJOURNMENT

NOTE: The City of Camas welcomes and encourages the participation of all of its citizens in the public meeting process. A special effort will be made to ensure that persons with special needs have opportunities to participate. For more information, please call the City Clerk's Office at 360.817.1591.

Community Development Department
616 NE Fourth Avenue
Camas, WA 98607
(360) 817-1568

STAFF REPORT
Design Review Application for Union Self Storage Facility
City File No. DR18-06
Related files: (CUP17-03, SPRV17-05, SEPA17-09, ARCH17-04, CA17-04)

TO: Design Review Committee

FROM: Lauren Hollenbeck, Senior Planner

APPLICANT/OWNER: Union Storage, LLC; Tom Strassenberg

LOCATION: 6250 NW Friberg-Strunk
Camas, WA 98607
Parcel number 176190000

APPLICABLE LAW: The application was submitted on May 4, 2018. The applicable codes are those codes that were in effect at the date of application. Camas Municipal Code Chapters (CMC): Title 18 Zoning (not exclusively): CMC Chapter 17.21 Procedures for Public Improvements; CMC Chapter 18.19 Design Review; Camas Design Review Manual (2016); and CMC Chapter 18.55 Administration and Procedures; and RCW 58.17.

BACKGROUND:

The project application received Conditional Use Permit (CUP17-03) approval and other approvals from the Hearings Examiner on December 18, 2017. The Final Order issued by the Hearings Examiner included a condition of approval that required the applicant to receive Design Review approval prior to final engineering plan approval.

The applicant is currently seeking design review approval for the construction of a 2-3 story 60,100 square foot multi-story mini self-storage facility, which includes RV storage and an office/caretaker's residence, on approximately 3.62 acres of Community Commercial (CC) zoned property. The site fronts NW Friberg-Strunk Street. Vehicular access to the building is provided off of B Street, via a one-way drive aisle thru the site that exits onto NW Friberg-Strunk Street at the southern end of the site. The majority of the landscaping is focused along the site's street frontages.

The project area is bordered on the north by vacant land, to the east by a wetland, to the south by a utility substation, and to the west by Friberg-Strunk Street. Property to the west and across Friberg-Strunk Street is a public high school, which is located in the city limits of Vancouver.

PURPOSE:

Design Review is required under CMC Chapter 18.19. Design review is not intended to determine the appropriate use on a parcel but rather review a proposed development for compliance with City codes and plans related to landscaping, architectural elevations and other elements relative to required improvements. The recommendations from the Design Review Committee (DRC) must consider the general design review standards (CMC Chapter 18.19.050.A and the Camas Design Review Manual

"DRM" pages 4-7), along with the the specific standards for commercial and mixed-uses (CMC Chapter 18.19.050.B.2 and the DRM pages 13-15); which are included in the enclosed Design Review Checklist.

STANDARD AND COMMERCIAL & MIXED USES DESIGN PRINCIPLES AND GUIDELINES:

The standard and commercial & mixed use principles are required and must be demonstrated to have been satisfied in overall intent for design review approval. The standard design guidelines are developed to assist a project in meeting the established principles and each guideline should be adequately addressed. If the proposal cannot meet a specific guideline, then an explanation should be provided by the applicant as to why and how it will be mitigated to satisfy the intent of the design principles. The development guidelines include five major categories: 1) Landscaping and Screening, 2) Architecture, 3) Massing and Setbacks, 4) Historic & Heritage Preservation, and 5) Circulation and Connections. **The Design Review Checklist is enclosed to help guide the DRC in reviewing the standard applicable specific design review principles and guidelines.**

RECOMMENDATION:

That the Design Review Committee reviews the submitted materials, deliberates, and forwards a recommendation to the Director for a final decision.

Community Development Department
616 NE Fourth Avenue
Camas, WA 98607

Design Review Checklist- Union Self-Storage Facility

The purpose of this sheet is to provide a simplified and expedited review of the design review principles and guidelines using objective review standards. The standards are intended as tool for the decision-maker in making findings that the proposal either achieves compliance with the intent of the principles or reasonably mitigates any conflict. When reviewing the check sheet, the proposal should as a whole "comply" with the standards and thus be generally consistent with the overriding principles. [Yes = In Compliance; No = Not In Compliance; NA = Not Applicable]

Standard Principles and Guidelines

ARCHITECTURE				
Yes	**No**	**NA**	**Principles and Guidelines**	**Comments**
			Corrugated materials, standing seam, T-1 11, or similar siding materials are avoided unless it produces a high visual (or aesthetic) quality.	
			Buildings walls or fences visible from roadways are articulated in order to avoid a blank look.	
			The use of bold colors has been avoided unless used as minor accents.	
			Higher density/larger structures abutting lower density residential structures have been designed to mitigate size and scale differences.	
LANDSCAPING AND SCREENING				
Yes	**No**	**NA**	**Principles and Guidelines**	**Comments**
			Vegetation for landscaping includes native, low maintenance plantings. Significant trees are retained if feasible.	
			Trees planted along streetscapes with overhead power lines include only those trees identified on the City's Tree list.	
			Landscaping, including trees, shrubs, and vegetative groundcover, is provided to visually screen and buffer	

			the use from adjoining less intense uses including parking.	
			Proposed fencing is incorporated into the landscaping so as to have little or no visual impact.	
			Signs located on buildings or incorporated into the landscaping are unobtrusive and vandal resistant. If illuminated they are front lit.	
			Landscape lighting - low voltage, non-glare, indirect lighting is directed, hooded or shielded away from neighboring properties.	
			Street lighting (poles, lamps) is substantially similar or architecturally more significant than other street lighting existing on the same street and do not conflict with any City approved street lighting plans for the street.	
			Parking and building lighting is directed away from surrounding properties through the use of hooding, shielding, siting and/or landscaping.	
			Outdoor furniture samples are consistent with the overall project design.	
			Existing trees over 6” dbh that are not required to be removed to accommodate the proposed development are retained and incorporated into the landscape plan.	
			Rock outcropping’s, forested areas and water bodies are retained.	
HISTORIC AND HERITAGE PRESERVATION				
Yes	**No**	**NA**	**Principles and Guidelines**	**Comments**
			The use of Historic Markers, information kiosks, project names, architectural features, or other elements of the project promote the historic heritage of the site or surrounding area.	

DESIGN REVIEW CHECKLIST

Specific Principles and Guidelines

COMMERCIAL & MIXED USES				
ARCHITECTURE				
Yes	**No**	**NA**	**Principles and Guidelines**	**Comments**
			Office and retail buildings provide a minimum solid to void ratio of 60%/40%	
			The development is built with a residential feel (i.e. size, scale, and materials compatible with neighboring buildings) if surrounded by residential areas or adjacent to residentially zoned properties.	
			Buildings over two stories have the third story and above offset from the first two stories, if surrounding developments are less than three stories or land use designations on adjacent zones do not allow more than three story development.	
LANDSCAPING & SCREENING				
Yes	**No**	**NA**	**Principles and Guidelines**	**Comments**
			Intersections are illuminated, but not dominated by lighting. Lighting is incorporated into the landscape and illuminates the quality of the natural environment. Street light poles and lamps are compatible with other nearby lighting on the same street.	
			Parking spaces are clustered in small groupings and separated by landscaping to create a pedestrian friendly, park like environment.	
STREETSCAPE				
Yes	**No**	**NA**	**Principles and Guidelines**	**Comments**
			On-site parking areas are located to the interior of the development unless site development proved prohibitive.	
			Parking areas are screened with landscaping.	
			Buildings are placed close to streets and roads unless site constraints made it impossible or characteristics of the surrounding properties already developed made it	

			incompatible. Otherwise, retail frontage setbacks do not exceed 25 feet from back of curb.	
			Window and door placement provides a high degree of transparency at the lower levels of the building and maximize visibility of pedestrian active uses.	
			Each use/activity in a development containing multiple uses/activities is integrated in a manner that achieves a seamless appearance or creates a cohesive development.	
			Watering system will maintain proposed landscaping for a period to ensure that plants are well established.	
			New streets intersecting commercial properties are designed to create a safe environment. “Coving” techniques and “round-a-bouts” were considered for traffic calming when appropriate.	

DESIGN REVIEW NARRATIVE

General Description

The applicant, Union Storage, LLC, requests design review approval for construction of a mini-storage building including an office/caretaker's residence on Parcel#176190-000 which is approximately 3.62 acres in the Community Commercial (CC) zone. The building will vary between two to three stories as noted on the plans. Construction of the project would take place upon approval and procurement of all applicable reviews and permits.

A conditional use permit and design review approval were previously approved on this site for a similar mini-storage building. However, the project was delayed due to the economy and the approvals expired. In December 2017, the current proposal was approved for a conditional use permit by the Hearings Examiner. A copy of the Hearings Examiner Final Order is included in the application.

In the current plans, the project includes approximately 446 storage units and an office/caretaker's residence. These numbers are preliminary and subject to the final building permit submittal. Please refer to the plans and conceptual building elevations included in this application for more information on the proposed building layout and improvements. These plans illustrate how the proposed development meets the design principles.

<u>Compliance with CMC 18.19 Design Review</u>

Design review is required for all new development within commercial zones. Standard principles apply to all commercial uses. Specific Principles are used in additional to the standard principles for gateways and corridors and specific uses. The standard principles and the specific principles for commercial developments are addressed in the following narrative. The project does not front on any roadways classified as gateways or corridors so those principles do not apply to this proposal.

Union Self-Storage has been carefully and thoughtfully designed to not only be code compliant, but more importantly, to create a storage place that is integrated into the existing natural environment. This has been accomplished through a variety of design features including building orientation and design, architectural features, retention and enhancement of critical areas, integration of stormwater management, landscaping, and vehicular and pedestrian connectivity as shown on the plans.

<u>Compliance with Camas Design Review Manual</u>

Landscaping and Screening

Approximately two thirds of the overall 3.62 acre project site will be landscaped with either groundcover, shrubs, or trees. Refer to the landscape plans included in this application for the approximate size and location of landscaping on the project site.

The eastern approximately 2 acres of the site will include a variety of plantings such as Oregon ash, Black cottonwood, Pacific willow, Sitka willow, Scouler's willow, Red-osier dogwood, Twinberry, and Nootka rose based on the current plans. This portion of the site also includes natural wetland areas which have been integrated into the overall site plan as open space areas. Refer to Sheet B-5 in the Critical Areas Report dated November 6, 2017 prepared by Cascadia Ecological Services, Inc. for more information on the planting plans for this area.

Approximately 28 feet of the western portion of the site will also be landscaped with a variety of plantings such as Bowhall Maple, Isanti dogwood, Maiden grass, Oregon grape, Barberry, Sarcococca, Bearberry Cotoneaster, and lawn. Additional landscaping is proposed in the parking area, along NW Dwyer Creek Drive, and in the stormwater bioretention facilities. There are several existing street trees along the frontage of NW Friberg-Strunk Street which will be retained to the extent feasible with the proposed development. All proposed trees in areas with overhead power lines are trees from the City's approved tree list. Refer to the Final Landscape Plan prepared by Olson Engineering, Inc. for more information on plantings in these areas and existing trees to be retained.

If any landscape lighting is included in the final plans it will be low voltage, non-glare and indirect. Street lighting (where required) will comply with the City of Camas requirements. No outdoor furnishings are planned at this time. The project will include gated entries as shown for security purposes and fencing is proposed along the rear/east side of the building. Signage plans have not been developed yet, but the extensive proposed landscaping in the project will soften any potential visual impact of future signage and and/or fencing.

A community information kiosk is encouraged in commercial developments, however, a kiosk is not included in this project as it is not appropriate for the proposed self-storage use.

Overall, the design of the proposed Union Self Storage development allows for an aesthetically pleasing frontage along the NW Friberg-Strunk streetscape. These landscaped areas will visually screen and minimize any potential impact to adjacent properties and uses. The proposed landscaping meets the intent and exceeds the requirements of this design principle.

Architecture

The site plan was designed to preserve significant onsite natural features including critical areas to the extent possible. During the design phase, several steps were taken by the design team to avoid, reduce, and mitigate impacts to the onsite wetlands. In order to avoid or reduce wetland impacts on this site, alternate site plan designs were implemented for this property. A typical site plan for a mini-storage building on a similar unencumbered site would be a series of one-story buildings connected by internal drive aisles. In order to reduce impacts to onsite natural features on this site, the applicant is proposing a multi-story storage building. By increasing the height of the building vertically, the footprint was reduced horizontally to reduce wetland impacts.

The site plan was also configured to concentrate development on the western portion of the site with the majority of the eastern portion of the site to remain as open space/wetland area. This limits

the proposed impacts to onsite natural features including wetland areas as shown on the project plans.

The proposed building will include varied textures and colors, varied openings, differentiated eave and parapet heights, and articulation of the west façade through its stepping in and out to provide interest and human scale to the project.

The Union Self Storage building is architecturally designed with two, three-story solid red metal boxes linked via a slightly lower three-story cream and silver linear metal bar. The northern box has its northwest corner eroded away and replaced with cream metal to harmonize with the bar and solar bronze glass panels to provide views into the office on the lower floor, and views into the halls of the storage areas on the upper floors. The southern box has its southwest corner eroded away and replaced with cream metal to harmonize with the bar and solar bronze glass panels to provide views into the stairway on all three floors.

The western façade of the bar section of the building has two stair towers each set about 30 feet from each box and wrapped in red metal to provide a visual connection to the two boxes. The stair towers extend above the eave line of the bar to break up the linear façade and to create an image of strength and security. The vehicle exit on the first floor is located to the south of the southern stair tower and recessed high windows are included on the first floor north of the northern stair tower.

High windows are proposed on the first floor in the middle section of the bar to provide street interest and natural light into the storage units while still providing privacy and security. The second floor of the bar includes a 60 foot bay of punched windows allowing views into and out of the adjacent hall. The third floor windows mimic the locations of the first floor, but allow views into and out of the adjacent hall.

In addition to the recessed, flush, and bay windows of the bar, the stair towers, and the eroded corners of the boxes, other items that are used to provide interest along the street façade include an overhanging eave on the bar played off against the parapets of the boxes and the stair towers, a sun shade that runs the full length of the bar at the second floor level, and a sun shades that wrap the eroded corner of the north box at the third floor level.

Materially, the boxes will be wrapped with horizontal red (Colonial or Mission Red) metal siding, except at the eroded corners where there will be ribbon style windows and horizontal cream (Sierra Tan or Concord Cream) metal siding. The bar will have vertical silver/gray siding (Gavalume or Zinc) except for the third floor which will be the horizontal cream metal siding. The bars windows to the outside of each tower north and south will be ribbon style, while the windows between the two stair towers will be punched opening style.

Both ribbon and punched openings are proposed for variety on the façade and the windows will allow views into activity areas of the building. Varied textures and colors, varied openings, differentiated eave and parapet heights, and articulation of the west façade will provide a variety of scale to the project.

Overall, the design of the proposed Union Self Storage building meets the intent of the architectural design principle and far exceeds the look of a standard self-storage building.

Massing and Setbacks

The Applicant is proposing a cohesive yet interesting building through the use of texture, color and massing. Per the design manual, buildings should be placed as close to street and roads as the zoning code allows before being set back to the interior or rear of the lot, unless site construction make it impossible or characteristics of surrounding properties already developed make it incompatible. The west façade of the building has been set as close to the zoning setback as possible and practicable. From there it steps back and forth to create articulation of the façade.

Varied textures and colors, varied openings, differentiated eave and parapet heights, and articulation of the west façade through its stepping in and out will provide interest and human scale to the project. Due to wetlands on the site, the parking is placed to the north of the building, yet will be screened by plants and the natural fall of the site's grade. Vehicle loading and unloading for the self-storage users will take place on the east side of the building mostly hidden from street view.

Historic and Heritage Preservation

The name of the project, Union Self Storage, celebrates the history and heritage of the area. The original Union High School was founded in the area in 1910.

Circulation and Connections

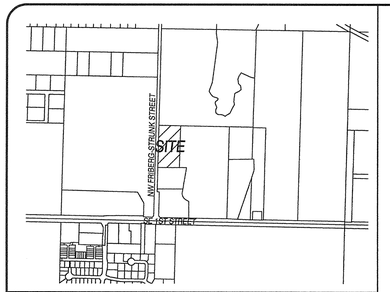
There are existing sidewalks along NW Friberg-Strunk Street for pedestrian connections. New sidewalks are proposed with the construction of NW Dwyer Creek Drive along the site's northerly frontage as shown on the plans. Planting strips separate vehicular and pedestrian movements and provide a secure and pedestrian friendly environment. Vehicular circulation is proposed via a one-way access drive aisle through the storage building as shown on the plans. The main public entrance to the office is oriented towards NW Dwyer Creek Drive as shown on the plans. As discussed previously, extensive landscaping is proposed with this project as shown on the Final Landscape Plan which will define the streetscape.

Commercial Principles

Refer to the prior sections of this narrative for additional information on landscaping and screening, architecture, massing and setbacks, historic and heritage preservation, and circulation and connections.

Conclusion

As discussed in this narrative and shown on the proposed plans, the proposed Union Self Storage project has a quality design and has addressed the design review criteria. This has been accomplished through a variety of design features including building orientation and design, architectural features, retention and enhancement of critical areas, integration of stormwater management, landscaping, and vehicular and pedestrian connectivity. Overall, this project meets the goals of design review and therefore should receive design review approval.



VICINITY MAP SEC. 29 T2N R3E W.M.
NTS

EXISTING CONDITIONS NOTES

EXISTING SITE DATA:

PRESENT USE:	VACANT AND UNUSED
EXISTING ZONING:	COMMUNITY COMMERCIAL (CC)
GROSS SITE AREA:	PARCEL 176190000 IS 3.62 ACRES ACCORDING TO SURVEY BY OLSON ENGINEERING, INC.

EXISTING IMPROVEMENTS NOTES:

EXISTING STRUCTURES:	NONE
EXISTING DRIVEWAYS:	AS SHOWN
EXISTING EASEMENTS:	AS SHOWN

ENVIRONMENTAL & SIGNIFICANT NATURAL CONDITIONS NOTES:

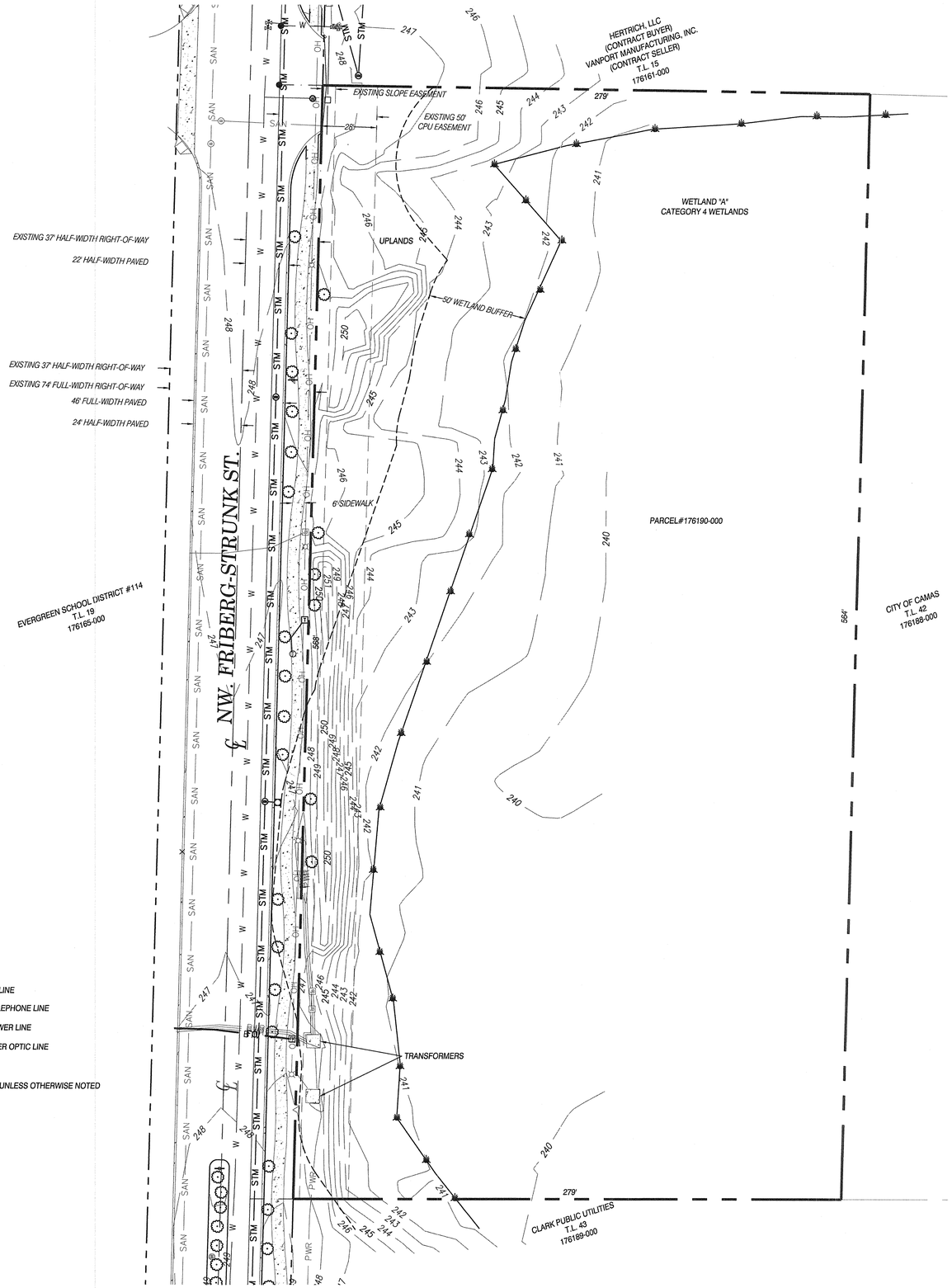
TOPOGRAPHY:	AS SHOWN
WATERCOURSES AND DRAINAGE PATTERNS:	NO MAPPING INDICATORS
100 YEAR FLOODPLAIN:	NO MAPPING INDICATORS
DESIGNATED SHORELINES AREAS:	NO MAPPING INDICATORS
WATER BODIES AND KNOWN WETLANDS:	AS SHOWN
WETLAND DELINEATION:	AS SHOWN
UNSTABLE GROUND, LANDSLIDE HAZARD AREAS & AREAS HAVING SEVERE EROSION POTENTIAL:	NO MAPPING INDICATORS
AREAS HAVING WEAK FOUNDATIONAL SOILS:	NO MAPPING INDICATORS
SLOPES EXCEEDING 15%:	NONE
SIGNIFICANT VEGETATION OR WILDLIFE HABITAT:	NO MAPPING INDICATORS
SIGNIFICANT HISTORIC, CULTURAL OR ARCHAEOLOGICAL RESOURCES:	NONE KNOWN

NOTES:

THE SITE ADDRESS IS: 6250 NW FRIBERG-STRUNK STREET, CAMAS, WA 98607.
THE WETLANDS SHOWN ON THIS SURVEY WERE DELINEATED BY CASCADIA ECOLOGICAL SERVICES, INC. DURING JUNE 2016. REFER TO THE WETLAND DELINEATION REPORT BY CASCADIA ECOLOGICAL SERVICES, INC. DATED JUNE 14, 2016. FOR MORE INFORMATION ON WETLANDS AND BUFFERS.
THE LOCATION OF EXISTING UTILITY FACILITIES HAS NOT BEEN RESEARCHED. UNDERGROUND UTILITIES SHOWN HEREON ARE FROM TIES TO UTILITY PAINT MARKS MADE IN RESPONSE TO "ONE-CALL CONCEPTS" UTILITY NOTIFICATION TICKET NO. 16189924. THE SURVEYOR ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THE DELINEATION OF SUCH UNDERGROUND UTILITIES BY THE RESPECTIVE UTILITY OWNERS, NOR THE EXISTENCE OF BURIED OBJECTS WHICH ARE NOT SHOWN ON THIS PLAN.
THIS SURVEY REFLECTS INFORMATION SHOWN ON ALTA COMMITMENT FOR TITLE INSURANCE ISSUED BY FIDELITY NATIONAL TITLE COMPANY, ORDER NO: 612836814, DATED APRIL 21, 2016 AT 8:00 AM.
FIELD WORK BY OLSON ENGINEERING, INC. FOR THIS SURVEY WAS PERFORMED IN JUNE 2016.

LEGEND

	LINES	DESCRIPTION	LINES	DESCRIPTION
POWER POLE		PROPERTY LINE	OH OH	OVERHEAD POWER LINE
GUY ANCHOR		ADJACENT TAX LOT	TEL TEL	UNDERGROUND TELEPHONE LINE
POWER J-BOX		EXISTING EASEMENT	PWR PWR	UNDERGROUND POWER LINE
STORM MANHOLE		RIGHT-OF-WAY	FO FO	UNDERGROUND FIBER OPTIC LINE
(D.W.) STORM DRYWELL	245	CONTOURS		TRANSFORMER
(C.I.) STORM CURB INLET		WETLANDS		2" HORNBEAM TREE UNLESS OTHERWISE NOTED
CLEANOUT		WETLAND BUFFER		
SANITARY AARV MANHOLE	℄	ROAD CENTERLINE		
WATER VALVE	STM STM	STORM SEWER LINE		
WATER METER	SAN SAN	SANITARY SEWER LINE		
WATER BLOW OFF	W W	WATER LINE		
WATER MANHOLE	BTV BTV	UNDERGROUND CABLE TV LINE		
SIGN AS NOTED				
TELEPHONE VAULT				
TELEPHONE RISER				
CABLE/TV RISER				



APPLICANT:
UNION STORAGE, LLC
23801 NE 42ND COURT
RIDGEFIELD, WA 98642
(360) 787-3465
tstrassenberg@msn.com

OWNER:
UNION STORAGE, LLC
200 SE 197TH PLACE
CAMAS, WA 98607

CONTACT:
OLSON ENGINEERING, INC.
ATTN: GAYLE GERKE
222 E. EVERGREEN BLVD.
VANCOUVER, WA 98660
(360) 695-1385
FAX (360) 695-8117
gayleg@olsonengr.com

GRAPHIC SCALE
0 30 60 120
(IN FEET)
1 inch = 30 ft.

FILE: J:\Data\9000\9400\9410\9417\Planning\9417.p.prelim.extg.cond.dwg
PLOT: consultant3.ctb

EXISTING CONDITIONS PLAN AND TREE SURVEY FOR:

UNION SELF-STORAGE

OLSON ENGINEERING INC.
LAND SURVEYORS
ENGINEERS
360-695-1385
503-289-9936
222 E. EVERGREEN BLVD., VANCOUVER, WA 98660

KURT F. STONEX
STATE OF WASHINGTON
26352
REGISTERED
PROFESSIONAL LAND SURVEYOR
3/29/17

CHANGES / REVISIONS

DESCRIPTION:	DATE:

DESIGNED: N/A
DRAWN: JKT,GEG
CHECKED: KFS
DATE: MARCH 2017
SCALE: H: 1" = 30' V:

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UNION SELF-STORAGE
JOB NO. 9417.01.01

SHEET
EX1

VICINITY MAP SEC. 29 T2N R3E W.M.
NTS

SITE PLAN NOTES

EXISTING SITE DATA:

PRESENT USE:	VACANT AND UNUSED
EXISTING ZONING:	COMMUNITY COMMERCIAL (CC)
GROSS SITE AREA:	PARCEL 176190000 IS 3.62 ACRES ACCORDING TO SURVEY BY OLSON ENGINEERING, INC.

PROPOSED SITE DATA:

PROPOSED USE:	MINI-STORAGE BUILDING WITH SELF STORAGE, OFFICE, AND CARETAKER'S RESIDENCE
WETLAND, STREAM, STEEP BANK BUFFER AREAS/PROTECTED AREAS, AND PLANNED ENHANCEMENT AREAS:	AS SHOWN, SEE NOTE #1
PROPOSED PRIVATE ROADS:	NONE PROPOSED
PROPOSED EASEMENTS:	AS SHOWN
PROPOSED ON-SITE ROAD RIGHTS-OF-WAY:	AS SHOWN, REFER TO CIVIL PLANS FOR ROAD SECTIONS
PROPOSED PEDESTRIAN AND BICYCLE FACILITIES:	AS SHOWN
PROPOSED EASEMENTS FOR ACCESS, DRAINAGE, UTILITIES, ETC:	AS SHOWN
PROPOSED VEHICLE PARKING:	AS SHOWN, REFER TO NARRATIVE FOR MORE INFORMATION
PROPOSED BICYCLE PARKING:	NONE PROPOSED
PROPOSED LOADING ZONES:	AS SHOWN
PROPOSED SEPTIC SYSTEMS:	NONE PROPOSED
PROPOSED OPEN SPACE/PARK/RECREATIONAL FEATURES:	AS SHOWN
PROPOSED TRANSIT FACILITIES:	NONE PROPOSED
PROPOSED SIGNS:	NONE PROPOSED AT THIS TIME
PROPOSED LIGHTING:	SEE NOTE #2
PROPOSED LOTS, TRACTS, ETC:	NONE PROPOSED AT THIS TIME
PROPOSED LANDSCAPING	REFER TO FINAL LANDSCAPE PLAN
PROPOSED BUILDINGS:	AS SHOWN
PROPOSED UTILITIES:	SEE NOTE #4

1. REFER TO THE CRITICAL AREAS REPORT DATED NOVEMBER 6, 2017 BY CASCADIA ECOLOGICAL SERVICES, INC. FOR MORE INFORMATION ON WETLANDS, BUFFERS AND PLANNED ENHANCEMENT AREAS.

2. REFER TO STREET LIGHTING PLAN BY CASCADE ELECTRIC FOR MORE INFORMATION ON STREET LIGHTING. EXTERIOR BUILDING LIGHTS SHALL BE SHIELDED AND DIRECTED TO PREVENT OFF-SITE GLARE.

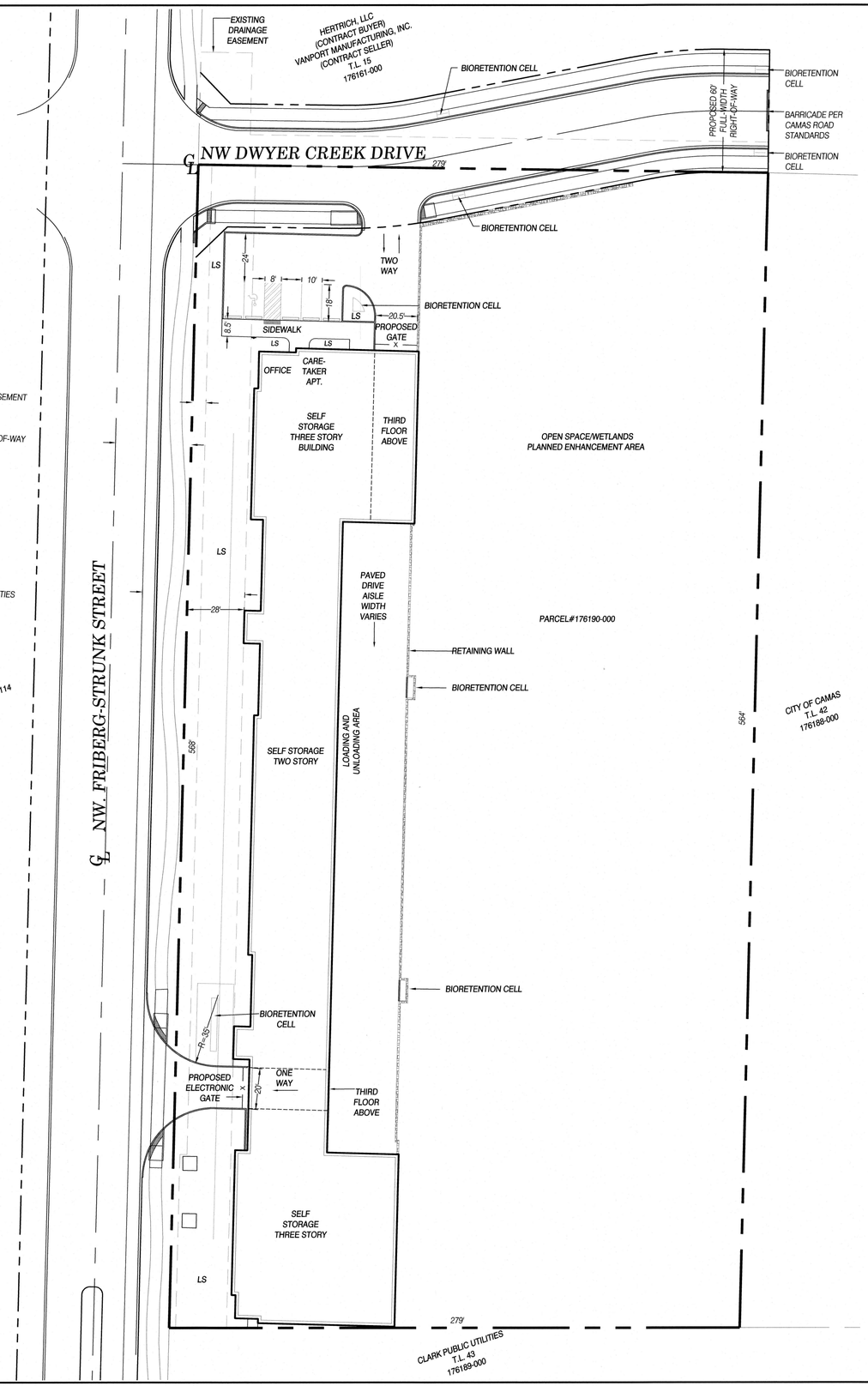
3. IF ANY CULTURAL RESOURCES AND/OR HUMAN REMAINS ARE DISCOVERED IN THE COURSE OF UNDERTAKING THE DEVELOPMENT ACTIVITY, THE DEPARTMENT OF ARCHAEOLOGY AND HISTORIC PRESERVATION IN OLYMPIA SHALL BE NOTIFIED. FAILURE TO COMPLY WITH THESE STATE REQUIREMENTS MAY CONSTITUTE A CLASS C FELONY, SUBJECT TO IMPRISONMENT AND/OR FINES.

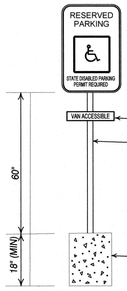
4. REFER TO THE CIVIL ENGINEERING PLANS FOR MORE INFORMATION ON PROPOSED UTILITIES AND PROPOSED BIORETENTION CELLS FOR STORMWATER TREATMENT.

LEGEND

LINES	DESCRIPTION
	PROPOSED BUILDING
℄	ROAD CENTERLINE
	EXISTING EASEMENT
	ADJACENT TAXLOT
	SIDEWALK
x x x	PROPOSED FENCE OR GATE
	ROAD RIGHT-OF-WAY
	PROPERTY LINE
	PARKING LOT CURB
	SIGN
LS	PROPOSED LANDSCAPE

SITE PLAN BASED ON LAYOUT PROVIDED BY PLANNING SOLUTIONS, INC.





1) HANDICAPPED SIGN SHALL BE 70 SQ.IN.(MIN) PORCELAIN ON STEEL.

2) BEADED TEXT OR EQUAL DISPLAYING THE INTERNATIONAL SYMBOL OF ACCESSIBILITY AND TEXT STATING "STATE DISABLED PARKING PERMIT REQUIRED".

3) SIGN PROVIDED BY CONTRACTOR.

VAN PARKING (WHERE REQUIRED)

2" (ID) STANDARD GALVANIZED PIPE

EVERY ACCESSIBLE PARKING SPACE WILL BE IDENTIFIED BY A SIGN, LOCATED AT 60 INCHES TO THE BOTTOM OF THE SIGN ABOVE THE PARKING SURFACE, LOCATED AT THE HEAD OF THE PARKING SPACE. THE SIGN SHALL INCLUDE INTERNATIONAL SYMBOL OF ACCESS AND THE PHRASE "STATE DISABLED PARKING PERMIT REQUIRED". VAN ACCESSIBLE SPACES SHALL HAVE AN ADDITIONAL SIGN IDENTIFYING THE SPACES AS "VAN ACCESSIBLE" WAC 51-20-3107(C).

18" DIAMETER POURED CONCRETE BASE

ADA AISLE WIDTHS SHALL BE 8' FOR VAN ACCESSIBLE AND 5' OTHERWISE. SLOPES SHALL BE LESS THAN 5%. THE INTERNATIONAL SYMBOL USED WITHIN A PARKING SPACE SHALL BE 'WHITE ON BLUE' BACKGROUND. SEE ENGINEERING PLANS FOR RAMP AND SYMBOL DETAILS.

NOT TO SCALE

OWNER AND APPLICANT:
ATTN: KEVIN HOWARD
UNION STORAGE, LLC
14855 SE 82ND DRIVE
CLACKAMAS, OR 97015
(971) 236-9505
(971) 236-9509 FAX
kh@portlandstorage.com
tstrassenberg@msn.com

CONTACT:
OLSON ENGINEERING, INC.
ATTN: GAYLE GERKE
222 E. EVERGREEN BLVD.
VANCOUVER, WA 98660
(360) 695-1385
FAX (360) 695-8117
gayleg@olsonengr.com

GRAPHIC SCALE
0 15 30 60
(IN FEET)
1 inch = 30 ft.

FILE: J:\data\9000\9400\9410\9417\Planning\9417.p.final.siteplan.dwg
PLOT: consultant3.ctb

FINAL SITE PLAN AND CONDITIONAL USE PERMIT PLAN FOR:

UNION SELF-STORAGE

OLSON ENGINEERING INC.
LAND SURVEYORS
ENGINEERS
222 E. EVERGREEN BLVD., VANCOUVER, WA 98660
360-695-1385
503-289-9899

LAURT F. STONEX
STATE OF WASHINGTON
28352
REGISTERED
PROFESSIONAL ENGINEER
5/2/18

CHANGES / REVISIONS

DESCRIPTION:	DATE:

DESIGNED: PLANNING SOLUTIONS, INC.
DRAWN: GEG
CHECKED: KFS
DATE: MAY 2018
SCALE: H: 1" = 30' V:

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UNION SELF-STORAGE
JOB NO. 9417.01.01

SHEET
SP1.0

LANDSCAPE LEGEND

SYMBOL	COMMON NAME	SIZE/COND.	SPACING
TREES			
BM	Bowhall Maple Acer rubrum 'Bowhall'	1.5" CAL.	30' O.C.
SHRUBS			
ERR	English Roseum Rhododendron Rhododendron 'English Roseum'	24"-30"	4' O.C.
ID	Isanti Dogwood Cornus sericea 'Isantii'	24"-30" 3 GAL.	4' O.C.
MEG	Maiden Eulalia Grass Miscanthus sinensis 'Gracillimus'	1 GAL.	4' O.C.
OG	Oregon Grape Mahonia aquifolium	3 GAL.	3' O.C.
RGB	Rose Glow Barberry Berberis thunbergii atropurpurea 'Rose Glow'	24"-30"	4' O.C.
SAR	Sarcococca Sarcococca ruscifolia	3 GAL.	4' O.C.
SF	Sword Fern Polystichum munitum	1 GAL.	3' O.C.
GROUNDCOVER			
	Bearberry Cotoneaster Cotoneaster dammeri	1 GAL.	30" 0.C.
	Fine Seeded/Sod Lawn Oregon Ryegrass Blend		
BIORETENTION FACILITY			
	Common Rush Juncus effusis	PLUGS	24" O.C.
	Compact Oregon Grape Mahonia aquifolium 'Compacta'	1 GAL.	3' O.C.
	Deer Fern Blechnum spicant	1 GAL.	24" O.C.
	Kelsey Dogwood Cornus sericea 'Kelseyi'	1 GAL.	3' O.C.
	Common Rush Juncus effusis	PLUGS	24" O.C.
	Kelsey Dogwood Cornus sericea 'Kelseyi'	1 GAL.	3' O.C.
	Small Fruited Bull Rush Cornus sericea 'Kelseyi'	PLUGS	18" O.C.
	Sword Fern Polystichum munitum	1 GAL.	3' O.C.
	Light		
	Existing Tree		
	Existing landscape area Maintain existing trees, shrubs and groundcovers		
	Bark/Mulch dressing area		

NOTES

1. Installation shall fully comply with all landscape code requirements and any City of Camas conditions of approval.
2. Irrigation shall be provided by a fully automatic underground system design/build by the landscape contractor.
3. All landscaping shall be installed in a sound workman-like manner, and according to accepted good planting procedures with quality plant materials.
4. The owner, or his agent, shall be responsible for the maintenance of all landscaping which shall be maintained in good condition so as to present a healthy, neat, and orderly appearance, and shall be kept free from refuse and debris.
5. All existing vegetation shall be removed from areas to receive construction activities.
6. The proposed stormwater facilities are surface water management features integrated with the landscape.
7. Plants shall be spaced as indicated above unless otherwise shown on the plan. If a discrepancy exists, the plan shall proval.
8. Contractor shall verify species and quantities of all plant material prior to bid.
9. Install jute erosion control fabric on all slopes 2-1/2:1 and greater. Refer to Civil Engineering plans.
10. Prior to installation of topsoil, cross-rip at 18" o.c. or rototill subgrade to an 8"-12" depth.
11. Install minimum 12" depth on-site and/or imported topsoil in all shrub and groundcover planting areas, 6" in lawn areas. Amend topsoil with 2" minimum layer composted yard debris prior to installation of plant material. Imported topsoil shall be a sandy loam topsoil with a combined silt and clay content less than 20% and medium to very fine sand 60%-70% which shall be percentages by weight of those particles passing a 2mm screen. The remaining percentages shall be particles larger than medium to very fine sand (coarse or very coarse sand or gravel sized particles). All particles shall pass a 1/2" screen. All topsoil shall be free from subsoil, debris, turf, mushrooms, weeds or any other objectionable material. If subgrade is comprised of rock, rock fill or cement treated soil, remove subsoil from site and deposit topsoil to the following depths: 24" minimum depth in all planting areas. Allow no cross contamination of cement treated soil with placed topsoil.
12. On-site topsoil shall be defined as being a friable loam surface soil found at a depth, in its natural state, of less than 18 inches. Topsoil shall be free from subsoil, clay lumps larger than 2 inches, debris, turf, weeds, roots, contaminants or other objectionable material. Topsoil on-site meeting these specifications may be used.
13. Install minimum 2" bark mulch in all new landscape areas within 2 days of planting.
14. Refer to the Critical Areas Report by Cascadia Ecological Services, Inc. for landscaping within wetland areas.
15. Refer to Civil Engineering plans for soil requirements for bioretention facilities.
16. In order to meet CMC 18.13.050.F, 10% of the site shall be landscaped. The site acreage is 3.59, 10% of the site equals 0.359 acres. The landscaped area (without counting the wetland mitigation) is .46 acres. This condition has been met.

APPLICANT/OWNER:
UNION STORAGE, LLC
23801 NE 42ND COURT
RIDGEFIELD, WA 98642
(360) 787-3465
tstrassenberg@msn.com

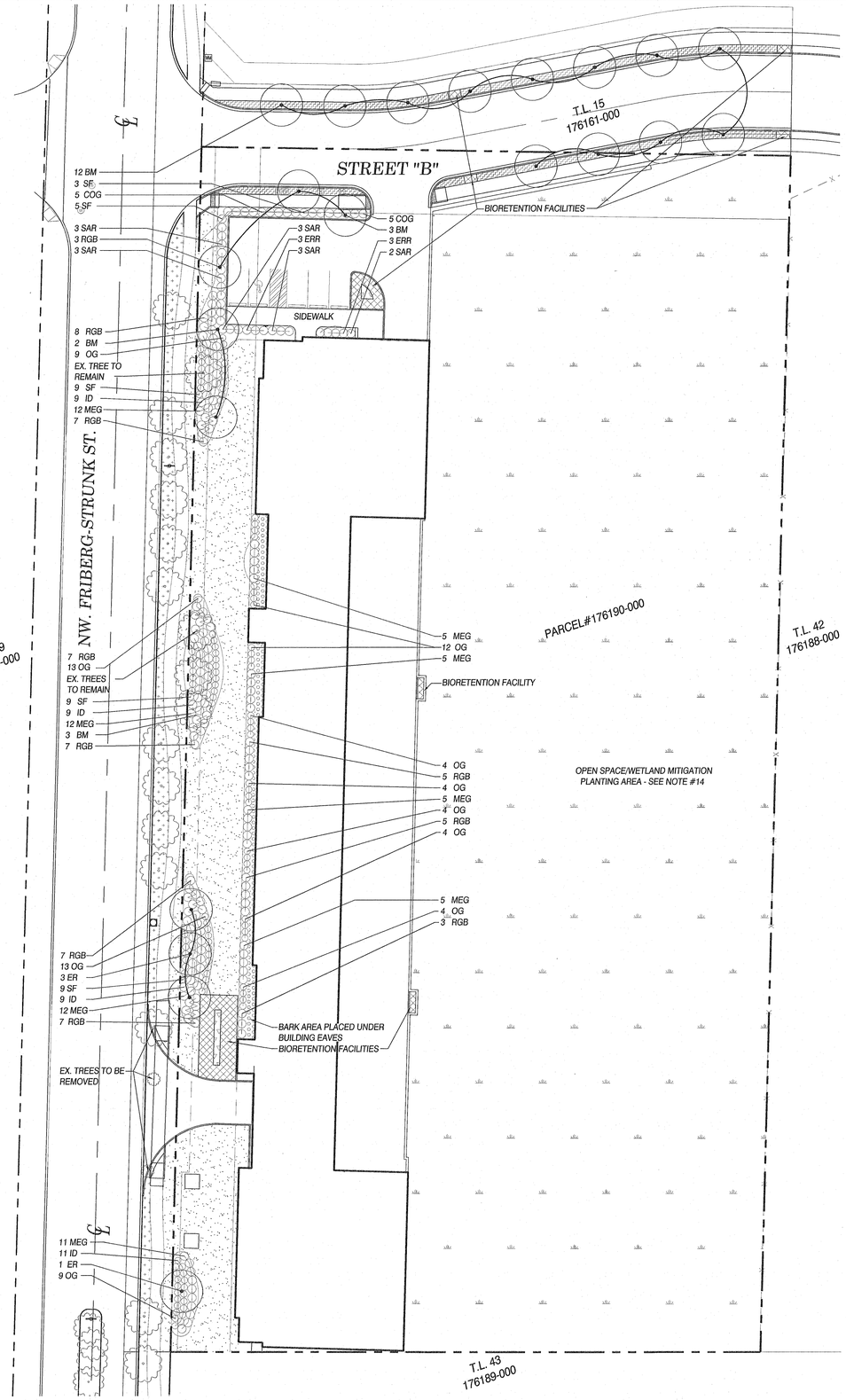
CONTACT:
OLSON ENGINEERING, INC.
ATTN: GAYLE GERKE
222 E. EVERGREEN BLVD.
VANCOUVER, WA 98660
(360) 695-1385
FAX (360) 695-8117
gayleg@olsonengr.com

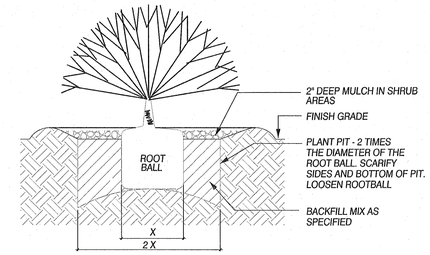
SITE PLAN BASED ON LAYOUT PROVIDED BY PLANNING SOLUTIONS, INC.

GRAPHIC SCALE

0 15 30 60

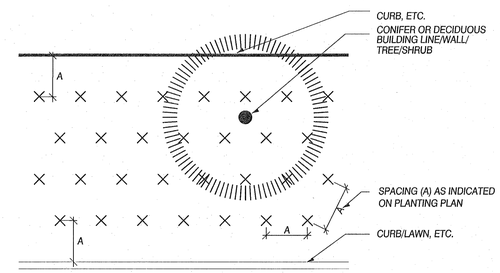
(IN FEET)
1 inch = 30 ft.





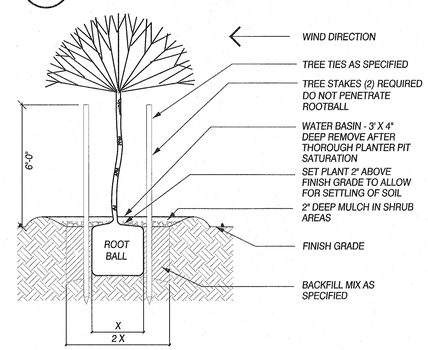
1 SHRUB/GROUNDCOVER PLANTING

SCALE: NTS



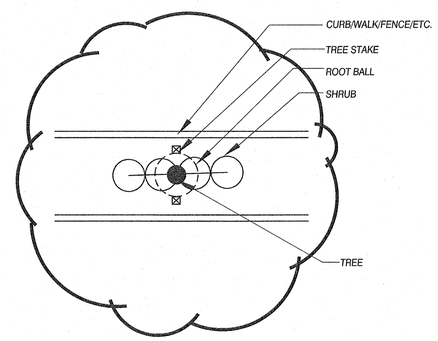
2 GROUNDCOVER PLANTING

SCALE: NTS



3 DECIDUOUS/CONIFER TREE PLANTING

SCALE: NTS



NOTE -- WHERE TREES ARE INDICATED IN SHRUB BED OR HEDGE, MAINTAIN SHRUB SPACING INDICATED. OFFSET TREE STAKES AS REQUIRED.

4 TREE STAKING DETAIL

SCALE: NTS

FILE: J:\data\9000\9400\9410\9417\Landscape\9417.p.final.landscape.dwg
PLOT: consultant3.ctb

FINAL LANDSCAPE PLAN FOR:

UNION SELF-STORAGE

OLSON ENGINEERING INC.
LAND SURVEYORS
ENGINEERS
222 E. EVERGREEN BLVD., VANCOUVER, WA 98660
360-695-1385
503-289-9036

STATE OF WASHINGTON REGISTERED LANDSCAPE ARCHITECT
REBECCA J. WAHLSTROM
CERTIFICATE NO. 1141
Exp. 6/24/19

CHANGES / REVISIONS

DESCRIPTION:	DATE:

DESIGNED: RJW

DRAWN: RJW, GEG

CHECKED: SAH/MRO

DATE: MARCH 2018

SCALE: H: 1" = 30'
V:

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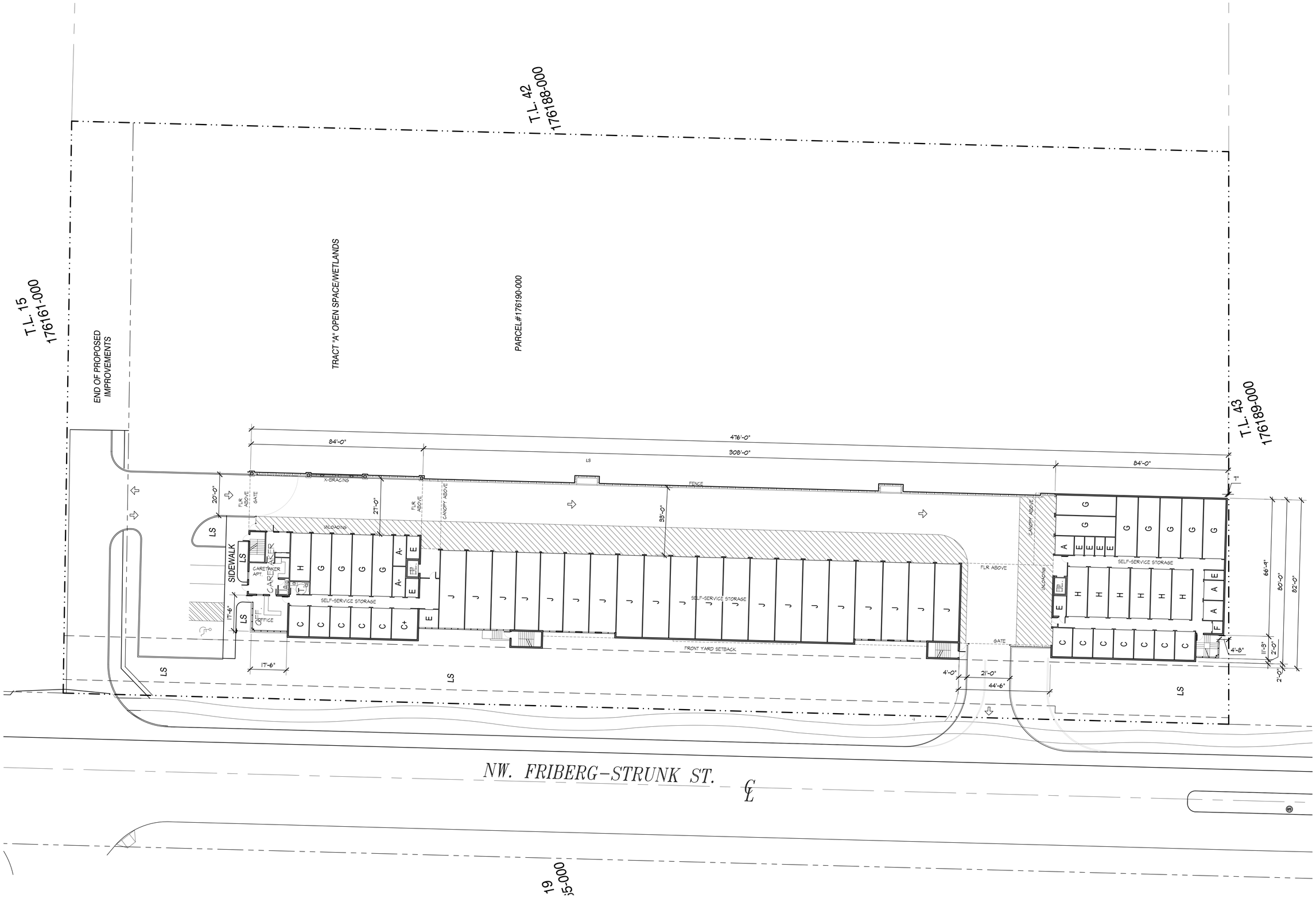
UNION SELF-STORAGE

JOB NO. 9417.01.01

SHEET

LS1



4 CONCEPTUAL SITE / FIRST FLOOR PLAN

SCALE: 1" = 20'

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Planning Solutions, Inc.
architecture
Creating Solutions to Complex Issues

4400 NE 77th Avenue
Suite 275
VANCOUVER, WA 98662
VOICE: 360-750-9000 FAX: 360-713-6102
www.planningsolutionsinc.com

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NOT FOR CONSTRUCTION
SUBJECT TO APPROVAL

UNION STORAGE

NW Friberg-Strunk St.
Camas, Washington

DRAWN: md	CHECKED: MD
SCALE: AS NOTED	DATE: 12-21-17
JOB #: 14-1324	
ISSUED FOR: CU / DR	

REVISIONS:
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SHEET NAME:
CONCEPTUAL SITE / FIRST FLOOR PLAN

SHEET #:
CD1

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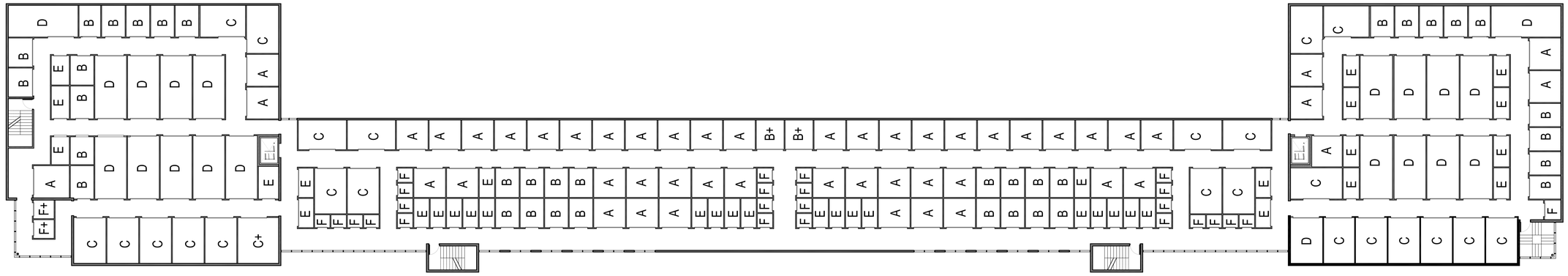
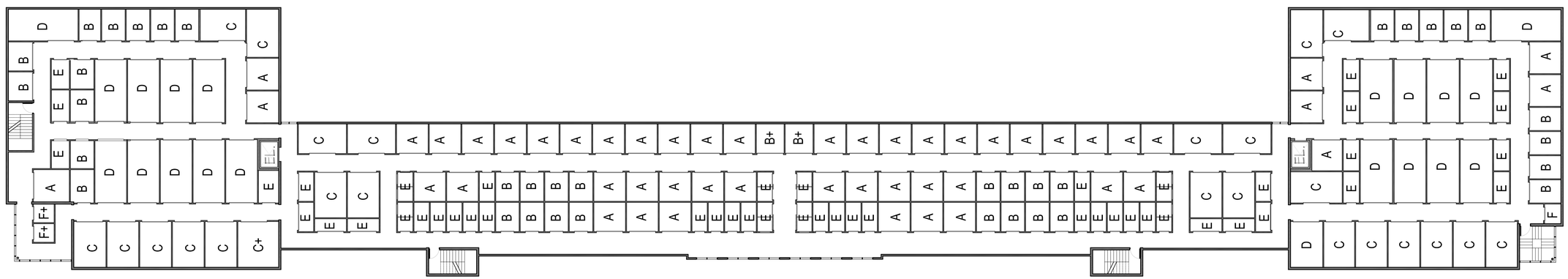
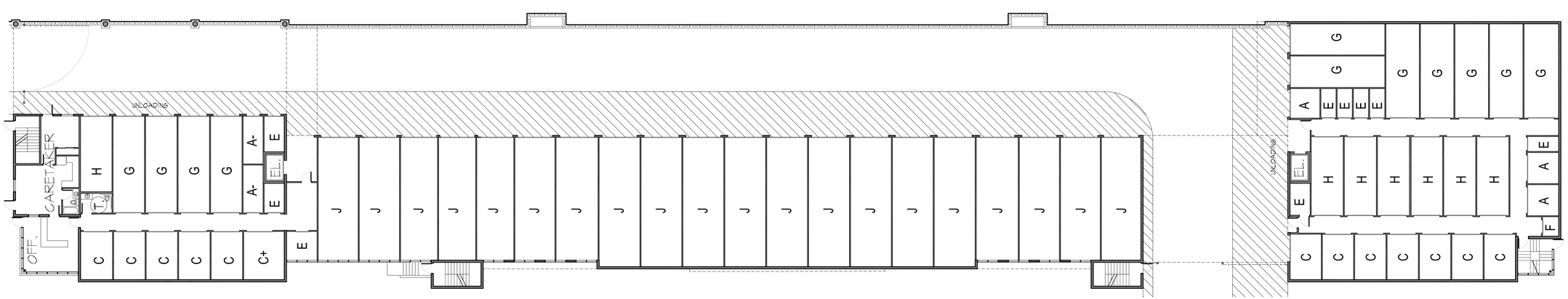


2 CONCEPTUAL THIRD FLOOR PLAN
SCALE: 1/16" = 1'-0"



3 CONCEPTUAL SECOND FLOOR PLAN
SCALE: 1/16" = 1'-0"



4 CONCEPTUAL FIRST FLOOR PLAN
SCALE: 1/16" = 1'-0"

Planning Solutions, Inc.
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4400 NE 77th Avenue
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VANCOUVER, WA 98662
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UNION STORAGE

NW Friberg-Strunk St.
Camas, Washington

DRAWN: md	CHECKED: MD
SCALE: AS NOTED	DATE: 12-21-17
JOB #: 14-1324	
ISSUED FOR: CU / DR	
REVISIONS:	
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SHEET NAME:
CONCEPTUAL FLOOR PLANS

SHEET #:
DR1

SHEET | OF

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1 CONCEPTUAL WEST ELEVATION
SCALE: 1/16" = 1'-0"

2 CONCEPTUAL NORTH ELEVATION
SCALE: 1/16" = 1'-0"

3 CONCEPTUAL SOUTH ELEVATION
SCALE: 1/16" = 1'-0"

7 ARTIST'S PERSPECTIVE
SCALE: 1/16" = 1'-0"

4 CONCEPTUAL EAST ELEVATION
SCALE: 1/16" = 1'-0"

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UNION STORAGE
NW Friberg-Strunk St.
Camas, Washington

DRAWN: md	CHECKED: MD
SCALE: AS NOTED	DATE: 12-21-17
JOB #: 14-1324	
ISSUED FOR: CU / DR	
REVISIONS:	
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SHEET NAME:
CONCEPTUAL BUILDING ELEVATIONS

SHEET #:
CD2

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City of Camas WASHINGTON

Community Development Department

NOTICE of DECISION
Union Self Storage Conditional Use Permit (city file# CUP17-03)
(consolidated files: SPRV17-05, SEPA17-09, ARCH17-04, CA17-04)

RECEIVED
DEC 20 2017

DECISION ISSUED:	December 18, 2017
CITY CONTACT:	Lauren Hollenbeck, Senior Planner (360) 817-7253 communitydevelopment@cityofcamas.us
APPLICANT:	Union Self Storage, LLC, 23801 NE 42nd Court, Ridgefield, WA 98642

THIS IS TO SERVE AS NOTICE that a decision of **APPROVAL** has been rendered for **the Union Self Storage Facility Conditional Use Permit** (City File# CUP17-03), a 60,100 square foot multi-story mini storage building. The project is located 6250 NW Friberg-Strunk Street. The location is also described as Tax parcel #176190000, within the SE ¼ Section 29, Township 2 North, Range 3 E.W.M, Camas, WA.

The final order of the Hearings Examiner is attached to this notice.

RECONSIDERATION (Refer to CMC 18.55.235)

Any party of record believing that a decision of the hearings examiner is based on erroneous procedures, errors of law or fact, or the discovery of new evidence which could not be reasonably available at the public hearing, may make a written request to the examiner, filed with the city clerk (**Municipal Center, 616 NE 4th Ave., Camas**), to be accompanied by an appeal fee, for reconsideration by the examiner.

A. Time Frame. The request for reconsideration shall be filed within fourteen calendar days of the date the decision was rendered. **Deadline for filing a reconsideration request is January 2, 2017, at 5:00 p.m.**

B. Content. The request for reconsideration shall contain the following:

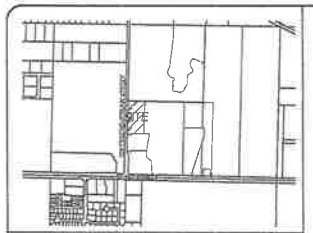
1. The case number designated by the city and the name of the applicant;
2. The name and signature of each petitioner;
3. The specific aspect(s) of the decision being appealed, the reasons why each aspect is in error as a matter of fact or law and the evidence relied on to prove the error. If the petitioner wants to introduce new evidence in support of the appeal, the written appeal must explain why such evidence should be considered.

C. The hearings examiner may, after review of the materials submitted in conjunction with the reconsideration request, and review of the open record hearing transcript, take further action as he or she deems proper; including, but not limited to, denying the request, modifying the decision, or affirming the decision.

D. The hearings examiner shall issue a decision on a request for reconsideration within forty-five (45) days of the filing of the request for reconsideration. When a request for reconsideration has been timely filed, any appeal to Clark County Superior Court under the Land Use Petition Act shall be filed within twenty-one (21) days after a hearings examiner issues its decision on the request for reconsideration.

JUDICIAL APPEALS (Refer to CMC 18.55.240)

The city's final decision on an application may be appealed by a party of record with standing to file a land use petition in Clark County superior court. Such petition must be filed within twenty-one days after issuance of the decision, as provided in Chapter 36.70C RCW.



VICINITY MAP SEC. 29 T2N R3E W.M.
NTS

SITE PLAN NOTES

EXISTING SITE DATA:

PRESENT USE:	VACANT AND UNUSED
EXISTING ZONING:	COMMUNITY COMMERCIAL (CC)
GROSS SITE AREA:	PARCEL 176190000 IS 3.62 ACRES ACCORDING TO SURVEY BY OLSON ENGINEERING, INC.

PROPOSED SITE DATA:

PROPOSED USE:	60,100 SF MINI-STORAGE BUILDING WITH SELF STORAGE, OFFICE, CARETAKER'S RESIDENCE, AND RV STORAGE
WETLAND, STREAM, STEEP BANK BUFFER AND DISTURBED AREAS, AND PLANNED ENHANCEMENT AREAS:	AS SHOWN, SEE NOTE #1
PROPOSED PRIVATE ROADS:	NONE PROPOSED
PROPOSED EASEMENTS:	AS SHOWN
PROPOSED ON-SITE ROAD RIGHTS-OF-WAY:	AS SHOWN
PROPOSED PEDESTRIAN AND BICYCLE FACILITIES:	AS SHOWN
PROPOSED EASEMENTS FOR ACCESS, DRAINAGE, UTILITIES, ETC:	AS SHOWN
PROPOSED VEHICLE PARKING:	AS SHOWN, REFER TO NARRATIVE FOR MORE INFORMATION
PROPOSED BICYCLE PARKING:	NONE PROPOSED
PROPOSED LOADING ZONES:	NONE PROPOSED
PROPOSED SEPTIC SYSTEMS:	NONE PROPOSED
PROPOSED OPEN SPACE/RECREATIONAL FEATURES:	AS SHOWN
PROPOSED TRANSIT FACILITIES:	NONE PROPOSED
PROPOSED SIGNS:	NONE PROPOSED AT THIS TIME
PROPOSED LIGHTING:	SEE NOTE #2
PROPOSED LOTS, TRACTS, ETC:	NONE PROPOSED AT THIS TIME
EXISTING BUILDINGS TO REMAIN:	NONE
PROPOSED LANDSCAPING	REFER TO PRELIMINARY LANDSCAPE PLAN
PROPOSED BUILDINGS:	AS SHOWN

1. REFER TO THE WETLAND DELINEATION REPORT DATED JUNE 14, 2016 AND CRITICAL AREAS REPORT DATED FEBRUARY 16, 2017 BY CASCADIA ECOLOGICAL SERVICES, INC. FOR MORE INFORMATION ON WETLANDS, BUFFERS AND PLANNED ENHANCEMENT AREAS.

2. EXTERIOR LIGHTS SHALL BE SHIELDED AND DIRECTED TO PREVENT OFF-SITE GLARE.

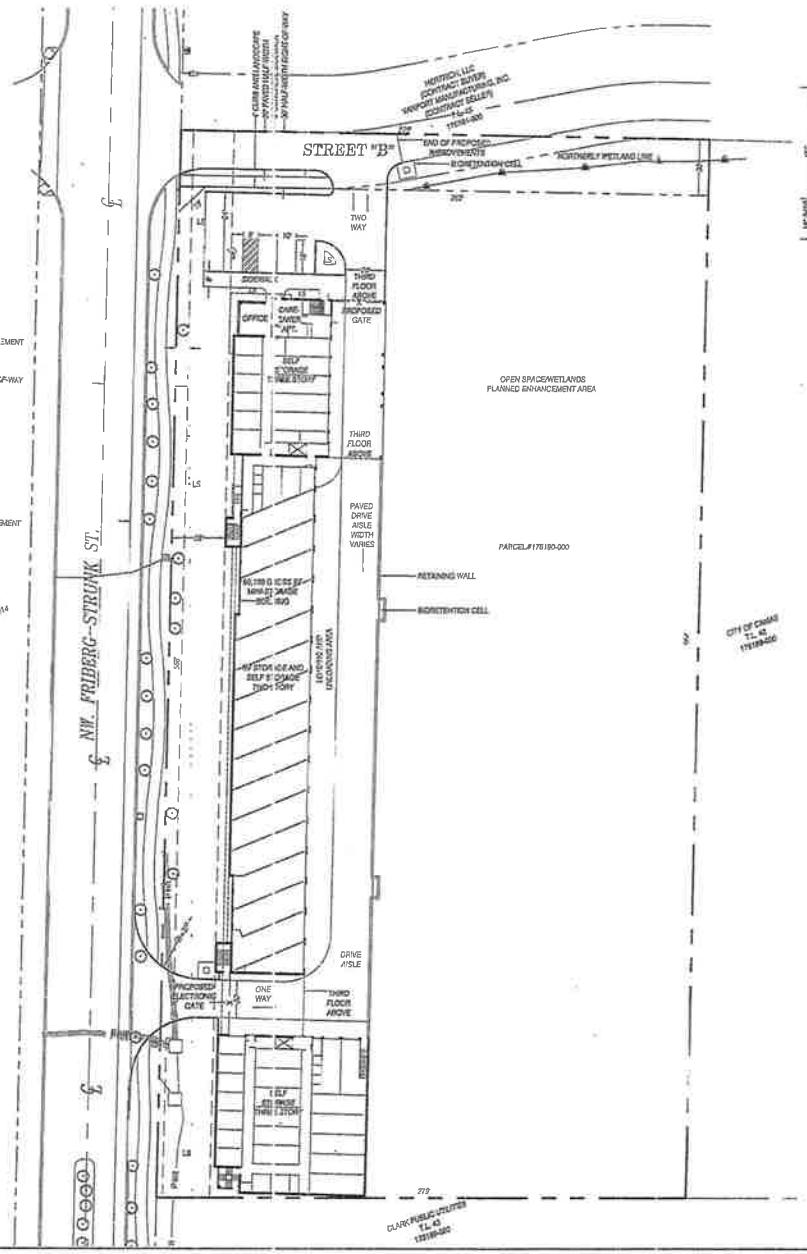
3. IF ANY CULTURAL RESOURCES AND/OR HUMAN REMAINS ARE DISCOVERED IN THE COURSE OF UNDERTAKING THE DEVELOPMENT ACTIVITY, THE DEPARTMENT OF ARCHAEOLOGY AND HISTORIC PRESERVATION IN OLYMPIA SHALL BE NOTIFIED. FAILURE TO COMPLY WITH THESE STATE REQUIREMENTS MAY CONSTITUTE A CLASS C FELONY, SUBJECT TO IMPRISONMENT AND/OR FINES.

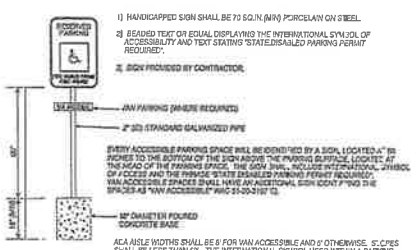
4. REFER TO THE PRELIMINARY DEVELOPMENT PLAN FOR MORE INFORMATION ON PROPOSED UTILITIES AND PROPOSED BIORETENTION CELLS FOR STORMWATER TREATMENT.

LEGEND

LINES	DESCRIPTION
	PROPOSED BUILDING
	ROAD CENTERLINE
	EXISTING EASEMENT
	ADJACENT TAXLOT
	SIDEWALK
—x—x—x—	PROPOSED FENCE
	ROAD RIGHT-OF-WAY
	PROPERTY LINE
	PARKING LOT CURB
☼	LIGHT
-	SIGN
LS	PROPOSED LANDSCAPE

SITE PLAN BASED ON LAYOUT PROVIDED BY PLANNING SOLUTIONS, INC.





APPLICANT:
UNION STORAGE, LLC
2301 NE 42ND COURT
RIDGEFIELD, WA 98642
(360) 787-3442
rdsasserberg@msn.com

OWNER:
UNION STORAGE, LLC
200 SE 192TH PLACE
CAMAS, WA 98607

CONTACT:
OLSON ENGINEERING, INC.
ATTN: GAYLE JERRE
222 E. EVERGREEN BLVD.
VANCOUVER, WA 98660
(360) 695-1325
FAX (360) 695-8117
gayleg@olsoneng.com

GRAPHIC SCALE
0 15 30 60
(IN FEET)
1 inch = 30 ft.

PRELIMINARY SITE PLAN AND CONDITIONAL USE PERMIT PLAN FOR:

UNION SELF-STORAGE

OLSON ENGINEERING INC. LAND SURVEYORS ENGINEERS
222 E. EVERGREEN BLVD., VANCOUVER, WA 98660

3/21/17

CHANGES / REVISIONS	
DESCRIPTION:	DATE:

DESIGNED: PLANNING SOLUTIONS, INC.
DRAWN: GEG
CHECKED: KTS
DATE: MARCH 2017
SCALE: H: 1" = 30' V:

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UNION SELF-STORAGE
JOB NO. 9-17.01.01
SHEET
SP1

BEFORE THE LAND USE HEARINGS EXAMINER
FOR THE CITY OF CAMAS, WASHINGTON

Regarding an application by Union Self-Storage, LLC for approval of conditional use and other permits to construct a 60,100 square foot mini-storage facility at 6250 NW Friberg-Strunk Street, in the City of Camas, Washington	))))	**FINAL ORDER** **CUP17-03**[1] **(Union Self-Storage)**

A. SUMMARY

1. The applicant, Union Self-Storage, LLC, requests approval of a Conditional Use Permit ("CUP") and associated approvals to construct and operate a 60,100 square foot, two story mini-storage facility with an office/caretaker's residence on a 3.59-acre parcel located at 6250 NW Friberg-Strunk Street; also known as tax assessor's parcel No. 176190-000, Section 29, Township 2 north, Range 3 east, WM, Clark County (the "site"). The site and abutting properties to the south are zoned CC (Community Commercial). Properties to the north are zoned LI/BP (Light industrial/Business Park). Properties to the east are zoned BP (Business Park). Properties to the west, across NW Friberg-Strunk Street, are in the city limits of Vancouver and are zoned GC (General Commercial).

2. City staff recommended that the examiner approve the application subject to conditions. See the Staff Report and Recommendation to the Hearings Examiner dated December 8, 2017 (the "Staff Report"). The applicant accepted those findings and conditions without exceptions. No one else testified orally or in writing.

3. Based on the findings provided or incorporated herein, the examiner approves the application subject to the conditions at the conclusion of this final order.

B. HEARING AND RECORD HIGHLIGHTS

1. The examiner received testimony at a public hearing about this application on December 13, 2017. All exhibits and records of testimony are filed at the City of Camas. At the beginning of the hearing, the examiner described how the hearing would be conducted and how interested persons could participate. The examiner disclaimed any *ex parte* contacts, bias or conflicts of interest. The following is a summary by the examiner of selected testimony and evidence offered at the public hearing.

2. City planner Laruen Hollenbeck summarized the Staff Report.

a. She noted that the site is constrained by a 28-foot wide Clark Public Utilities ("CPU") easement along the west boundary and a Category 3 wetland on the east portion of the site. The applicant proposed to locate the building at the east edge of the CPU easement and construct a two-story facility in order to minimize impacts to the wetland.

b. The applicant and the owner of the abutting property to the north of the site will each dedicate half-width right-of-way and the applicant will construct a full-

[1] This decision also addresses SPRV17-05, SEPA17-09, ARCH17-04, & CA17-04.

width improvement for "Street B," a planned collector street along the north boundary of the site. The proposed driveway to Street B will not comply with City spacing standards. The City engineer recommended approval of a deviation for the proposed driveway, because the applicant cannot shift the proposed driveway further east without impacting the wetland.

c. The proposed exit driveway onto Friberg-Strunk Street does not meet the minimum 600-foot arterial intersection spacing requirements. The City engineer recommended approval of a deviation for this driveway because it is limited to exit only and will generate very little traffic.

d. The City's Design Review Committee will review the design of the structure through a separate process.

e. The applicant submitted a revised traffic impact study on December 13, 2016 (Exhibit 34). The finding on page 6 of the Staff Report should refer to the prior revised traffic study, Exhibit 31.

3. Professional engineer Kurt Stonex testified on behalf of the applicant and accepted the findings and conditions in the Staff Report. He noted that the applicant revised the application to eliminate the storage of RVs on the site, because the site is too narrow to easily accommodate turning movements for such large vehicles. The applicant will replace the 15 RV spaces proposed in the original application with additional self storage spaces. As revised, the facility will provide 446 self-storage units. The applicant's December 13, 2016 revised traffic study addresses this change. In addition, the original traffic study was based on the ITE trip generation manual. However the ITE manual overstates trip generation numbers for this type of facility. The revised traffic study is based on trip counts at three existing self-storage facilities in the area, which more accurately reflect the traffic impacts of this facility. He submitted an email from the owner of the adjacent property agreeing to dedicate right-of-way for construction of Street B (Exhibit 36).

4. City engineer James Carothers agreed with the applicant's revised traffic analysis.

5. No one else testified at the hearing. The examiner closed the record and announced his intention to approve the application subject to recommended conditions.

C. DISCUSSION

1. City staff recommended approval of the application, based on the affirmative findings and subject to conditions of approval in the Staff Report. The applicant accepted those findings and conditions without exceptions.

2. The Examiner finds that the Staff Report identifies all of the applicable approval standards for the application and contains sufficient findings showing the application does or can comply with those standards subject to conditions of approval. These findings were not disputed and are supported by substantial evidence in the record. The Examiner adopts the findings in the Staff Report as his own.

D. CONCLUSION

Based on the above findings and discussion provided or incorporated herein, the examiner concludes that CUP17-03, SPRV17-05, SEPA17-09 ARCH17-04 & CA17-04 (Union Self-Storage) should be approved, because it does or can comply with the applicable standards of the Camas Municipal Code, the Revised Code of the State of Washington.

E. DECISION

Based on the findings, discussion, and conclusions provided or incorporated herein and the public record in this case, the examiner hereby approves CUP17-03, SPRV17-05, SEPA17-09 ARCH17-04 & CA17-04 (Union Self-Storage); subject to the following conditions of approval:

Standard Conditions of Approval

1. Site improvement plans for street, water, sanitary sewer and Stormwater improvements shall be prepared in accordance with the City of Camas Design Standards Manual.
2. The plans will be prepared by a licensed civil engineer in Washington State and submitted to the City for review and approval.
3. Regulations for installation of public improvements, improvement agreements, bonding, final platting, and final acceptance shall be found in CMC 17.21.
4. A 3% construction plan review and inspection fee shall be required for this development. The fee will be based on an engineer's estimate or construction bid. The specific estimate will be submitted to the City for review and approval. The fee will be paid prior to the construction plans being signed and released to the applicant. Under no circumstances will the applicant be allowed to begin construction prior to approval of the construction plans.
5. Underground (natural gas, CATV, power, street light and telephone) utility plans shall be submitted to the City for review and approval prior to approval of the construction plans.
6. Existing wells and septic tanks and septic drain fields shall be abandoned in accordance with state and county guide lines regardless of lots or properties served by such utility, per CMC 17.19.020.
7. In the event that any item of archaeological interest is uncovered during the course of a permitted ground disturbing action or activity, all ground disturbing activities shall immediately cease and the applicant shall notify the Public Works Department and DAHP.
8. The applicant shall remove all temporary erosion prevention and sediment control measures from the site at completion of all site improvements, including stabilization of all disturbed soil, unless otherwise directed by the Public Works Director.
9. Final as-built construction drawing submittals shall meet the requirements of the Camas Design Standards Manual.

Special Conditions of Approval

14. Stormwater runoff from the landscaped areas of the site shall be directed onto the driveway or into a stormwater treatment system that will provide adequate phosphorus removal from the landscaped areas of the site prior to release into the wetlands.
15. The stormwater system, not located within the public right-of-way, shall be placed within a private stormwater easement and shall be owned and maintained by the property owner. The City shall be granted a right-of-entry for purposes of inspections.
16. Applicant shall install the proposed domestic and irrigation services to the right-of-way and install double detector check valves and meters for purposes of billing.
17. Applicant shall submit for the appropriate permits with and approvals from the Fire Marshall's office, including review and approval of the number and location of fire hydrants.
18. The Applicant shall design and construct the street lighting for Street 'B' in accordance with the Camas Design Standards Manual.
19. The Applicant shall dedicate the proposed Street 'B' to the City of Camas upon completion.
20. The landscaping within the CPU easement area shall consist of a combination of native, low maintenance trees, shrubs and groundcover in compliance with CMC 18.13.050.B.
21. The final landscape plan shall include shrubs with a minimum five gallon pot size per CMC 18.13.050.I and curbed planting areas shall be at the end of each parking aisle per CMC 18.13.060.G.
22. The proposed irrigation system shall be shown on the final landscape plan.
23. Prior to final engineering plan approval, the applicant shall submit to the City for review and approval a final landscape plan consistent with the landscaping standards in CMC Chapter 18.13.
24. Prior to the issuance of a building occupancy permit, the applicant shall install landscaping and irrigation.
25. The applicant shall take appropriate measure to ensure landscaping success for a minimum of three years after issuance of Certificate of Occupancy. If the plantings fail to survive, the property owner shall promptly replace them.
26. The applicant shall submit for and receive Design Review approval prior to final engineering plan approval.
27. Prior to final engineering plan approval, the applicant shall submit a final wetland mitigation plan with detailed construction plans, maintenance, monitoring, and contingency plans. Fencing and signs marking the outer extent of the wetland shall be installed per CMC 16.53.040.C for the wetland.
28. The applicant shall provide a conservation covenant over the wetland area. A copy of the recorded conservation covenant shall be provided to the City as required by CMC 16.53.040.C.3. Reference to the recorded number shall be added to final construction site plans as per CMC 16.53.040.C.4.

29. Mitigation for the unavoidable adverse impacts shall be located consistent with CMC 16.53.050.D.2.
30. The applicant shall provide documentation of posting of a performance assurance as required by CMC 16.53.050.J Wetland Permit Financial Assurances prior to earthwork disturbing activities. Financial assurances shall be accepted by the City prior to final engineering plan approval.
31. Detailed construction plans for any signs shall be submitted for city review and approval prior to installation of the signs.
32. Unless construction of this site commences within two years of issuance of this decision, this permit will expire.
33. A separate new construction permit shall be required with the Fire Marshal's office. Two sets of plans specification, and other information as may be necessary to determine compliance with fire and life safety code and standards.
34. Permit forms and submittal instructions are available online or can be picked up at the Fire Marshal's office at 605 NE 3rd Avenue.
35. Permit(s) and inspections are required by the Fire Marshal's Office for this project. Please contact the Fire Marshal's office at 360-834-619, or rmiller@ci.camas.wa.us for submittal information.

SEPA17-09 Conditions of Approval

1. Clearing and grading including utility and road construction activities shall be allowed only from May 1st to October 1st of each year. The City may extend or shorten the dry season on a case-by-case basis depending on actual weather conditions.
2. The Applicant shall secure public right of way sufficient to construct full width street improvements on the north end of the proposed project known in the City of Camas' Comprehensive Plan as Street B. The right of way shall extend to the eastern boundary of the Applicant's parcel. The Applicant shall be responsible to obtain the required right of way acquisition from the neighboring property owner to the north.
3. The Applicant shall construct the full width street improvements for said Street B from NW Friberg-Strunk Street to the Applicant's eastern most boundary. Said street improvements shall not encroach into wetlands or wetland buffers other than those accounted for in the Applicant's wetland mitigation plan.

DATED this 18th day of December 2017.

Joe Turner, AICP
City of Camas Land Use Hearings Examiner

Community Development Department
616 NE Fourth Avenue
Camas, WA 98607
(360) 817-1568

STAFF REPORT
Design Review Application for Camas 6th and Birch Mixed Use Project
City File No. DR18-05
Related files: (SPRV18-03 and SEPA18-13)

TO: Design Review Committee

FROM: Lauren Hollenbeck, Senior Planner

APPLICANT/OWNER: Mark R Madden Revocable Living Trust

LOCATION: NE corner of 6th Avenue and Birch Street
Camas, WA 98607
Parcel numbers 79900000, 79910000, 79865000, 79870000

APPLICABLE LAW: The application was submitted on May 2, 2018. The applicable codes are those codes that were in effect at the date of application. Camas Municipal Code Chapters (CMC): Title 18 Zoning (not exclusively): CMC Chapter 17.21 Procedures for Public Improvements; CMC Chapter 18.19 Design Review; Camas Design Review Manual (2016); and CMC Chapter 18.55 Administration and Procedures; and RCW 58.17.

BACKGROUND:

The applicant is currently seeking design review approval for the construction of 2 three-story mixed-use buildings, each approximately 15,135 square feet in size, located on half an acre within the Downtown Commercial (DC) zoning district. The first building fronts 6th Avenue and contains bottom floor commercial space with apartments above. Behind the first building sits the second building along 7th Avenue, which includes ground floor live/work spaces with apartments above. A parking lot is located between the two buildings with additional on-street parking provided adjacent to the site. Street trees and landscaping is provided along street and building frontages.

The project area is bordered on the north by NE 7th Avenue, to the west by NE Birch Street, to the south by NE 6th Avenue, and to the east by a single-family residence and a health clinic also zoned Downtown Commercial (DC).

PURPOSE:

Design Review is required under CMC Chapter 18.19. Design review is not intended to determine the appropriate use on a parcel but rather review a proposed development for compliance with City codes and plans related to landscaping, architectural elevations and other elements relative to required improvements. The recommendations from the Design Review Committee (DRC) must consider the design review standards from the Downtown Design Review Manual. An enclosed checklist is to help guide you in your review but refer to the manual for specific details regarding the standards.

STANDARD AND COMMERCIAL & MIXED USES DESIGN PRINCIPLES AND GUIDELINES:

The standard and commercial & mixed use principles are required and must be demonstrated to have been satisfied in overall intent for design review approval. The standard design guidelines are developed to assist a project in meeting the established principles and each guideline should be adequately addressed. If the proposal cannot meet a specific guideline, then an explanation should be provided by the applicant as to why and how it will be mitigated to satisfy the intent of the design principles. The development guidelines include five major categories: 1) Landscaping and Screening, 2) Architecture, 3) Massing and Setbacks, 4) Historic & Heritage Preservation, and 5) Circulation and Connections. **The Design Review Checklist is enclosed to help guide the DRC in reviewing the standard applicable specific design review principles and guidelines.**

RECOMMENDATION:

That the Design Review Committee reviews the submitted materials, deliberates, and forwards a recommendation to the Director for a final decision.

Downtown Design Review Checklist- 6th and Birch Mixed Use Project (DR18-05)

The purpose of this sheet is to provide a simplified and expedited review of the downtown design review principles and guidelines using objective review standards. The standards are intended as tool for the decision-maker in making findings that the proposal either achieves compliance with the intent of the principles or reasonably mitigates any conflict. When reviewing the check sheet, the proposal should as a whole "comply" with the standards and thus be generally consistent with the overriding principles. [Yes = In Compliance; No = Not In Compliance; NA = Not Applicable]

Compliance Y/N			Required Elements	Encouraged Elements	Comments
Yes	No	N/A	**Landscape**		
			Street trees @ 30' o.c. minimum	Seasonal color	
			Multiple layers of plantings	Fragrance	
			Canopy trees	Fall color	
			Understory trees	Specimen plants	
			Shrubs		
			Groundcover		
			Individual character		
			Maintenance plan covenant		
			Irrigation		
Yes	No	N/A	**Hardscape**		
			ADA Accessible tree grates[1]	Benches	
			Street lighting[2]	Trash receptacle	
			Public art (1% of construction cost)	Bike racks	
				Drinking fountains	
				Water Feature	
Yes	No	N/A	**Screening (parking lots)**		
			3' wall or fence in landscape strip		
			Visual interest – no blank walls		
			Medium size trees 20' o.c. minimum[3]		
Yes	No	N/A	**Screening (service / trash collection areas)**		
			5' wall or fence in landscape strip		
			Visual interest – no blank walls		
			Medium size trees 20' o.c. minimum[4]		
			100% solid opaque gates		
Yes	No	N/A	**Private Pedestrian & Parking Surfaces**		

			All weather concrete or asphalt	Pavers, Colored Concrete	
			ADA accessibility		
			Minimum 4' pedestrian path of travel		
Yes	No	N/A	**Pedestrian Surfaces w/in Public Right-of-Way**		
			ADA accessibility	Meandering sidewalks with special concrete scoring patterns	
			Decorative sidewalk (e.g. scored concrete, colored concrete, pavers, etc.)		
			Minimum 6' pedestrian path of travel		
Yes	No	N/A	**Architectural / Site Planning**		
			10 % maximum parking abutting the project frontage along the public way[5]	Parking accessed from alley	
			Main entrance oriented towards public way	Building located to form continuous colonnade along frontage	
			40% minimum to a maximum of 80% glazing of the ground floor elevation abutting the public way	Feature areas such as courtyards, sidewalk merchandising, etc.	
			5' wide rain protection attached to building along 90% of frontage [6]	Retail or restaurants on street level.	
			Roof mounted equipment screening via parapet or cornice	Office and residential units on upper floors.	
			Architectural detailing compatible with the existing downtown area		
			Architectural materials compatible with the existing downtown area		
			Natural – Compatible Colors	Energy Smart design	

[1] Limited Exceptions (D.3.i), page 7.
[2] Dependent on approved light spacing (D.4.b.2), page 9.
[3] Where sufficient room exist (D.5.b.2), page 10.
[4] Where sufficient room exist (D.5.c.2), page 11.
[5] Corner lots may be allowed additional frontage parking (on the minor side street) with additional screening per review and approval (E.1.b), page 12.
[6] The building may not cantilever into public right-of-way to achieve rain protection (E.3.c), page 13.

18.18.060 - Criteria for approval.

The city shall consider approval of the site plans with specific attention to the following:

A. Compatibility with the city's comprehensive plan;

Land Use:

The ground floor of Building A contains retail space that will open up to a plaza accessible from 6th Avenue. Additionally, Live/Work residential units will be provided along 7th Avenue in Building B. This strong ground floor retail environment, combined with the population density this project presents, will positively contribute to a vibrant, walkable downtown and will create jobs in the process. Mixed-use development has proven to be an essential component to any successful downtown, and this project will be no exception in helping Camas to meet its 2035 land use vision.

The work along 6th Avenue will adhere to the Gateway and Corridor features described in this plan and will provide necessary right-of-way adjustments, street trees, lighting and street trees.

This is an infill project that would be constructed on a previously undeveloped site. The scale of the project is reasonable and responsive the surrounding structures and property uses. The proposed design engages the adjacent right-of-ways and tucks the off-street parking into the center of the site.

Housing:

The housing proposed in this project includes (6) live/work units and (24) apartment units. The total unit mix consists of (20) 2-bedroom units and (10) 1-bedroom units, which we feel is appropriate for the housing demand and climate of Camas.

The density of this project fits the vision of the comprehensive plan in a number of ways: The existing housing stock of Camas is maintained by selecting an infill site, sprawl is reduced by constructing vertically instead of outwards and the unique mix of live/work and apartments adds to the desired variety of housing types.

All ground floor spaces will be fully accessible.

The proposed housing will complement the ground floor retail and the retail/services of the downtown area simply by being a mixed-use development appropriate to its context.

The proposed apartments, live/work and retail will be rented at market rate.

Natural Environment:

The site in question is not a property that contributes to an ecologically sensitive or protected area. The majority of the site is dirt/gravel, grass and ivy. There are a number of trees existing on the site that will require removal. Street trees and on-site planting, including trees, will be added back to the site at a rate consistent with the zoning standards set forth by the Camas zoning code.

Stormwater on the site will be retained and treated onsite per the city standards. Effort will be given to ensure that the grading to occur to this topographically challenging site will be balanced.

All site lighting will be designed per city standards with the intent to avoid light pollution and trespass to neighboring properties.

The landscaping and grounds of the site will be professionally planted and maintained. Care will be given to remove any non-native vegetative species.

Transportation:

All right of ways proposed in this project will be constructed to the standards set forth by the city. All on-site ground level plazas, walkways, and parking areas will be fully accessible.

Bike storage will be provided at a rate consistent with city requirements.

One curb cut is proposed off of Birch Street.

Public Facilities and Services:

Groundwater will be retained and treated onsite to the required extent to reduce strain on the city's storm water system.

System Development Charges and other required fees will be paid as determined by the city to offset the bearing this project will have on public facilities and services.

Economic Development:

This mixed-use development will bring more people and business to the downtown core. In addition to the (30) residential and live/work units, Building A contains approximately 4,100 square feet of leasable commercial space.

B. Compliance with all applicable design and development standards contained in this title and other applicable regulations;

City of Camas Municipal Code – Title 18 Zoning

18.05 Zoning Map and Districts

Zone: Downtown Commercial (DC)

Comprehensive Plan Designation: Commercial

18.05.050.D: This project promotes commercial diversification by providing both live/work and larger retail spaces. The proposed development is compact and fits with the city's vision for density in the downtown area.

18.07.010 Use Authorization

18.07.030 – Table 1 – Commercial and Industrial Land Uses

Retail use generally permitted.

Apartment, Multi-family development – C/P 7 – Outright permitted per keynote 7 as this project is mixed-use with the residential above ground floor retail or livework.

18.09 Density and Dimensions

18.09.030: Bulk Regulations
Maximum Density – None
Minimum Lot Area – None
Minimum Lot Width – None
Minimum Lot Depth- None

18.09.030: Setbacks
Minimum Front Yard – None: No single-family residential proposed
Minimum Side Yard – None
Minimum Rear Yard – None

18.09.030: Lot Coverage
Lot Coverage Percentage: None

18.09.030: Building Height
Maximum Building Height: None

18.11 Parking:

18.11.020 Design

A. Ingress and Egrees – One curb cut is proposed along Birch Street.

B. Backout Prohibited – Space is provided at the east side of the parking area to allow vehicles to turn around and pull forward out of the site.

C. Parking Spaces – Off-street spaces are provided meeting the minimum standards of 9' in width by 18' in length. We expect a review of these spaces by the director. The drive aisle proposed is 24' in width.

D. Small Car Parking Spaces - Up to 30% are allowed. (19) On-site parking spaces are provided. 19 parking spaces x0.3=5.7 parking spaces. (5) Compact spaces are provided.

18.11.030 – Location

The parking spaces are all located adjacent to the proposed structures

18.11.110 – Parking for the Handicapped

(19) On-site parking are provided, one accessible van space is required and one is provided.

18.11.130 – Standards

Apartment 1 bedroom requires 1.5 off-street spaces per unit

Apartment 2 bedroom requires 2 off-street spaces per unit

Retail requires 1 space per 300 sf

The apartment units require a total of 27.5 parking spaces. The retail area will require a total of 14 parking spaces making a total of 41.5 required parking spaces. 43 parking spaces have been provided including (19) on-site parking spaces and (24) off-site parking spaces along the property line at NE 6th Ave, NE Birch St. and NE 7th Ave.

18.11.140 – Loading Standards

Per the exception in this section for the DC zone, this project does not provide a loading zone.

18.13 Landscaping:

18.13.050 – Landscaping Standards

A. The property owner will be responsible for damage to the street, curb and sidewalk caused by landscaping.

B. A combination of trees, shrubs and ground cover have been selected and located to deter sound, filter air contaminants, curtails erosion, minimize stormwater run-off, contribute to living privacy, reduce the visual impacts of large buildings and paved areas, screen, and emphasize or separate outdoor spaces of different uses or character.

C. Minimum Landscaping for DC zone – None, see below for parking lot standards

D. Deciduous trees will have straight trunks, be fully branched, have a minimum caliper of two inches, be equivalent to a fifteen-gallon container size, and be adequately staked for planting.

E. Evergreen trees will be a minimum of five feet in height, fully branched, and adequately staked for planting.

F. Shrubs will be a minimum of five-gallon pot size. Upright shrubs shall have a minimum height at planting of eighteen inches. Spreading shrubs at planting will have a minimum width of eighteen inches (smaller shrub sizes may be approved where it is more appropriate within a particular landscape plan).

G. Ground cover, defined as living material and not including bark chips or other mulch, at planting, will have a maximum spacing of twelve inches on center for flats, and a maximum twenty-four inches on center between mature plants from containers of one gallon or larger.

H. Appropriate measures will be taken, e.g., installation of irrigation system, to assure landscaping success. If plantings fail to survive, the property owner will replace them.

I. Required trees, as they grow, will be pruned in accordance with the International Society of Arboriculture. The pruned tree will provide at least eight feet of clearance above sidewalks and twelve feet above street roadway surfaces.

J. Existing trees will not be used as street trees.

K. Vision clearances will not be inhibited by the proposed landscaping.

L. Street trees and other required landscaping which dies or is removed, will be replaced within one year of death or removal. Replacement street trees may be an alternative species from the city's recommended tree list, and may be in a different location as approved by the city.

18.13.055 Landscape Buffering Standards

Multi-family and Commercial – Abutting residential at NE corner of site: 5’ L1
5’ total L1 landscaping provided

Multi-family and Commercial – Abutting commercial at SE corner of site: 10’ L2
10’ of L2 landscaping provided. An approximately 15’ solid wall abuts the property line at the SE corner of the property.

18.13.060 Parking Areas

A. The parking area is landscaped at the east and west perimeter.

B. Interior landscaping is not provided due to the demanding off-site parking requirements. It is our opinion that the proposed parking landscaping is appropriate for a site in the downtown core. The parking contains perimeter landscaping at the eastern and western sides of the parking area and is shielded from view by the proposed structures from the north and south.

C. See response to 18.13.060 above.

D. Planter strips are provided at the perimeter of the parking area.

E. The planter strips on site contain 4.5' -5' clear of planting area.

F. Vehicle areas do not abut planting areas at the front or rear of vehicles.

G. A curbed planting area and bollards are provided at the end of the drive aisle.

H. The on-site parking is located parallel with 6th and 7th Avenues.

Chapter 18.15 Signs

Signage has not been designed at this time.

Chapter 18.17 Supplemental Development Standards

18.17.030 Vision Clearance Area
Vision clearance is exempt in the DC zone.

18.17.060 Retaining Walls

A. A permit will be required for the retaining wall on the proposed site plan.

B. Drainage will be provided behind the retaining wall.

C. A retaining wall will be exterior facing per the site plan and will be no taller than 6'-0" in height measured from the top of footing to the top of wall. The wall will contain a guard rail.

18.19 Design Review
See response to the Downtown Design Manual below.

City of Camas Downtown Design Manual

D. Streetscape Elements

1. Planting Design

(a) Street trees are provided around the perimeter of the development per the city standards. A planting strip is provided along Birch Street between the parking area and the sidewalk.

(b) Two types of canopy street trees are provided along the perimeter of the property, providing seasonal color. Trees and a variety of shrubs serve as a screen to the parking area.

(c) No hanging baskets are planned for this project.

(d) All plant materials will meet or exceed specifications established by the American Association of Nurserymen for nursery stock, and be suitable for the climatic conditions encountered in Camas, Washington.

(e) A landscape maintenance plan per the American Association of Nurserymen's standards, and approved by the City of Camas, will be recorded as a covenant on the project parcel for landscaping located on private property.

2. Irrigation Design

(a) All landscape plantings will be irrigated with an automatic, underground irrigation system designed with water conservation in mind. All irrigation materials located within the public right-of-way will utilize the materials and construction techniques as listed in Appendix D and the City of Camas Design Standards Manual.

3. Street Trees

(a) Two types of street trees are provided, Greenspire Linden and Wireless Zelkova

(b) Street trees will be a minimum of 2-inch caliper, fully branched, and staked at the time of planting.

(c) Street Trees will be maintained to provide eight feet of clearance area under the canopy at the sidewalk and 10 feet of clearance at the street.

(d) Street trees will be planted on all street frontages at minimum 30 feet on-center spacing, as measured along the abutting curb.

(e) Street trees will be placed a minimum of two and one-half feet from the back of the curb as measured from the center of the tree, unless otherwise specified by the City of Camas decision maker.

(f) Street tree planters will be covered with American with Disability ("ADA") accessible tree grates that are a minimum of six feet by six feet, street tree placement shall not impede pedestrian access and shall allow for a minimum six foot path of travel (the ADA accessible tree grates may be placed within the path of travel to meet these specifications).

(g) No exception is requested.

(h) Street trees will be irrigated per Appendix D of the DDM.

(i) The street tree planters will include root barriers.

4. Hardscape Elements

(a) Furnishings

(1) Seating and trash receptacles will be provided in the plaza area of the project.

(2) A bench will be placed along 6th and 7th avenue. The slope is too abrupt along Birch Street to accommodate level seating.

(3) Drinking fountains are not proposed.

(4) A trash receptacle will be placed along 6th and 7th avenue. The slope is too abrupt along Birch Street to accommodate an additional receptacle. Additional receptacles will be provided in the plaza area as part of the future retail space tenant improvement.

(5) A bike rack will be placed along 6th and 7th avenue. The slope is too abrupt along Birch Street to accommodate level seating

(6) A water feature is not proposed.

(7) The bike racks with serve as public art for the project.

(b) Street Lighting

(1,2) Street lighting will be provided, specified and installed in cooperation with the City of Camas.

5. Screening Standards

(a) General

(1) Any screening elements will be planting on the property.

(2) No planting will be within the public right-of-way

(b) The parking area will be setback from the public right-of-way.

(c) Service / trash collection areas are interior to the buildings.

(d) Screen Materials

(7) Patmore Ash and Greenspire Japanese Euonymus screen the parking area.

6. Pedestrian and Parking Lot Surfaces

(a) Pedestrian Surfaces

(1) A concrete extension of the sidewalk will be provided at the plaza.

(2) All right-of-way improvements will be in compliance with city standards.

(b) Parking Lot Surfaces

(1) The parking area will be asphalt.

(c) ADA Accessibility

(1) All site and required building elements will meet ADA accessibility guidelines.

E. Architectural Standards

1. Site Planning

(a) All main public entrances are oriented towards streets.

(b) The parking area is central to the site and occupies less than 10% of the project frontage.

(c) A plaza is provided along 6th Avenue.

(d) Refuse storage will be adequate and will be located inside of Building A.

(e) The existing site is unimproved.

(f) Downspouts will feed to underground drains.

2. Signage

(a) Signage will be design in accordance with the City of Camas Sign Ordinance.

3. Building Façade

(a) All building façade use multiple materials, colors and forms to architectural interest.

(b) Generous glazing is provided along 6th Avenue (greater than 50%). The slope along Birch Street provides challenges in Building A to provide 40% glazing due to floor level locations, Building B meets the requirement along Birch Street.

(c) Pedestrian rain protection is limited to 6th Ave, which provides 90.5% cover. It is our opinion that rain protection is much less important along Birch Street and 7th Avenue as pedestrian (non-resident) traffic is most likely limited to the neighborhood north of the site.

(d) The building design detailing incorporates changes in material texture and color. Rain protection and balconies area present at all street facing façades. A two-part cornice is proposed at the top of each exterior wall. Building trim and bump outs frame elements and aid in in-plane material changes.

(e) The proposed exterior materials include fiber cement lap siding and panel siding, concrete and vertical cedar wood.

(f) No vinyl or plywood siding will be used.

(g) Any and all rooftop equipment will be screened from view by a parapet that is at least equal in height to the equipment and will be painted to match the roofing material.

(h) Subtle tones have been selected for the base colors to showcase the color of the cedar siding.

C. Availability and accessibility of adequate public services such as roads, sanitary and storm sewer, and water to serve the site at the time development is to occur, unless otherwise provided for by the applicable regulations;

We anticipate that the existing utilities are adequate for the project presented. See utility plan for locations of proposed connections to existing utilities. See below for existing conditions of storm, sanitary and water pipes. Vehicular access to and from the site is more than adequate and we do not anticipate any unreasonable additional strain on the existing surrounding roadway system.

Sanitary Sewer: Existing 8" dia. csp conventional gravity main sanitary sewer in 7th Avenue.

Storm Sewer: Existing 10" dia. csp storm system in 7th Avenue.

Water: 6" cast-iron waterline in 7th Avenue.

D. Adequate provisions are made for other public and private services and utilities, parks and trails (e.g., provide copies of private covenant documents);

Parks and trails will not be affected by this development. A licensed civil engineer and architect will be working with the City of Camas to ensure that this project meets all of the requirements for public and private services as defined by the city.

E. Adequate provisions are made for maintenance of public utilities; and

The project team will be working with the city to define any and all necessary measures to ensure that maintenance of the public utilities is accessible and meets the criteria set forth by the city.

F. All relevant statutory codes, regulations, ordinances and compliance with the same. The review and decision of the city shall be in accordance with the provisions of CMC Chapter 18.55 Administration and Procedures.

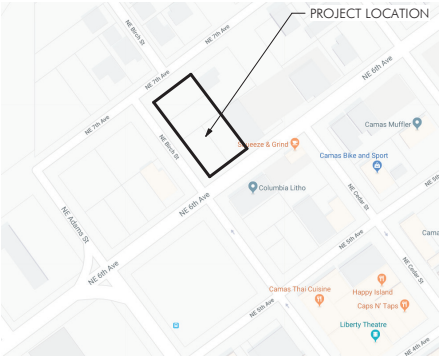
It is our opinion that the information provided in this document and the accompanying documents and drawings submitted for review is sufficient for the city to render a decision on Site Plan and Design Review for this proposed project.

NEW DEVELOPMENT FOR:

CAMAS MIXED-USE

NE CORNER OF 6TH AVE AND BIRCH ST
CAMAS, WASHINGTON 98607

VICINITY GRAPHIC MAP



SITE GRAPHIC MAP

DRAWINGS LIST:

GENERAL DRAWINGS
G1 COVER SHEET

CIVIL DRAWINGS
C1 SITE PLAN
C2 UTILITY PLAN
C3 DRAINAGE PLAN
C4 CIRCULATION PLAN
C5 LIGHTING PLAN

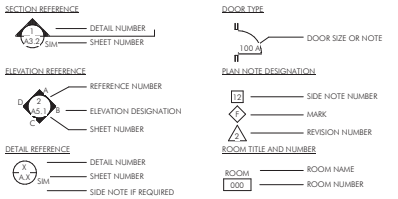
LANDSCAPED DRAWINGS
L1 LANDSCAPE PLAN

ARCHITECTURAL DRAWINGS
A2.1A BUILDING A-LEVEL 1 PLAN
A2.2A BUILDING A-LEVEL 2 PLAN
A2.3A BUILDING A-LEVEL 3 PLAN
A3.1A BUILDING A-EXTERIOR ELEVATION
A3.2A BUILDING A-EXTERIOR ELEVATION
A3.3A BUILDING A-EXTERIOR ELEVATION
A3.4A BUILDING A-EXTERIOR ELEVATION

ARCHITECTURAL DRAWINGS
A2.1B BUILDING B-LEVEL 1 PLAN
A2.2B BUILDING B-LEVELS 2 AND 3 PLAN
A3.1B BUILDING B-EXTERIOR ELEVATION
A3.2B BUILDING B-EXTERIOR ELEVATION
A3.3B BUILDING B-EXTERIOR ELEVATION
A3.4B BUILDING B-EXTERIOR ELEVATION

SURVEY DRAWINGS
V1 TOPOGRAPHIC SURVEY

SYMBOL LEGEND:



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PROJECT # 17-163
DATE: 3/21/2018

REVISIONS

NEW DEVELOPMENT FOR:
CAMAS MIXED-USE
NE CORNER OF 6TH AVE. AND BIRCH ST. - CAMAS, WA

SHEET:
G1

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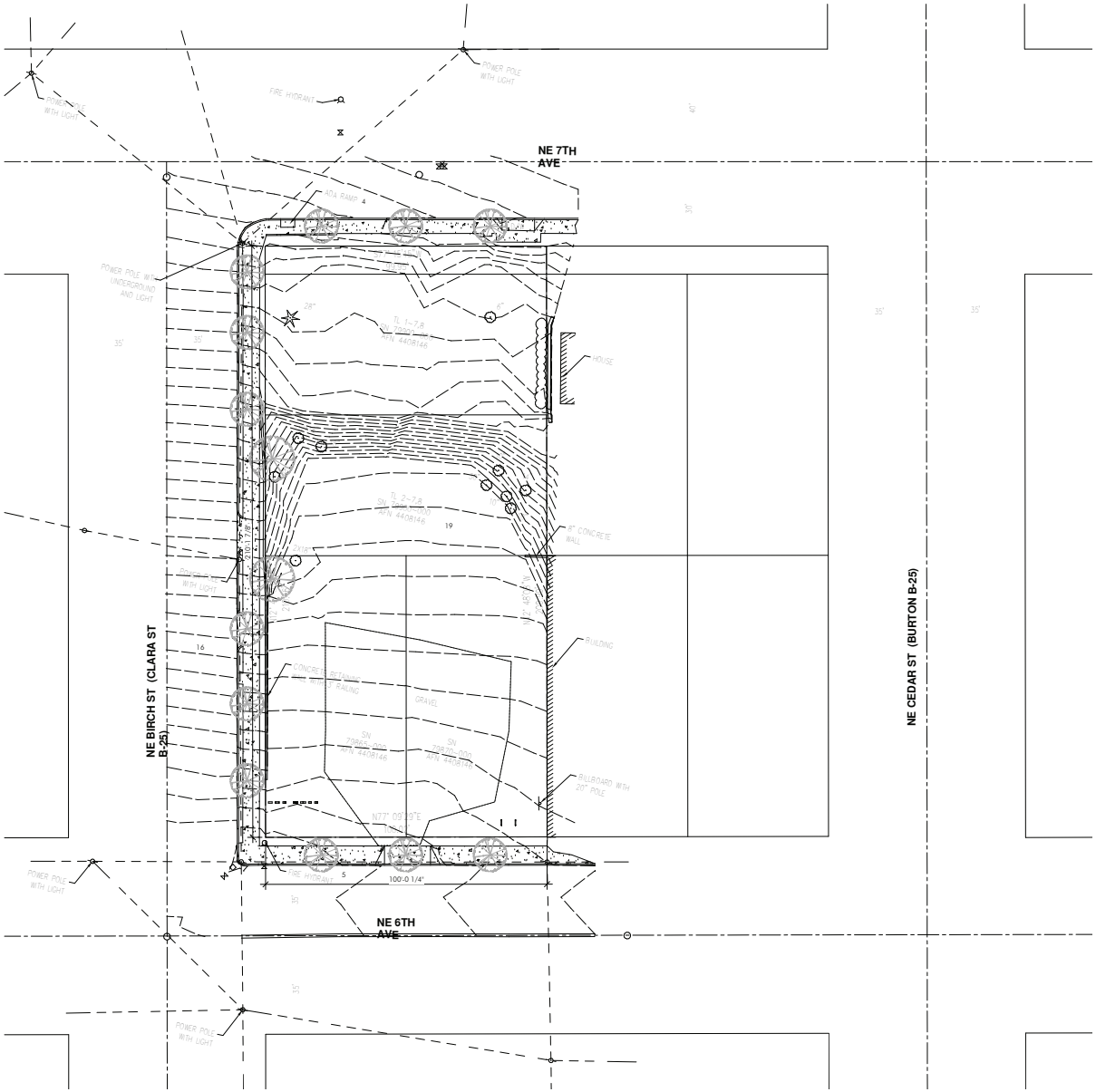
NOTE: CONTOURS ARE AT 1'-0" INTERVALS.



1 EXISTING CONDITIONS

0 5 10 20 40 60

1" = 20'-0"

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DATE: 3/21/2018

REVISIONS

NEW DEVELOPMENT FOR:

CAMAS MIXED-USE

NE CORNER OF 6TH AVE. AND BIRCH ST. - CAMAS, WA

SHEET:

V1

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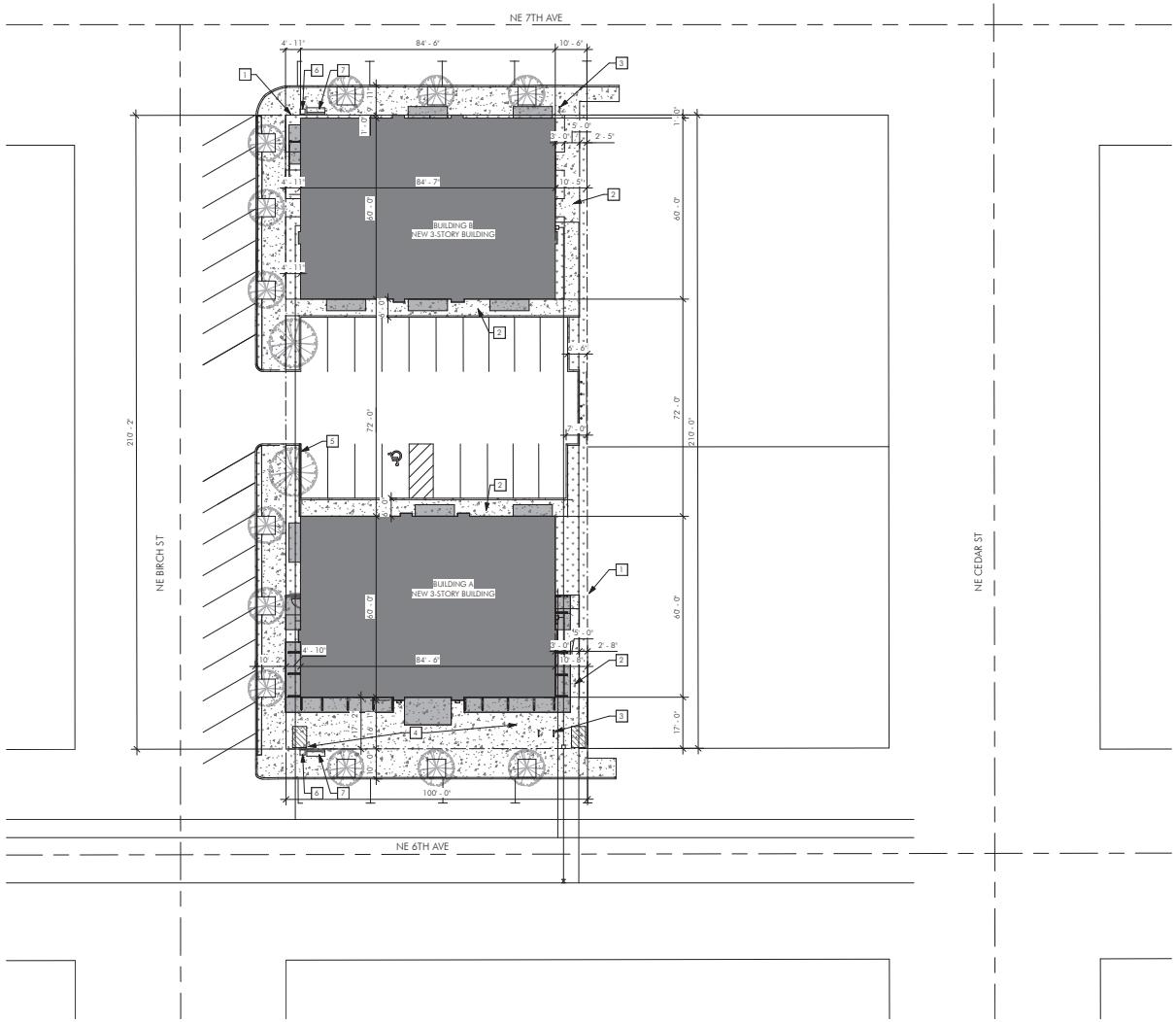

1 SITE PLAN

0 5 10' 20' 40' 60' 1" = 20'-0"

SITE GENERAL NOTES:

1. THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVES. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
2. PROVIDE CONSTRUCTION FENCING AS REQUIRED TO SECURE SITE AND BUILDING DURING CONSTRUCTION.
3. EXTREME CARE SHOULD BE TAKEN TO PRESERVE EXISTING ROOTS OF TREES TO REMAIN.
4. REFER TO CIVIL DRAWINGS FOR GRADING. SITE IS REQUIRED TO MEET THE LAWS OF FHA AND ADA. ACCESSIBLE ROUTES SHALL NOT EXCEED 5% (1 IN 20) OR CROSS SLOPES SHALL NOT EXCEED 2% (1 IN 50). ALL AT GRADE SIDEWALKS ARE ACCESSIBLE ROUTES.
5. JOINTS IN CONCRETE WALKS NOTED AS E.J. ARE TO BE CONSTRUCTED AS EXPANSION JOINTS. ALL OTHER JOINTS SHOWN, TO BE TOOLED CONTROL JOINTS, SEE CIVIL.
6. SEE LANDSCAPE DRAWINGS FOR LANDSCAPE AND IRRIGATION ELEMENTS.
7. SEE ELECTRICAL DRAWINGS FOR SITE LIGHTING.

SITE PLAN LEGEND:

- BUILDING AREA
- BUILDING OVERHANG ABOVE
- LANDSCAPING
- CONCRETE FLOOR/SIDEWALK/PAD

SITE PLAN NOTES:

1. PROPERTY LINE.
2. CONCRETE WALKWAY, MIN 5' WIDTH TO ALL MAIN ENTRIES AND SITE AMENITIES.
3. BIKE RACKS. DESIGN TBD, WILL CONTRIBUTE AS PUBLIC ART.
4. PLAZA.
5. RETAINING WALL TO BE NO TALLER THAN 6'. PROVIDE GAURDRAIL ABOVE.
6. WASTE RECEPTACLE WITHIN R.O.W.
7. BENCH WITHIN R.O.W.

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DATE: 3/21/2018

REVISIONS

NEW DEVELOPMENT FOR:

CAMAS MIXED-USE

NE CORNER OF 6TH AVE. AND BIRCH ST. - CAMAS, WA

SHEET:

C1

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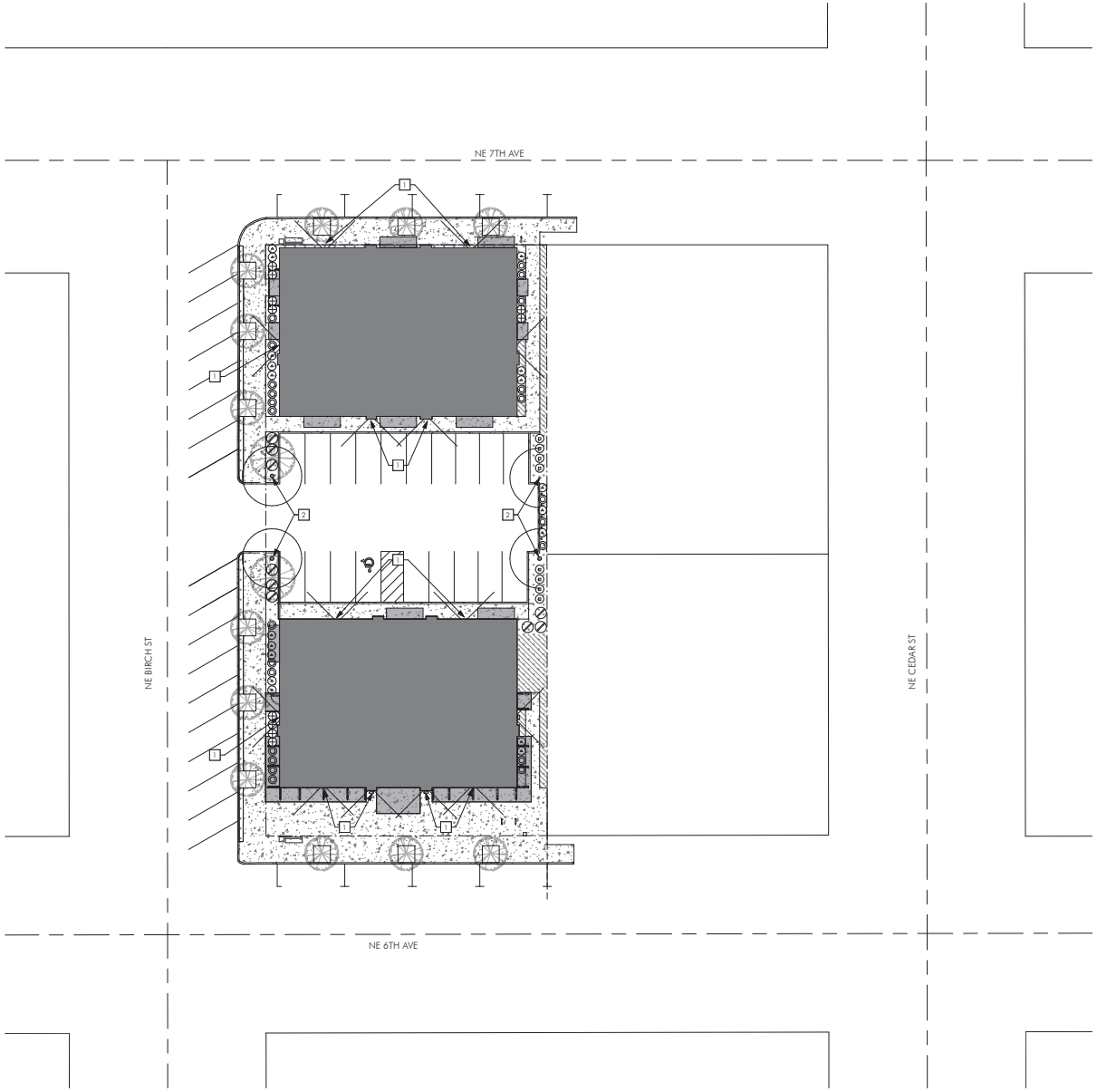

1 LIGHTING PLAN

0 5 10 20 40 60 1" = 20'-0"

LIGHTING NOTES:

1. WALL PAC LIGHT WITH BOTTOM OF LIGHT MIN 80" ABOVE WALKWAY. SUPPLY AS NECESSARY TO PROVIDE 2FC ALONG RESIDENTIAL PATH.
2. BOLLARD LIGHT. SUPPLY WHERE SHOWN AND AS NECESSARY TO PROVIDE 2FC ALONG RESIDENTIAL PATH.

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NEW DEVELOPMENT FOR:

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NE CORNER OF 6TH AVE. AND BIRCH ST. - CAMAS, WA

SHEET:

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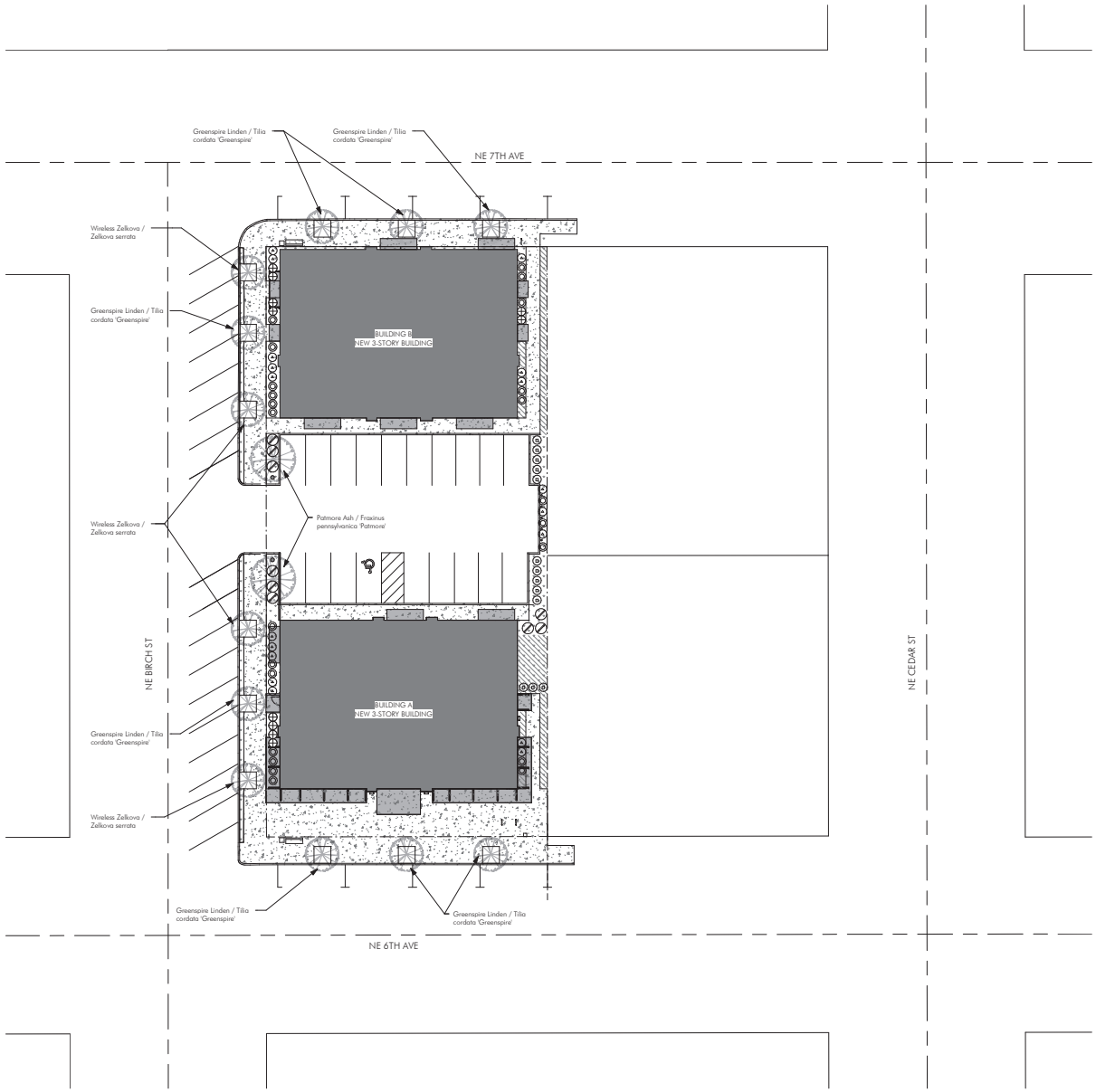

1 LANDSCAPE PLAN

0 5 10 20 40 60' 1" = 20'-0"

LANDSCAPE LEGEND

- Greenspire Japanese Euonymus / Euonymus japonicus 'Greenspire' - 5 Gal.
- Fragrant Sarcococca / Sarcococca confusa - 5 Gal.
- LA Dreamin Hydrangea / Hydrangea macrophylla 'Lindsey Ann' - 5 Gal.
- Anthony Waterer Spirea / Spiraea x bumbalda 'Anthony Waterer' - 5 Gal.
- David Viburnum / Viburnum davidii - 5 Gal.
- Massachusetts Kinnikinnick / Kinnikinnick uva-ursi 'Massachusetts' - 4" Pot @ 1' O.C.

Notes:

New tree well to meet ADA requirements and city design design standards. Dimensions to be 6'-0"x6'-0".

Per Camas Municipal Code *18.13.050 – Landscaping Standards*

D. Deciduous trees shall have straight trunks, be fully branched, have a minimum caliper of two inches, be equivalent to a fifteen-gallon container size, and be adequately staked for planting.

E. Evergreen trees shall be a minimum of five feet in height, fully branched, and adequately staked for planting.

F. Shrubs shall be a minimum of five-gallon pot size. Upright shrubs shall have a minimum height at planting of eighteen inches. Spreading shrubs at planting shall have a minimum width of eighteen inches (smaller shrub sizes may be approved where it is more appropriate within a particular landscape plan).

G. Ground cover, defined as living material and not including bark chips or other mulch, shall at planting, have a maximum spacing of twelve inches on center for flats, and a maximum twenty-four inches on center between mature plants from containers of one gallon or larger.

H. Appropriate measures shall be taken, e.g., installation of irrigation system, to assure landscaping success. If plantings fail to survive, it is the responsibility of the property owner to replace them.

I. Required trees, as they grow, shall be pruned in accordance with the International Society of Arboriculture. The pruned tree will provide at least eight feet of clearance above sidewalks and twelve feet above street roadway surfaces.

Per Camas Downtown Design Review Manual.

Street trees shall be a minimum of 2-inch caliper, fully branched, and staked at the time of planting.

Street Trees shall be maintained to provide eight feet of clearance area under the canopy at the sidewalk and 10 feet of clearance at the street, per Figure 3.

Street trees shall be planted on all street frontages at minimum 30 feet on-center spacing, as measured along the abutting curb.

Street tree planters shall be covered with American with Disability ("ADA") accessible tree grates that are a minimum of six feet by six feet, street tree placement shall not impede pedestrian access and shall allow for a minimum six foot path of travel (the ADA accessible tree grates may be placed within the path of travel to meet these specifications).

Street trees shall be irrigated per Appendix D if the DDM.

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PROJECT # 17-163
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REVISIONS

NEW DEVELOPMENT FOR:
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SHEET:
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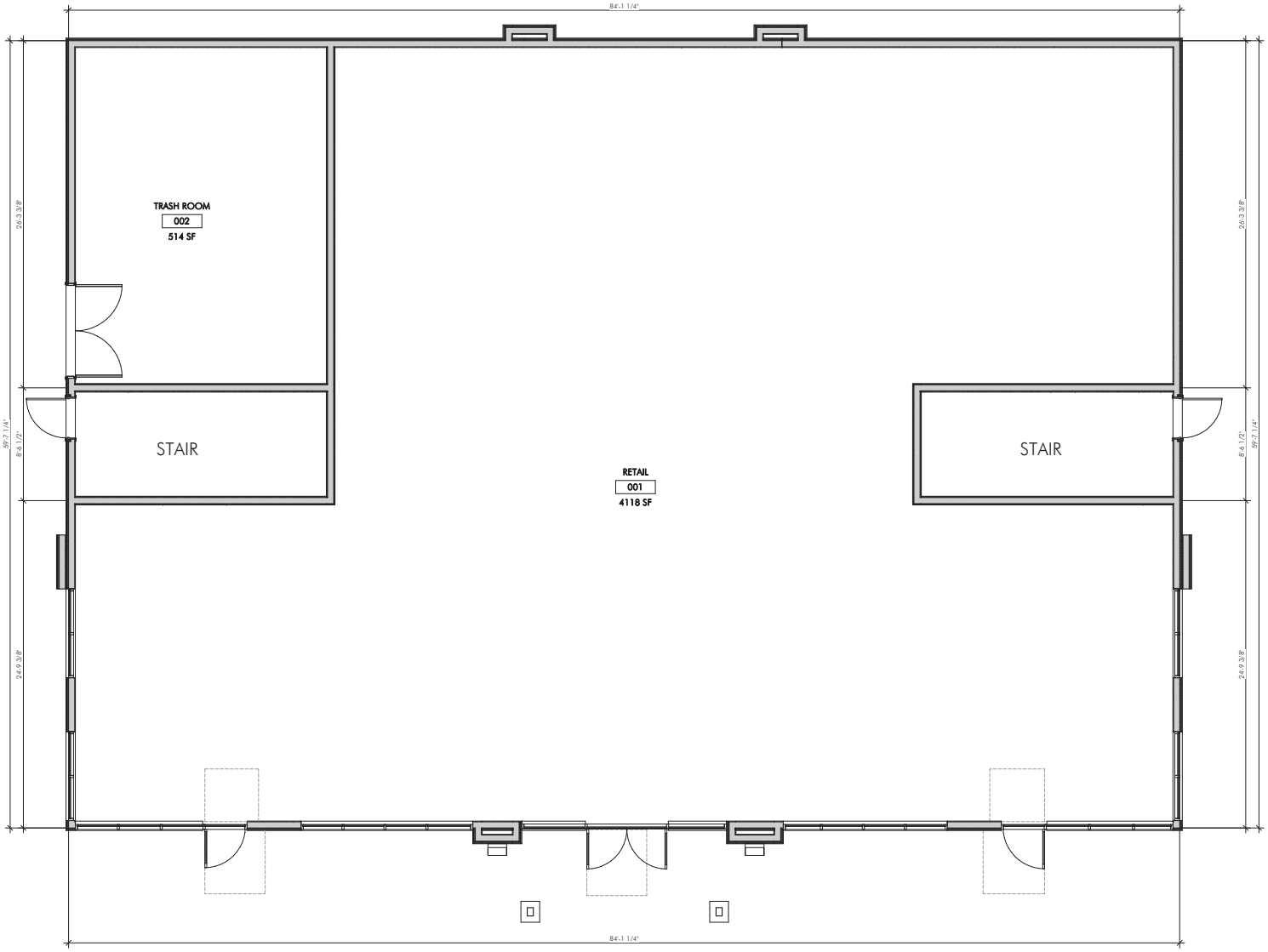

1 BUIDLING A - FIRST FLOOR PLAN

0 1 2 4 8 12 1/4" = 1'-0"

PLAN LEGEND:

NOTE: SEE G2.01 AND G2.02 FOR ADA CLEARANCE REQUIREMENTS INDICATED BY CLEAR SPACES SHOWN BELOW.

- WASHER/DRYER UNIT WITH WATER, DRAIN AND VENT HOOKUPS. COMBO UNIT IN TYPE 'A' UNITS, STACKED IN ALL OTHER UNITS.
- 2-BURNER ELECTRIC STOVE TOP.
- REFRIGERATOR.
- VANITY MOUNTED LAVATORY.
- SINGLE COMPARTMENT S.S. KITCHEN SINK.
- FLOOR MOUNTED FLUSH TANK TOILET.
- F.E.C. RECESSED FIRE EXTINGUISHER CABINET WITH FIRE EXTINGUISHER.
- RECESSED ELECTRICAL PANEL.
- EXIT LIGHT. INTEGRAL EGRESS LIGHTING. PROVIDE MINIMUM 1 FOOT CANDLE AT PATH OF TRAVEL. MAX 5 WATTS AT SIGN.
- EMERGENCY EGRESS LIGHTING. PROVIDE MINIMUM 1 FOOT CANDLE AT PATH OF TRAVEL.
- SMOKE DETECTOR C/W SOUNDER BEACON.

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DATE: 3/21/2018

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NE CORNER OF 6TH AVE. AND BIRCH ST. - CAMAS, WA

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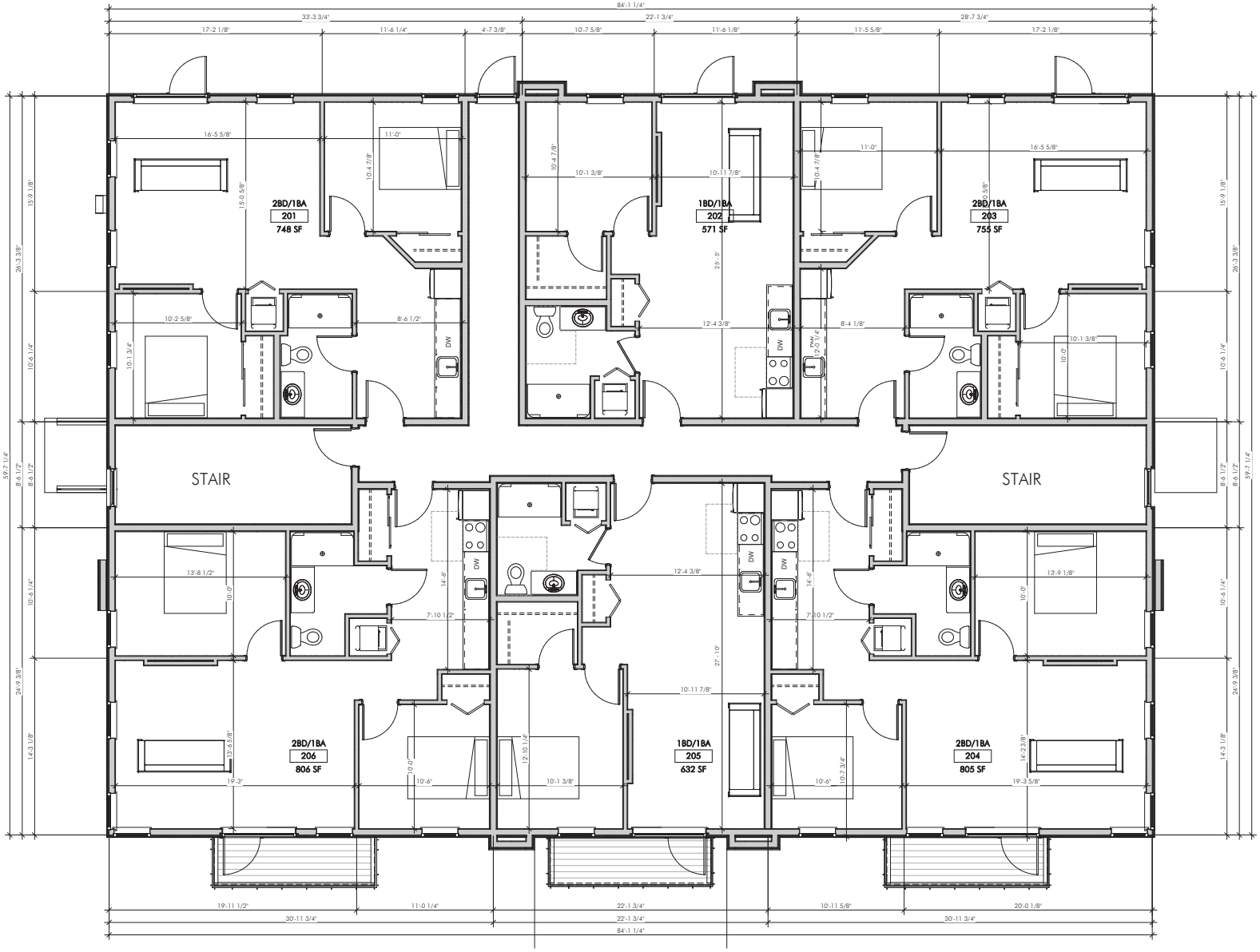

1 BUILDING A - SECOND FLOOR PLAN

0 2 4 8 12

1/4" = 1'-0"

PLAN LEGEND:

NOTE: SEE G2.01 AND G2.02 FOR ADA CLEARANCE REQUIREMENTS INDICATED BY CLEAR SPACES SHOWN BELOW.

- WASHER/DRYER UNIT WITH WATER, DRAIN AND VENT HOOKUPS. COMBO UNIT IN TYPE 'A' UNITS, STACKED IN ALL OTHER UNITS.
- 2-BURNER ELECTRIC STOVE TOP.
- REFRIGERATOR.
- VANITY MOUNTED LAVATORY.
- SINGLE COMPARTMENT S.S. KITCHEN SINK.
- FLOOR MOUNTED FLUSH TANK TOILET.
- F.E.C. RECESSED FIRE EXTINGUISHER CABINET WITH FIRE EXTINGUISHER.
- RECESSED ELECTRICAL PANEL.
- EXIT LIGHT. INTEGRAL EGRESS LIGHTING. PROVIDE MINIMUM 1 FOOT CANDLE AT PATH OF TRAVEL. MAX 5 WATTS AT SIGN.
- EMERGENCY EGRESS LIGHTING. PROVIDE MINIMUM 1 FOOT CANDLE AT PATH OF TRAVEL.
- SMOKE DETECTOR C/W SOUNDER BEACON.

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PROJECT # 2017-163
DATE: 3/21/2018

REVISIONS

NEW DEVELOPMENT FOR:

CAMAS MIXED-USE

NE CORNER OF 6TH AVE. AND BIRCH ST. - CAMAS, WA

SHEET:

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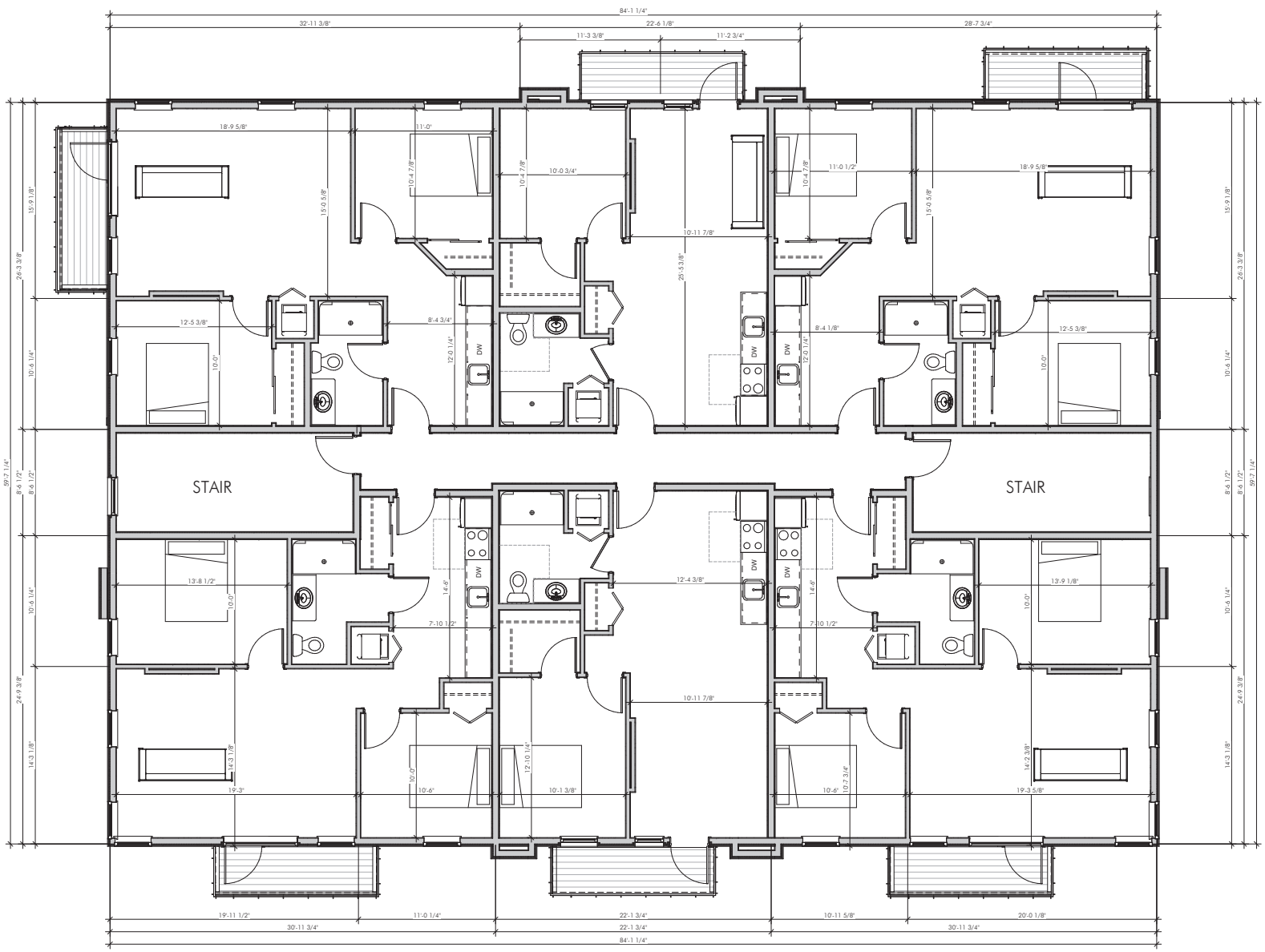

1 THIRD FLOOR PLAN

0 2 4 8 12

1/4" = 1'-0"

PLAN LEGEND:

NOTE: SEE G2.01 AND G2.02 FOR ADA CLEARANCE REQUIREMENTS INDICATED BY CLEAR SPACES SHOWN BELOW.

- WASHER/DRYER UNIT WITH WATER, DRAIN AND VENT HOOKUPS. COMBO UNIT IN TYPE 'A' UNITS, STACKED IN ALL OTHER UNITS.
- 2-BURNER ELECTRIC STOVE TOP.
- REFRIGERATOR.
- VANITY MOUNTED LAVATORY.
- SINGLE COMPARTMENT S.S. KITCHEN SINK.
- FLOOR MOUNTED FLUSH TANK TOILET.
- F.E.C. RECESSED FIRE EXTINGUISHER CABINET WITH FIRE EXTINGUISHER.
- RECESSED ELECTRICAL PANEL.
- EXIT LIGHT. INTEGRAL EGRESS LIGHTING. PROVIDE MINIMUM 1 FOOT CANDLE AT PATH OF TRAVEL. MAX 5 WATTS AT SIGN.
- EMERGENCY EGRESS LIGHTING. PROVIDE MINIMUM 1 FOOT CANDLE AT PATH OF TRAVEL.
- SMOKE DETECTOR C/W SOUNDER BEACON.

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1 BUILDING A- SOUTH ELEVATION

0 4 8 12 1/4" = 1'-0"

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19. 5/4" X 5 1/2" FIBER CEMENT TRIM BOARD

1 BUILDING A - WEST ELEVATION

0 1' 2' 4' 8' 12' 1/4" = 1'-0"

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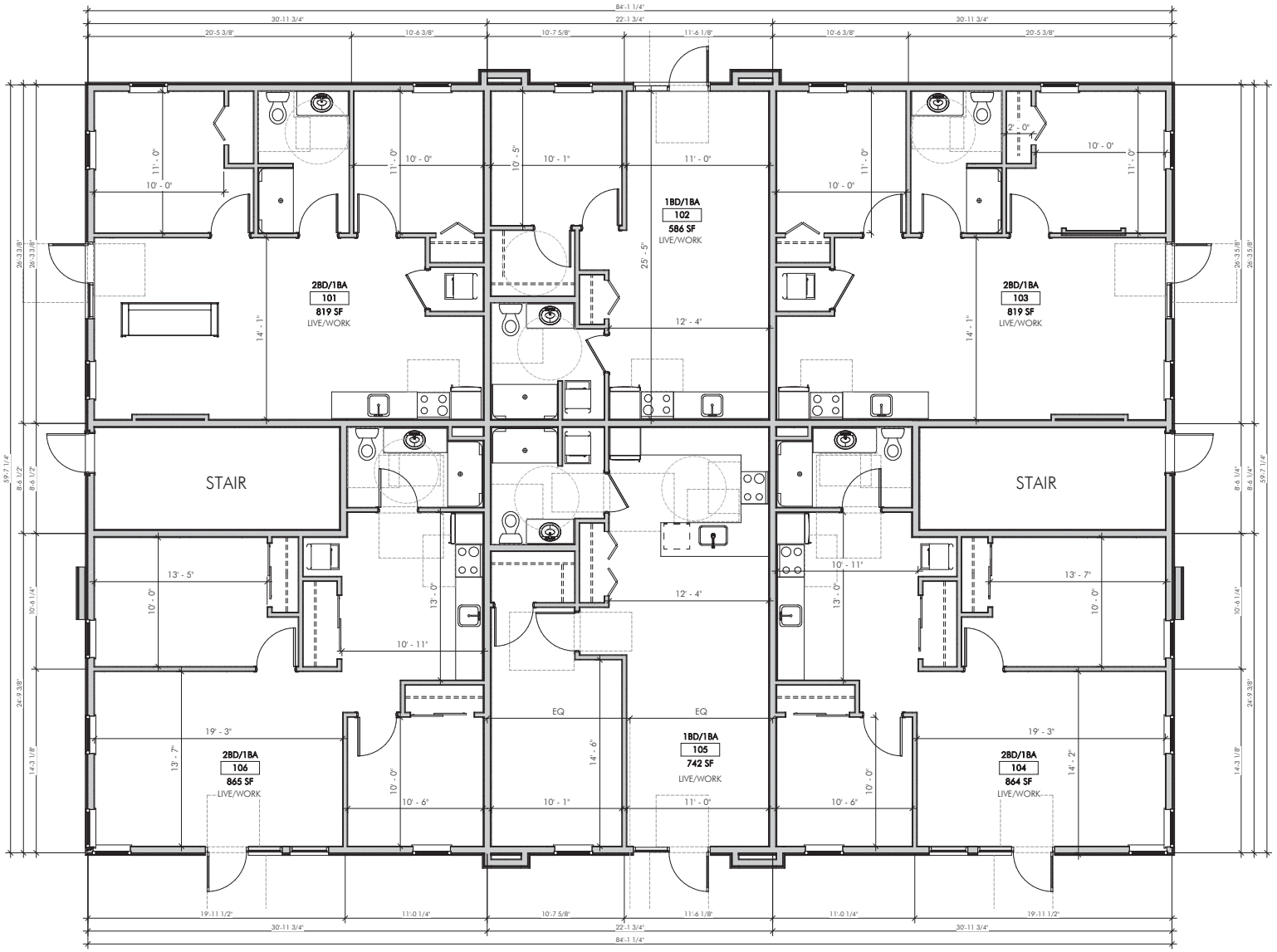

1 BUILDING B - FIRST FLOOR PLAN

0 4 8 12

1/4" = 1'-0"

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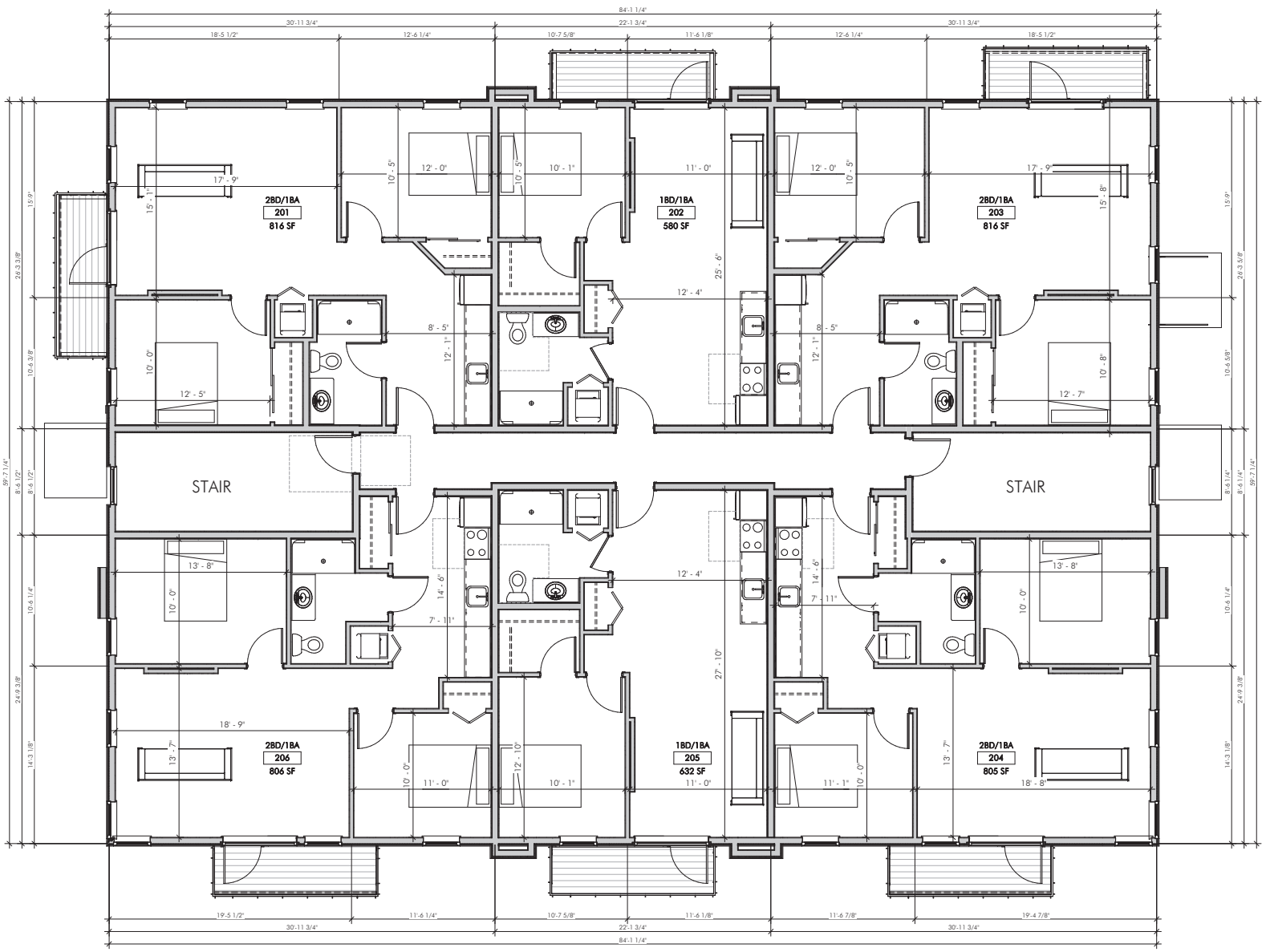

1 BUILDING B - SECOND AND THIRD FLOOR PLAN

1/4" = 1'-0"

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17. 5/4" X 5 1/2" FIBER CEMENT TRIM BOARD

1 BUILDING B - SOUTH ELEVATION

0 4 8 12 1/4" = 1'-0"

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0 2 4 8 12 1/4" = 1'-0"

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1 BUILDING B - NORTH ELEVATION

0 1' 2' 4' 8' 12' 1/4" = 1'-0"

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1 BUILDING B - WEST ELEVATION

0' 1' 2' 4' 8' 12'

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VIEW ALONG 6TH STREET

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Downtown Design Manual

City of Camas, Washington

Adopted by Resolution No. 1136 on September 2, 2008

Amended by Resolution No. 1301 on July 21, 2014

Adopted by Resolution No. 1136
September 2, 2008
Revised by Resolution No. 1301
July 21, 2014

Downtown Design Manual

City of Camas, Washington

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Credits and Acknowledgements

Camas City Council
Paul Dennis, Mayor
Greg Anderson
Don Cheney
Linda Dietzman
Helen Gerde
Scott Higgins
Steve Hogan
Melissa Smith

Planning Commission
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Carol Collier
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Design & Infrastructure Committee

City Administration
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City Staff
Phil Bourquin, Community Development Director
James Carothers, Engineering Manager
Sarah Fox, Planner II
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A. How to Use this Document

The Downtown Design Manual has been developed by downtown business owners in conjunction with the City of Camas. This document provides general requirements geared towards businesses considering renovations, expansions, or new site development.

The following process is suggested:

1. Read this document and note requirements that may apply to your project. Be sure to review the Appendix section. All words included in the Definitions appendix have been underlined (and are noted as bold) within this manual. Example: **Definition**

2. Review and define your project, then re-read this document.

3. If you have questions, contact the City of Camas Planning Division (360) 817-1562 to review your project. City staff will be happy to discuss your project and how it relates to this Downtown Design Manual, as well as other City codes.

B. Purpose

The Downtown Design Manual is intended to provide guidance for new development and redevelopment within the existing downtown core. This type of development is further expected to:

1. Achieve the goals and objectives of the City of Camas Comprehensive & Capital Facilities Plan;

2. Enhance livability, environmental quality and economic vitality with a mix of uses downtown;

3. Maximize efficient use of public facilities and services;

4. Create a safe, attractive, and convenient environment for a variety of uses including living, working, and recreating with retail businesses on the street level and housing/office units on upper levels;

5. Encourage economic development in the area by creating an environment that attracts a broad and diversified consumer base to the downtown core;

6. Encourage an economically viable atmosphere that will attract new business to the downtown core.

7. Encourage sustainable development practices.

C. Applicability / General Requirements

1. The provisions of this section shall be applied to public spaces and private parcels located within the City of Camas downtown commercial zone. (Refer to Figure 1) The boundary is intended to include both sides of the street.

2. Private parcels shall be required to implement the improvements identified within this section for:

   (a) all new uses;

   (b) all **changes of use**;

   (c) the expansion of any building or development as defined in Camas Municipal Code ("CMC") Section 18.18.020(A) exceeding twenty percent of the existing floor or site area, or any one thousand square foot addition or increase in impervious coverage thereto, whichever is lesser.

Applicability Map

Note: This map depicts the 2008 Downtown Commercial Zone. Refer to the City of Camas for the most current zone boundaries.

Figure 1

3. The following activities are exempt from the requirements of this section.

   (a) Routine or emergency repair or maintenance of public or private buildings, structures, landscaping or utilities;

   (b) Interior remodeling.

4. If the requirements of the Downtown Design Manual conflict with other regulations, the more stringent of the two shall apply.

5. All work associated with the implementation of the Downtown Design Manual on private parcels shall be constructed and maintained by the land owner, unless otherwise noted.

6. All required improvements shall be subject to Design Review (CMC 18.19) prior to building permit issuance. In addition, projects may be subject to Site Plan Review (CMC 18.18) prior to building permit issuance. Project proponents are urged to contact the City of Camas for all required approval processes.

7. All work shall be completed in accordance with City of Camas Municipal Code.

8. Refer to Appendix B for a Required Elements Matrix.

9. Standards, materials, finishes, and colors specified within this manual, and the attached appendices, may be substituted with other similar elements with review by the Design Review Committee and approval by the City of Camas decision maker.

D. Streetscape Elements

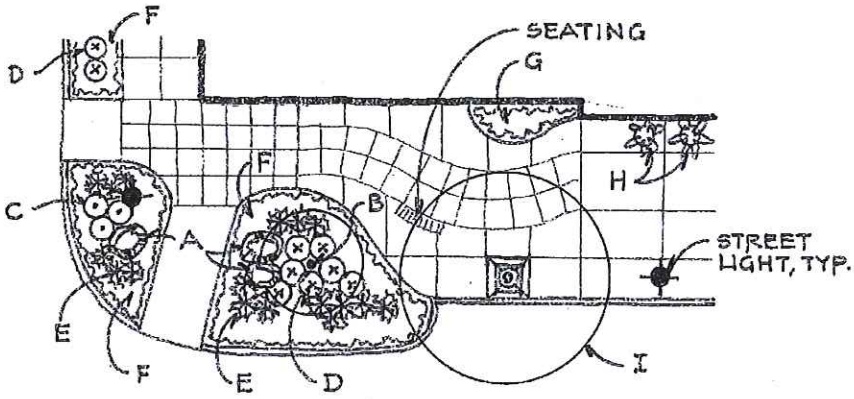
The Downtown Design Manual is intended to provide a high degree of landscape amenities, tree lined streets, attractively landscaped **frontages**, screening of service areas, street furnishings, and pedestrian areas as part of a unified design.

1. Planting Design

(a) On-site plantings that abut the public right of way shall provide multiple layers of plantings, including **canopy trees**, **understory trees**, **shrubs** and **groundcover**. Seasonal interest is encouraged to be enhanced through the use of plant materials that provide **seasonal color**, **fragrance**, and **specimen plant** materials. Refer to Figure 2 for a planting example.

(b) Landscape materials shall be installed per Appendix D. Landscaping should not exceed 30" high on corners.

(c) Hanging baskets shall be installed so that the bottom of the basket is a minimum of 80 inches (6'8") above the finished grade of the public sidewalk. An exception to this is provided when an effective barrier such as a raised planter box, potted plant, or other physical barrier is located on the ground in such a way as to effectively mitigate a hazard created by the hanging basket.



A OPTIONAL BOULDERS
B SMALL ACCENT TREE
C LOW EVERGREEN SHRUBS
D LOW OR MEDIUM EVERGREEN SHRUBS
E PERENNIALS
F ORNAMENTAL GRASSES AND/OR GROUND COVER
G PLANTER POCKET WHERE PRACTICAL W/ ESPALIER & ANNUALS
H FLOWER POTS
I STREET TREE

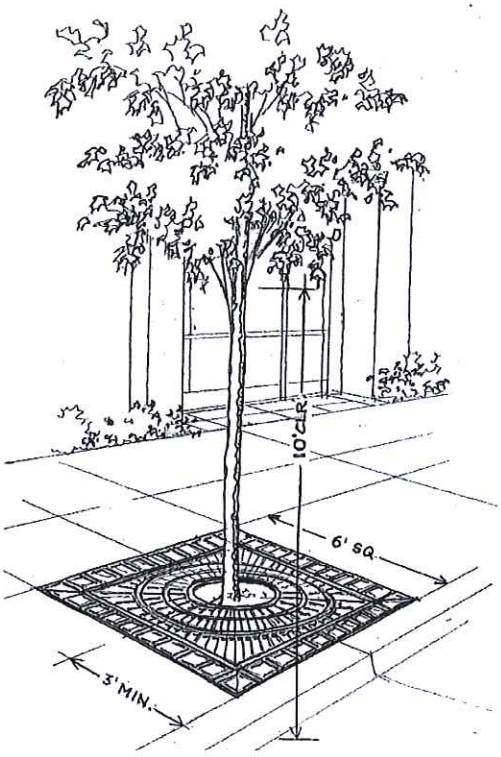
Planting Design Example Figure 2

(d) All plant materials shall meet or exceed specifications established by the American Association of Nurserymen for nursery stock, and be suitable for the climatic conditions encountered in Camas, Washington.

(e) A landscape maintenance plan per the American Association of Nurserymen's standards, and approved by the City of Camas, shall be recorded as a **covenant** on the project parcel for **landscaping located on private property**,

2. Irrigation Design

(a) All landscape plantings shall be irrigated with an automatic, underground irrigation system designed with water conservation in mind. Utilization of techniques such as separate water zones based on soil type, sun exposure, and plant water requirements are encouraged. Hanging baskets and individual planter pots may be hand watered. All irrigation materials located within the public right-of-way shall utilize the materials and construction techniques as listed in Appendix D and the City of Camas Design Standards Manual.



Street Tree Placement
Figure 3

3. **Street Tree**s

(a) Trees selected for use as **street tree**s shall be long-lived species possessing qualities suitable for an urban streetscape including branching characteristics, rooting characteristics, disease resistance, and non-fruiting. **Street Tree**s shall be selected from Appendix "C" or the Camas Design Standard Manual (This manual is available online at http://www.ci.camas.wa.us/ pworks/engforms.htm).

(b) **Street tree**s shall be a minimum of 2-inch caliper, fully branched, and staked at the time of planting.

(c) **Street Tree**s shall be maintained to provide eight feet of clearance area under the canopy at the sidewalk and 10 feet of clearance at the street, per Figure 3.

(d) **Street tree**s shall be planted on all street **frontage**s at minimum 30 feet on-center spacing, as measured along the abutting curb.

(e) **Street tree**s shall be placed a minimum of two and one-half feet from the back of the curb as measured from the center of the tree, unless otherwise specified by the City of Camas decision maker, per Figure 3.

(f) **Street tree** planters shall be covered with American with Disability ("ADA") accessible **tree grate**s that are a minimum of six feet by six feet, **street tree** placement shall not

impede pedestrian access and shall allow for a minimum six foot **path of travel** (the ADA accessible **tree grate**s may be placed within the **path of travel** to meet these specifications).

(g) A limited **tree grate** exception may be granted for instances where **street tree**s must be placed in planter beds. Such planter beds must be at least twice the size of a standard **tree grate** tree planter, must be landscaped per this section, must be irrigated per this section, and must allow for a minimum six foot **path of travel**.

(h) **Street tree**s shall be irrigated per Appendix D.

(i) **Street tree** planters, where allowed, shall include root barriers.

4. **Hardscape** Elements

Hardscape Elements provide a high degree of pedestrian amenity that encourages outdoor social interaction, promotes a sense of place, and public security. The introduction of **hardscape** elements such as natural stone, sculpture, **water feature**s, **drinking fountains**, decorative sidewalks (e.g. scored concrete, colored concrete, pavers, etc.), **enhanced paving**, **accent lighting**, **site furnishings**, recreational facilities, and the like are strongly encouraged.

(a) Furnishings

(1) Furnishings shall consist of benches, **drinking fountains**, trash receptacles, and bike racks. Furnishings shall be placed such as to not impede or constrict pedestrian movement or ADA Accessibility. Outdoor seating associated with a food or beverage business may be authorized in accordance with Appendix "E".

(2) Benches shall be placed within the public sidewalk, private parcels, pocket plazas and parks to encourage social interaction and extend the length of stay in the area. At a minimum one bench should be located on each side of a city block. Where opportunities exist to locate more than one bench, benches should be orientated toward each other to encourage social interaction.

(3) **Drinking fountain**s shall be ADA accessible.

(4) Trash Receptacles shall be placed within the public sidewalk, pocket plaza, and parks to encourage public sanitation and a litter free environment. At a minimum one trash receptacle should be located on each side of a city block near the midpoint of the block. Uses that generate a high potential for immediately disposable trash such as take out restaurants are strongly encouraged (unless

otherwise stated) to locate a trash receptacle within the **frontage** of their establishment.

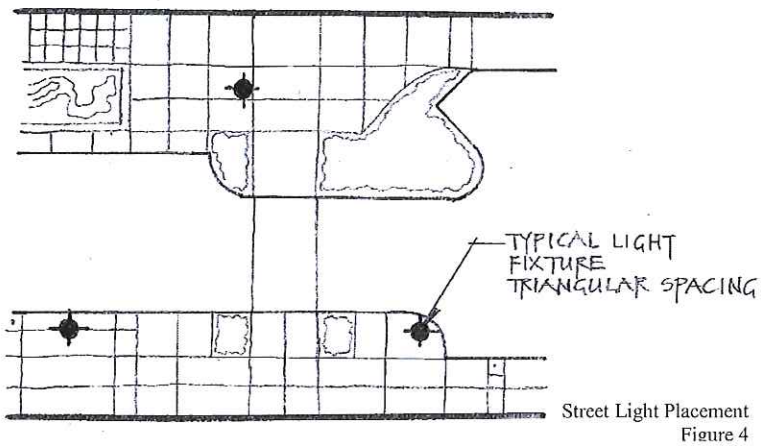
(5) Bike racks shall be placed within the public sidewalk, pocket plaza, and parks to encourage multi modal transportation and pedestrian safety. At a minimum one bike rack should be located on each side of a city block near the midpoint of the block. Uses that generate a high potential for bike parking such as arcades and movie theaters are strongly encouraged (unless otherwise stated) to locate a bike rack within the **frontage** of their establishment.

(6) **Water feature**s are encouraged. Upon review by the Design Review Committee, and approval by the City of Camas decision maker, placement of a **water feature** may be in lieu of some (or all) of the required elements for a particular parcel. The Design Review Committee shall determine which streetscape elements may be substituted by the **water feature**.

(7) **Public art** is required to be provided at one percent of construction cost. Upon review by the Design Review Committee, and approval by the City of Camas decision maker, placement of a permanent **public art** display may be in lieu of some (or all) of the required elements for a particular parcel. The Design Review Committee shall determine which streetscape elements may be substituted by the **public art**.

(b) Street Lighting

(1) Themed ornamental street lighting shall be located along the public right of way. Street lights shall be located utilizing a triangular spacing per Figure 4. The street light (with hanging plant bracket) shall be the City of Camas approved downtown street light.



Street Light Placement
Figure 4

(2) Every lot will not be required to place a streetlight. Street light spacing will dictate those lots required to place street lights. The City of Camas decision maker shall review and approve proposed street light spacing.

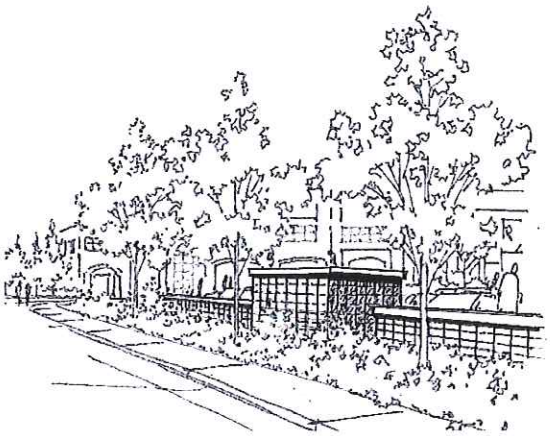
5. Screening Standards

Screening shall be utilized to obscure views of service, parking, and trash collection areas from view from the public right-of-way.

(a) General

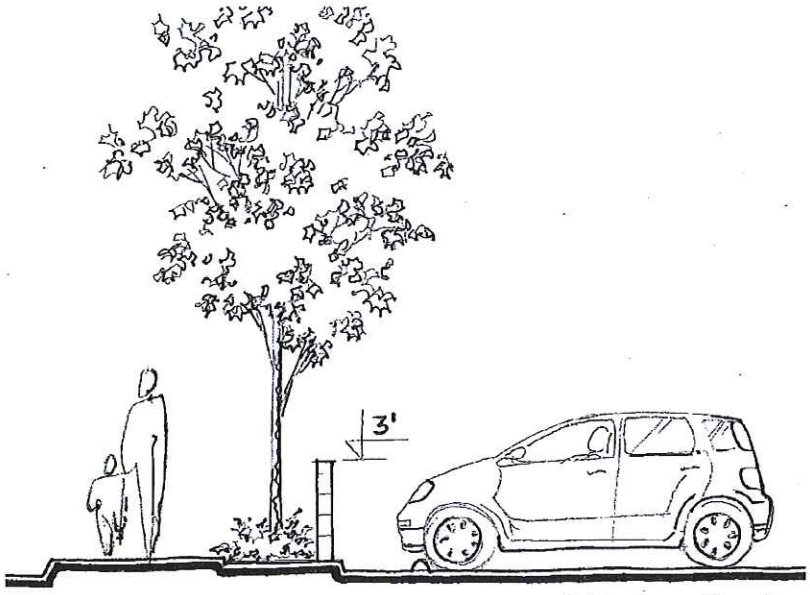
(1) Sight-obscuring **evergreen** vegetation, screen walls, or fences may be erected within the setback area of a private parcel.

(2) Screening shall not be placed within the public right-of-way.



(b) Parking lots abutting the public right-of-way

(1) Shall be screened by a wall or fence three feet in height within a planting strip.



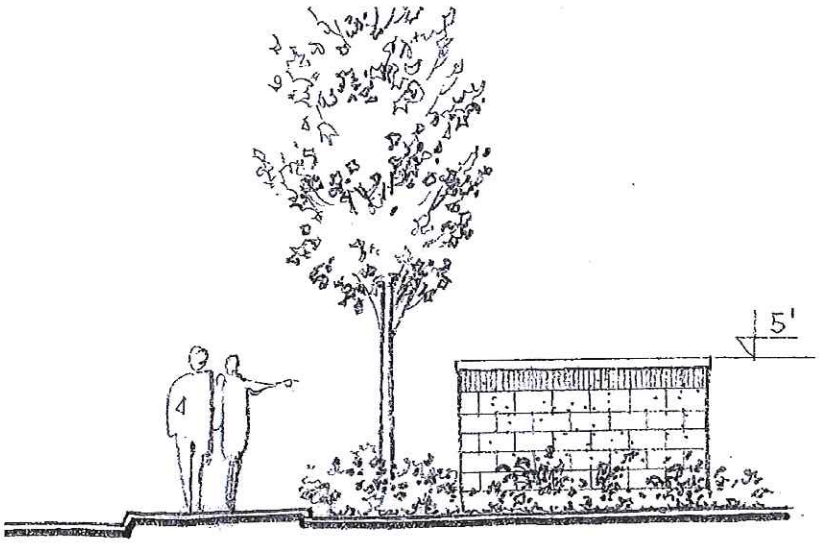
Parking Screen - Figure 5

(2) Where sufficient room exists, small to medium size trees shall be planted twenty feet on center.

(3) The screen shall be placed so as to obscure the view of the parking area from the public right of way.

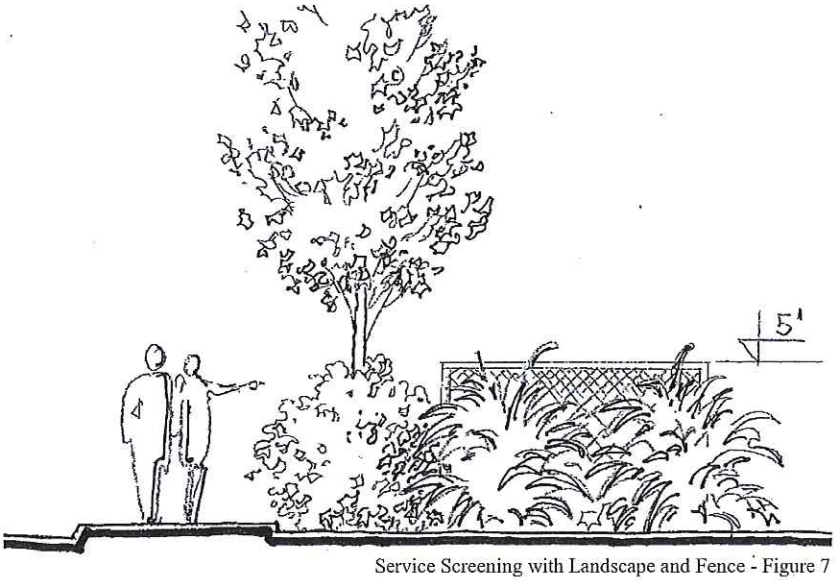
(c) Service / trash collection areas abutting the public right-of-way

(1) Shall be screened by a wall or fence five feet in height within a planting strip.



Service Screening with Landscape and Wall - Figure 6

(2) Where sufficient room exists, small to medium size trees shall be planted twenty feet on center.



Service Screening with Landscape and Fence - Figure 7

(3) Gates providing access to these areas shall be constructed of 100% opaque solid materials.

(d) Screen Materials

(1) The height of any wall, fence, or hedge shall not interfere with safe lines of sight as determined by the City of Camas decision maker.

(2) Barbed wire, razor wire, chain link, and vinyl fencing are prohibited.

(3) Fences and walls shall be constructed of enduring materials such as wood, masonry, and concrete.

(4) Walls and fences shall be 100% opaque.

(5) Wall or fence screens shall provide visual interest through the use of varied building materials, textures, reliefs, architectural details, etc.

(6) To avoid a solid or blank appearance, 20% of the face of walls and fences shall utilize varying materials, colors, and other textures.

(7) Screening that utilizes plant materials shall incorporate plant materials capable of reaching 100% solid **evergreen** screen within three years of planting.

6. Pedestrian and Parking Lot Surfaces

(a) Pedestrian Surfaces

(1) Pedestrian surfaces *outside* of the right-of-way (private property) shall be constructed of an all weather continuous surface such as asphalt, concrete, colored concrete, pavers, etc. Granular materials such as gravel may be approved by the City of Camas decision maker.

(2) Pedestrian surfaces within the public right-of-way shall be concrete per the City of Camas standard sidewalk, unless otherwise reviewed by the Design Review Committee and approved by the City of Camas decision maker.

(b) Parking Lot Surfaces

(1) Parking lot surfaces shall be constructed of an all weather continuous surface (e.g. asphalt, concrete, permeable paving, bricks, interlocking pavers). Gravel and dirt surfaces are not permitted.

(c) ADA Accessibility

(1) Not withstanding any section of the design standards, applicable provisions of the American with Disabilities Act (ADA) shall at all times be implemented within the area. ADA design standards shall be subject to review and approval by the Building Official and City of Camas decision maker.

E. Architectural Standards

1. Site Planning

(a) New construction shall orient the main public entrance toward the public right of way.

(b) Parking areas shall be located to the rear or side of the structure. Parking shall not occupy more than 10% of the project **frontage** along the public right of way. Corner lots may be allowed additional **frontage** parking (on the **minor side street**) with additional screening per review by the Design Review Committee and approval by the City of Camas decision maker. Where possible parking areas shall be accessed from an alley, buildings should be located to provide a continuous colonnade along the public right of way. Parking requirements can be found within Title 18 CMC.

(c) Feature areas should be incorporated to provide outdoor use areas such as sidewalk dining, sidewalk merchandising, courtyards, nooks, balconies, alcoves or terraces.

(d) Sufficient space shall be provided for refuse storage (and required screening) outside of the public right-of-way.

(e) The intent of these standards is not to move existing buildings.

(f) Downspouts shall not direct water across sidewalks.

Example of rain protection

2. Signage

(a) Signage shall be per the City of Camas Sign Ordinance.

3. Building Façade

(a) Building elevations visible from the public right of way should be designed to provide architectural interest and individual character.

(b) **Glazing** fronting the street shall be utilized on a minimum of 40%, to a maximum of 80% of the ground floor elevation abutting the public right of way. Components of Energy Smart Design should be considered where **glazing** is utilized.

(c) **Rain protection** attached to buildings shall be provided along the public right of way consisting of a five foot width minimum cover along 90% of the building facade. The building may not cantilever into the public right-of-way to achieve **rain protection**. **Rain protection** may take the form of a canopy projection, recessed entry, overhead balcony, or combination there of.

(d) Architectural detailing should be utilized to provide visual interest and individual character. Elevations abutting the public right or way should incorporate a high degree of architectural detailing including but not limited to the use of relief panels, **cornice** work, window trim, balconies, overlooks, nooks, alcoves, shade panels, **rain protection**, finish textures, multiple color pallets, and staggered wall sections. Detailing shall be compatible with the existing and surrounding downtown area.

Example of detailing

(e) Building Materials shall be selected for their enduring qualities. Recycled or renewable materials should be utilized where practical. Preferred materials include natural stone, masonry, wood, architectural grade metal, architectural grade composite materials, concrete, precast concrete products, and stucco.

(f) Materials specifically prohibited include vinyl siding and exposed plywood products. This shall not be interpreted to preclude laminated doors or the use of plywood in soffits. Materials shall be compatible with the existing and surrounding downtown area.

(g) Roof mounted equipment shall be screened from view from the street by providing a **parapet** or cornice at least equal in height to the equipment, and by painting the equipment to match the roof. For flat roofs the **parapet** shall surround the perimeter of the building. Screening shall be compatible with rooflines and materials so that the roof lines are harmonious.

(h) Building colors shall be chosen to be compatible with neighboring structures, and natural or earth-tone colors shall predominate.

Appendix A – Definitions

- Accent lighting: controlled and focused light used to accent exterior elements or architectural details.
- Canopy trees: a species of tree which normally bears crown foliage no lower than eight feet above ground level upon maturity.
- Change in Use: change in the activity or purpose for which land or premises, or a building thereon is designed, arranged, or intended, or for which it is occupied or maintained, rented or leased as determined by the City of Camas Community Development Director.
- Cornice: any prominent, continuous, horizontally projecting feature surmounting a wall or other construction.
- Covenant: an agreement, usually formal, between two or more persons to do or not do something specified.
- Deciduous: trees that drop all or most of their leaves in winter.
- Drinking fountain: a public structure to provide drinking water.
- Enhanced paving: any permeable or impermeable decorative pavement material intended for pedestrian or vehicular use. Examples of enhanced pavement include brick or stone pavers, grass paver, exposed aggregate concrete, and stamped pavement.
- Evergreen: trees that keep all or most of their leaves or needles year-round.
- Fragrance: the state or quality of having a pleasant odor.
- Frontage: that portion of a parcel of property which abuts a dedicated public street or highway, or private road or driveway approved by the City of Camas decision maker.
- Glazing: windows or transparent material on a building façade.
- Groundcover: natural plants of species which normally reach a height of less than two feet upon maturity, installed in such a manner so as to form a continuous cover over the ground.
- Hardscape: Elements added to a natural landscape, such as paving stones, paving, walkways, irrigation systems, roads, retaining walls, sculpture, street amenities, fountains, and other mechanical features.
- Landscaping located on private property: landscape materials located and/or installed by the property owner.
- Minor side street: Local streets providing direct access to abutting land and access to the higher level arterials. They offer the lowest level of mobility and usually contain no bus routes. Service to through traffic movement usually is deliberately discouraged.
- Parapet: a low screen wall at the edge of a balcony or roof.
- Path of travel: a continuous, unobstructed way of pedestrian passage by means of which an area may be approached, entered, and exited, and which connects the area to an entrance to a facility or other nearby areas.
- Public art: works of art in any media that has been planned and executed with the specific intention of being sited or staged in the public domain, outdoors and

accessible to all. Examples of public art could be water features, ornamental street furniture, statues, historic wall plaques, and murals.

- Rain protection: device or architectural detail designed to provide relief from inclement weather
- Seasonal color: the use of blooming annuals, flowering perennials, and tree/shrubs, and foliage color to accent landscape design with an ever-changing display of color.
- Scored concrete: A concrete sidewalk that is etched in a pattern (typically 30" square).
- Shrubs (bushes): woody plants of relatively low height, having several stems arising from the base, and lacking a single trunk.
- Site furnishings: man-made articles (such as benches and trash receptacles) that are needed in public spaces to service the needs of the public, or that assist in the safe and orderly management and use of the space.
- Specimen plants: Specimen plants are plants grown by themselves in a lawn or garden for ornamental effect, rather than being massed with others as are bedding plants or edging plants. Specimen plants can thus serve as focal points in landscape design. An example of a specimen plant is a flowering tree that has a prominent spot reserved for it on a lawn.
- Street tree: Any tree planted or maintained within the public easement. All new replacements will be selected from Appendix "C" or the Camas Design Standard Manual.
- Tree grate: coverings for tree wells designed to provide visual accent, ADA walkable surfaces, and space for water and air infiltration. See appendix D.
- Understory trees: small tree such as dogwood and holly, which rarely grow tall, and grow in the shade of a larger tree's canopy.
- Water feature: a landscape focal point with either still or moving water; may include fountains, waterspouts, waterfalls, formal or informal ponds, bogs, or container water gardens.

Appendix B – Required Elements Matrix

Design Feature	Required Elements	Encouraged Elements
Landscape	Street trees @ 30' o.c. minimum	Seasonal color
	Multiple layers of plantings	Fragrance
	Canopy trees	Fall color
	Understory trees	Specimen plants
	Shrubs	
	Groundcover	
	Individual character	
	Maintenance plan covenant	
	Irrigation	
Hardscape	ADA Accessible tree grates[1]	Benches
	Street lighting[2]	Trash receptacle
	Public art (1% of construction cost)	Bike racks
		Drinking fountains
		Water Feature
Screening (parking lots)	3' wall or fence in landscape strip	
	Visual interest – no blank walls	
	Medium size trees 20' o.c. minimum[3]	
Screening (service / trash collection areas)	5' wall or fence in landscape strip	
	Visual interest – no blank walls	
	Medium size trees 20' o.c. minimum[4]	
	100% solid opaque gates	
Private Pedestrian & Parking Surfaces	All weather concrete or asphalt	Pavers, Colored Concrete
	ADA accessibility	
	Minimum 4' pedestrian path of travel	
Pedestrian Surfaces w/in Public Right-of-Way	ADA accessibility	Meandering sidewalks with special concrete scoring patterns
	Decorative sidewalk (e.g. scored concrete, colored concrete, pavers, etc.)	
	Minimum ~~6'~~ 4' (48") pedestrian path of travel	
Architectural / Site Planning	10 % maximum parking abutting the project frontage along the public way[5]	Parking accessed from alley
	Main entrance oriented towards public way	Building located to form continuous colonnade along

		frontage
Design Feature	**Required Elements**	**Encouraged Elements**
Architectural / Site Planning continued	40% minimum to a maximum of 80% glazing of the ground floor elevation abutting the public way	Feature areas such as courtyards, sidewalk merchandising, etc.
	5' wide rain protection attached to building along 90% of frontage [6]	Retail or restaurants on street level.
	Roof mounted equipment screening via parapet or cornice	Office and residential units on upper floors.
	Architectural detailing compatible with the existing downtown area	
	Architectural materials compatible with the existing downtown area	
	Natural – Compatible Colors	Energy Smart design

[1] Limited Exceptions (D.3.i).
[2] Dependent on approved light spacing (D.4.b.2).
[3] Where sufficient room exist (D.5.b.2).
[4] Where sufficient room exist (D.5.c.2).
[5] Corner lots may be allowed additional frontage parking (on the minor side street) with additional screening per review and approval (E.1.b).
[6] The building may not cantilever into the public right-of-way to achieve rain protection (E.3.c).

Appendix C – Street Trees

This short list of trees is commonly found within the downtown commercial core of the city. An expanded list of approved street trees is located within the *Camas Design Standard Manual* (http://www.ci.camas.wa.us/pworks/engforms.htm).

Minimum 4' Planting Strip Width

Common Name:	Scientific Name:	Cultivar:	Height (in FT)	Width (in FT)
Raywood Ash	*Fraxinus oxycarpa*	Raywood	40	28
Leprechaun Ash	*Fraxinus pennsylvanica*	Johnson	18	16
Capital Pear	*Pyrus calleryana*	Capital	35	12
Chanticleer Pear	*Pyrus calleryana*	Chanticleer	40	15
Redspire Pear	*Pyrus calleryana*	Redspire	35	25

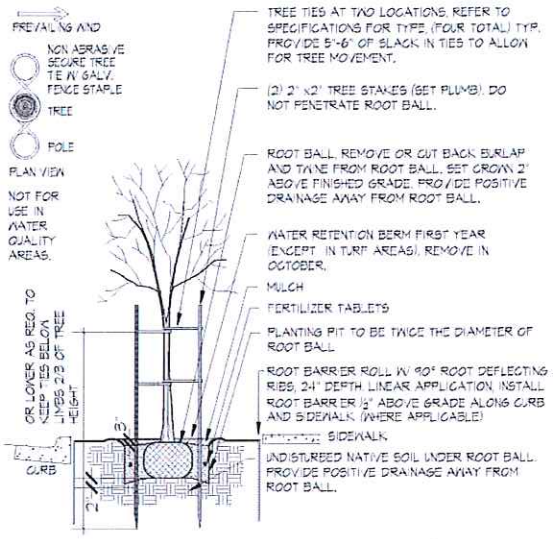
Minimum 6' Planting Strip Width
(*Refer to 4' tree list for additional trees for use under power lines)

Common Name:	Scientific Name:	Cultivar:	Height (in FT)	Width (in FT)
Columnar Norway Maple	*Acer platanoides*	Columnar	35	15
European Hornbeam	*Carpinus betulus*	Fastigiata	35	25
Marshall Ash	*Fraxinus pennsylvanica*	Marshall	50	40
Summit Ash	*Fraxinus pennsylvanica*	Summit	45	25
Aristocrat Pear	*Pyrus calleryana*	Aristocrat	40	28
Greenspire Linden	*Tilia cordata*	Greenspire	40	30
Sterling Silver Linden	*Tilia tomentosa*	Sterling	45	35
Wireless Zelkova	*Zelkova serrata*	Schmidtlow	25	35
Village Green Zelkova	*Zelkova serrata*	Village Green	40	38

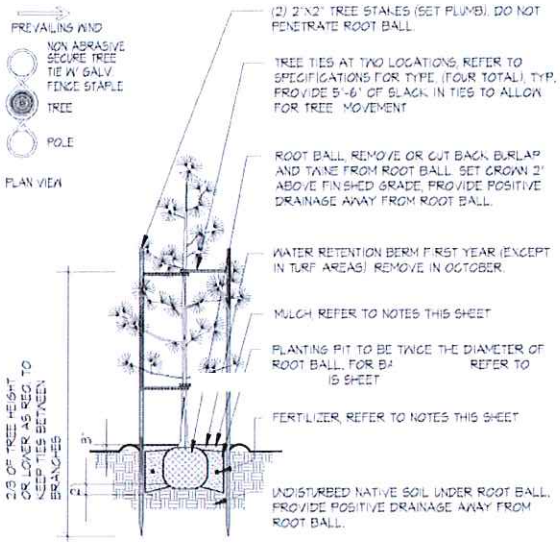
Minimum 8' Planting Strip Width
(*Refer to 4' tree list for additional trees for use under power lines)

Common Name:	Scientific Name:	Cultivar:	Height (in FT)	Width (in FT)
Crimson King Maple	*Acer platanoides*	Crimson King	40	35
Emerald Queen Maple	*Acer platanoides*	Emerald Queen	50	40
Summershade Maple	*Acer platanoides*	Summershade	42	40
Green Vase Zelkova	*Zelkova serrata*	Green Vase	50	40

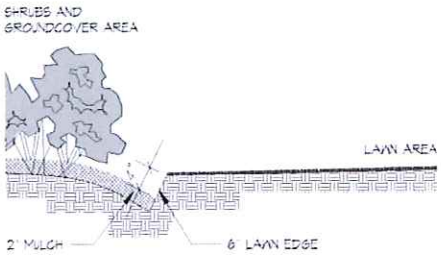
Appendix D – Planting & Irrigation Details



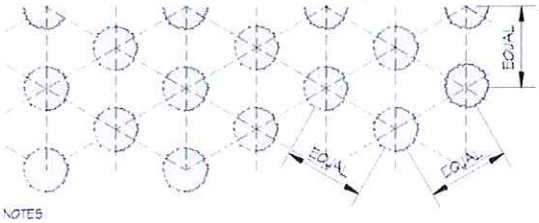
A B & B Tree Planting Detail
Not To Scale — SECTION / PLAN VIEW



B B & B Tree Planting Detail: Evergreen under 8' Height
Not To Scale — SECTION / PLAN VIEW



C Lawn Edge Detail
Not To Scale — SECTION

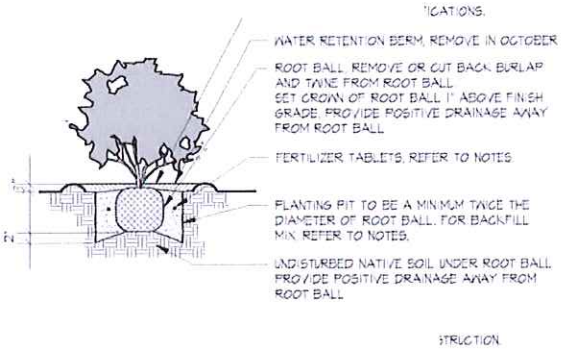


NOTES

ALL GROUND COVER SHALL BE PLANTED AT EQUAL TRIANGULAR SPACING AS SPECIFIED IN PLANTING LEGEND.

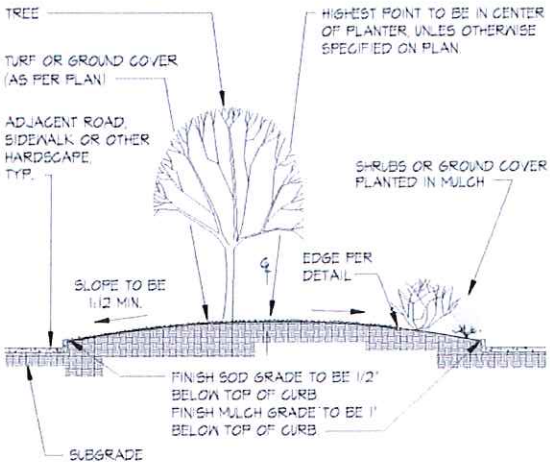
GROUND COVER TO BE LOCATED ONE HALF OF SPECIFIED SPACING DISTANCE FROM ANY HARD SURFACE UNLESS OTHERWISE SPECIFIED.

D Ground Cover Planting Detail
Not To Scale — PLAN VIEW



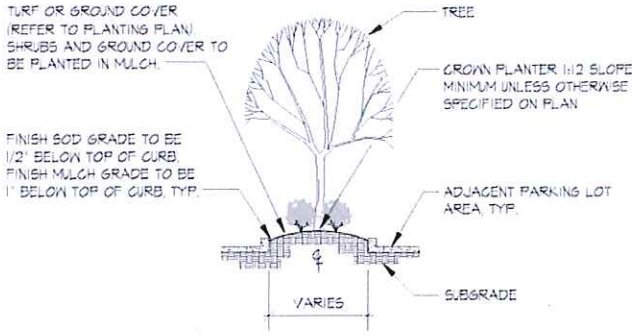
E B & B Shrub Planting Detail
Not To Scale — SECTION

All details shown are for reference only and are intended to be used as a general guide. Specific projects will require details specific to that project.



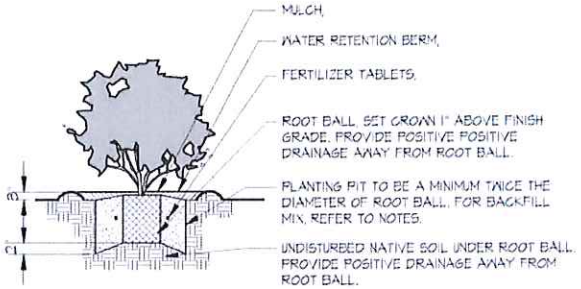
F Typical Curbed Planter Area

Not To Scale — SECTION A-A



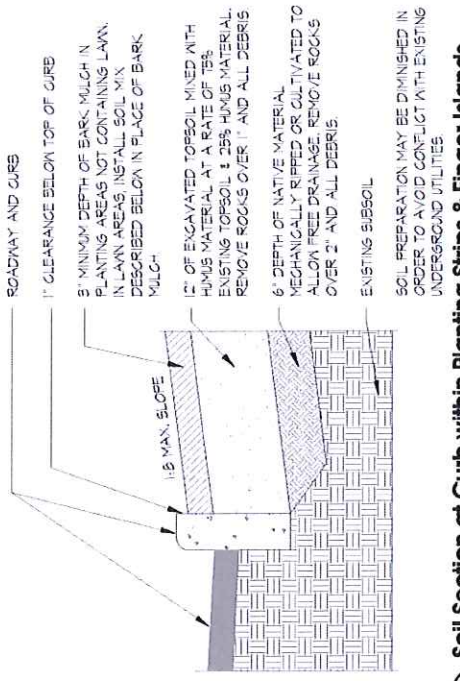
G Typical Parking Finger Planter Area

Not To Scale — SECTION B-B



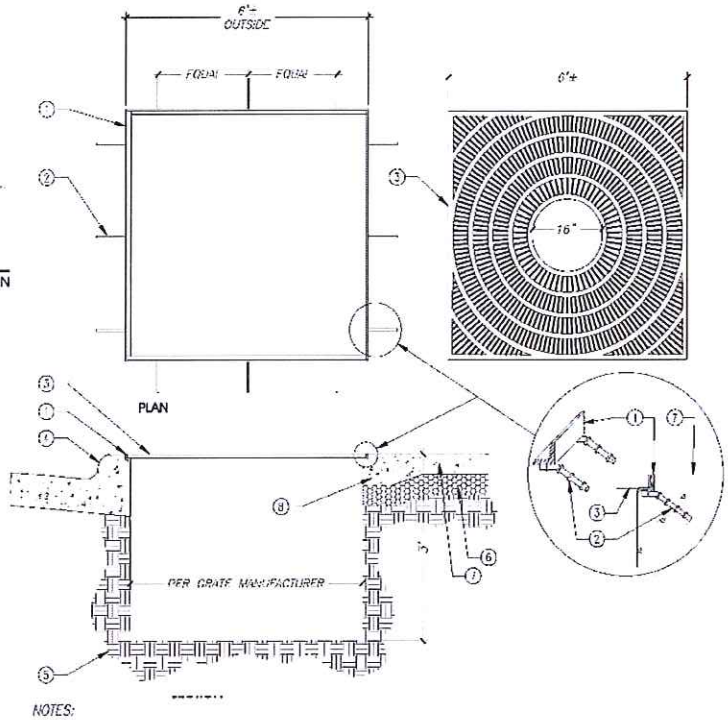
H Container Ground Cover Planting Detail

Not To Scale — SECTION



I Soil Section at Curb within Planting Strips & Finger Islands

Not To Scale — SECTION



NOTES:

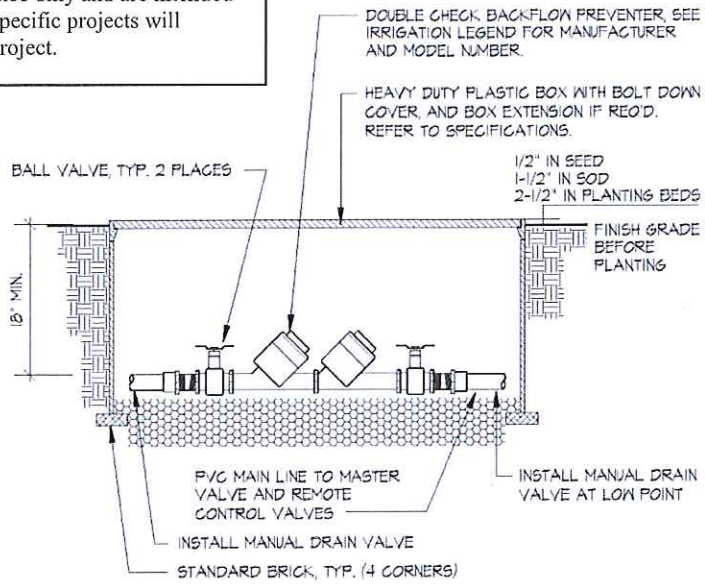
1. 1" X 1" X 1/4" L STEEL FRAME
2. #3 REBAR, WELD TO FRAME
3. 3/4" THICK TREE GRATE, CAST IN 2 PIECES, NO OPENINGS GREATER THAN 3/8", 16" DIA. CENTER OPENING
4. CURB AND GUTTER, REFER TO CIVIL PLANS
5. COMPACTED SUBGRADE, REFER TO CIVIL PLANS FOR % COMPACTION
6. LAYER OF 3/4" MINUS GRAVEL, REFER TO CIVIL PLANS
7. 4" CONCRETE SIDEWALK, SEE ENGINEERING DRAWINGS
8. THICKENED EDGE (6"X6")

REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION.

J Tree Well & Tree Grate Detail

Not To Scale — SECTION / PLAN VIEW

All details shown are for reference only and are intended to be used as a general guide. Specific projects will require details specific to that project.

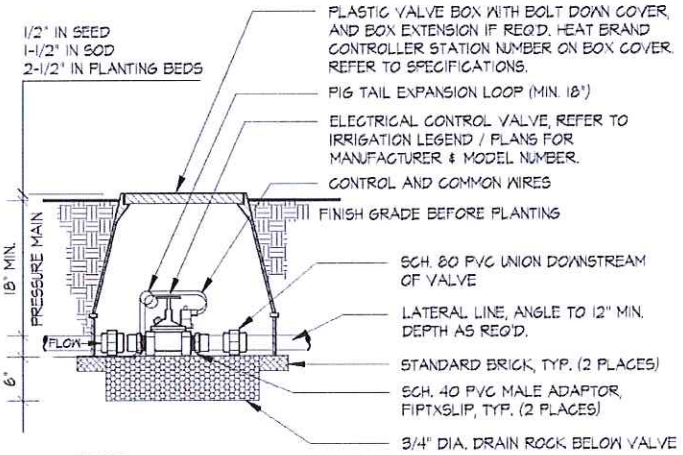


NOTES:

1. EQUIPMENT TO BE INSTALLED A MINIMUM OF 24" FROM ANY STRUCTURE OR HARDSCAPING.
2. USE TEFLON TAPE ON ALL THREADED FITTINGS.

(A) Backflow Preventer Detail (2" & Smaller)

Not To Scale DOUBLE CHECK SECTION

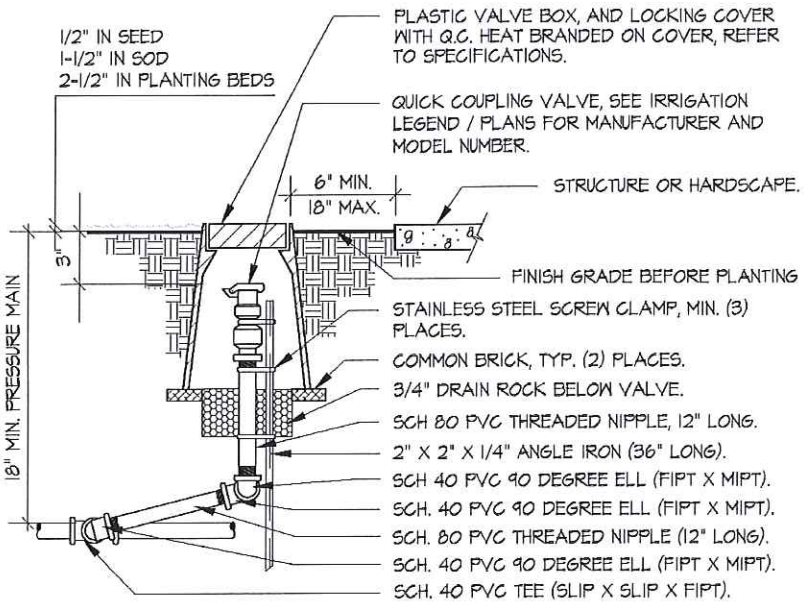


NOTES:

1. INSTALL VALVES A MINIMUM OF 12" FROM STRUCTURES OR HARDSCAPING.
2. INSTALL VALVES IN PLANTING BEDS WHEREVER POSSIBLE.
3. PLACE VALVE BOX AT RIGHT ANGLES TO STRUCTURES OR HARDSCAPING.
4. INSTALL VALVE BOX SO THAT TOP OF VALVE BOX IS FLUSH WITH ADJACENT HARDSCAPING.
5. PLACE 3/4" DIA. DRAIN ROCK PRIOR TO INSTALLATION OF VALVE BOX.
6. USE TEFLON TAPE ON ALL THREADED FITTINGS.

(B) Electric Control Valve Detail: 3" & Smaller

Not To Scale SECTION



All details shown are for reference only and are intended to be used as a general guide. Specific projects will require details specific to that project.

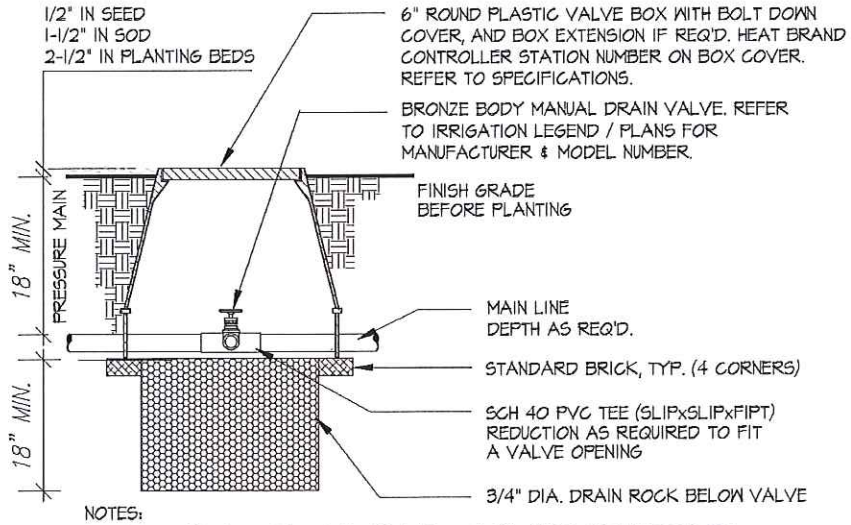
NOTES:

1. INSTALL QUICK COUPLING VALVES IN PLANTING BEDS WHEREVER POSSIBLE.
2. INSTALL VALVE BOX SO THAT TOP OF VALVE BOX IS FLUSH WITH ADJACENT HARDSCAPING.
3. PLACE 3/4" DIA. DRAIN ROCK PRIOR TO INSTALLATION OF VALVE BOX.
4. SIZE OF ASSEMBLY TO BE EQUAL TO THE FIPT OF THE QUICK COUPLER.

SPECIFICATIONS ARE INCLUDED WITHIN PLAN SHEETS, LANDSCAPE NOTES AND SPECIFICATIONS. REFER TO ALL PRIOR TO BIDDING AND CONSTRUCTION.

C Quick Coupling Valve Detail (Within Valve Box)

Not To Scale — SECTION



NOTES:

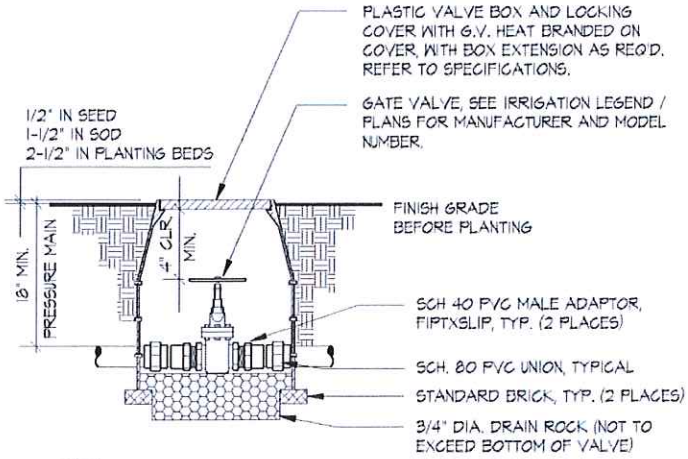
1. PLACE VALVE BOX AT RIGHT ANGLES TO STRUCTURES OR HARDSCAPING.
2. INSTALL VALVE BOX SO THAT TOP OF VALVE BOX IS FLUSH WITH ADJACENT HARDSCAPING.
3. PLACE 3/4" DIA. DRAIN ROCK PRIOR TO INSTALLATION OF VALVE BOX.

SPECIFICATIONS ARE INCLUDED WITHIN PLAN SHEETS, LANDSCAPE NOTES AND SPECIFICATIONS. REFER TO ALL PRIOR TO BIDDING AND CONSTRUCTION.

Manual Drain Valve

Not To Scale — SECTION

All details shown are for reference only and are intended to be used as a general guide. Specific projects will require details specific to that project.

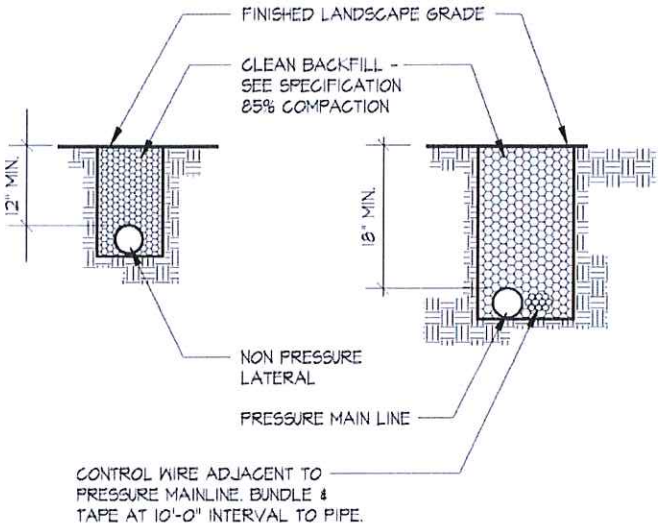


NOTES:

1. INSTALL GATE VALVES A MINIMUM OF 12" FROM STRUCTURES OR HARDSCAPING.
2. INSTALL GATE VALVES IN PLANTING BEDS WHEREVER POSSIBLE.
3. INSTALL VALVE BOX SO THAT TOP OF VALVE BOX IS FLUSH WITH ADJACENT HARDSCAPING.
4. USE TEFLON TAPE ON ALL THREADED FITTINGS.
5. PLACE 3/4" DIA. DRAIN ROCK PRIOR TO INSTALLATION OF VALVE BOX.

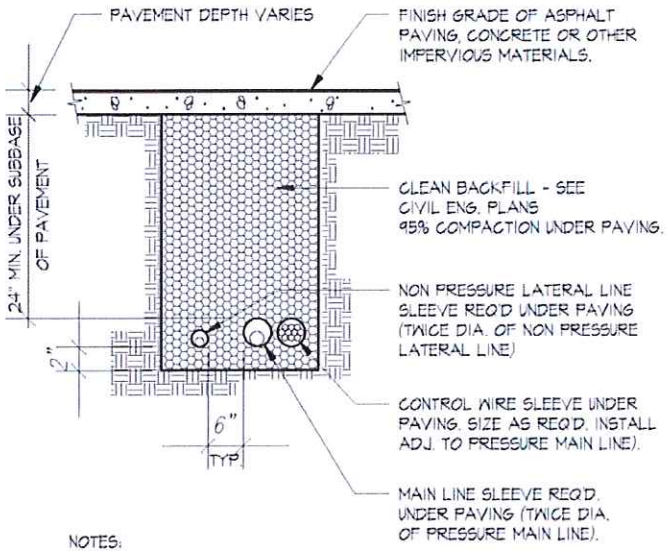
E Gate Valve Detail: Threaded Ends (3" & Smaller)

Not To Scale — SECTION



G Pipe Trenching Detail (w/in Landscape Areas)

Not To Scale — SECTION

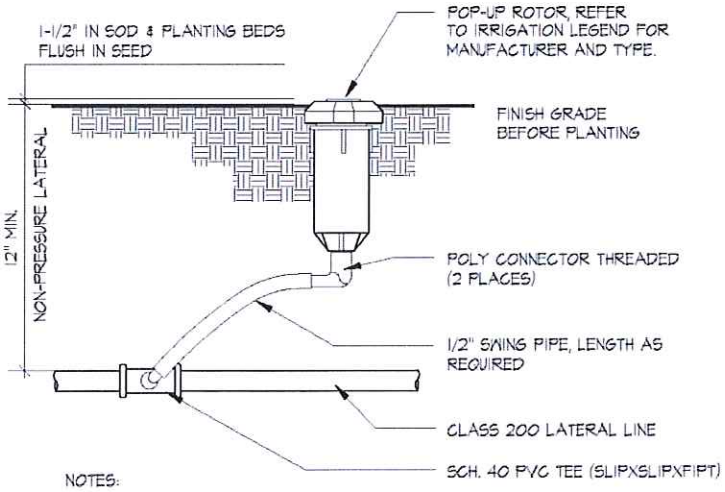


NOTES:

1. ALL SLEEVES TO BE SCH. 40 PVC.
2. EXTEND ALL SLEEVES 12" BEYOND EDGE OF HARDSCAPING AT BOTH ENDS, CAP ENDS AND FLAG LOCATIONS.

Pipe Trenching Under Pavement Detail

Not To Scale — SECTION

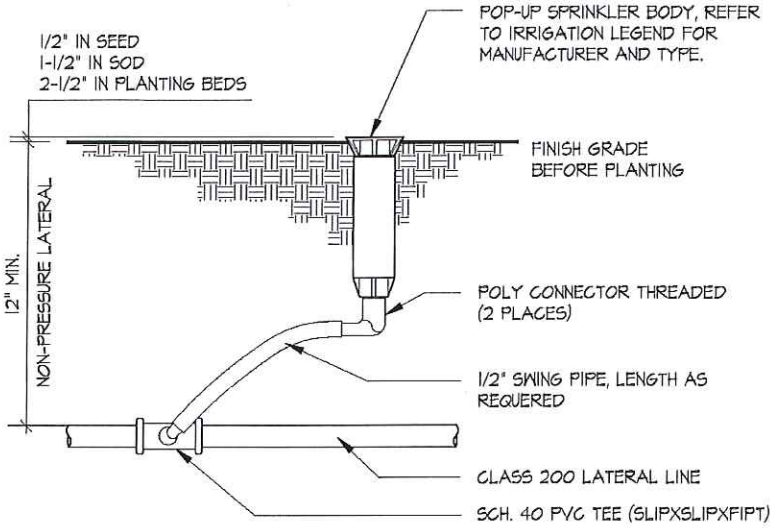


NOTES:

1. LOCATE HEAD 2" FROM WALKS, CURBS, HARDSCAPING, MOW STRIPS, HEADER BOARDS, AND THE EDGE OF LAWN AREAS.
2. LOCATE HEAD 12" FROM STRUCTURES.

H Pop-Up Rotor Detail

Not To Scale — SECTION



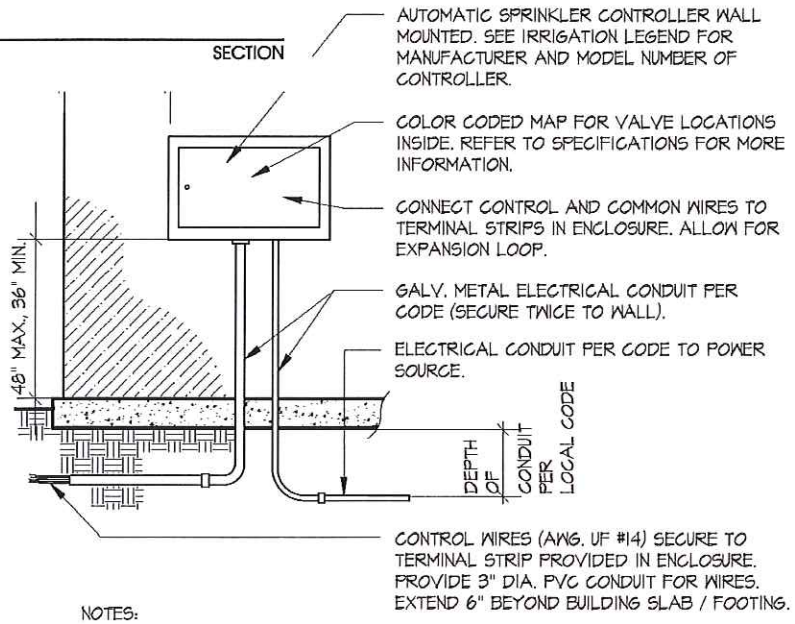
All details shown are for reference only and are intended to be used as a general guide. Specific projects will require details specific to that

NOTES:

1. LOCATE HEAD 2" FROM WALKS, CURBS, HARDSCAPING, MOW STRIPS, HEADER BOARDS, AND THE EDGES OF LAWN AREAS.
2. LOCATE STREAM SPRAY / BUBBLERS 6" FROM ALL STRUCTURES, AND SPRAY HEADS 12" FROM ALL STRUCTURES, BUT 6" FROM ALL STRUCTURES IN GROUND COVER AREAS.

1 Pop-Up Spray Detail

Not To Scale SECTION



NOTES:

1. COMMON WIRE TO BE WHITE AND CONTROL WIRE TO BE RED IN COLOR. BUNDLE AND TAPE WIRING AT INTERWALS OF 10' O.C.
2. NO SPLICES TO BE MADE BETWEEN CONTROLLER AND REMOTE VALVE UNDER 500 LINEAR FEET.
3. PAINT CONTROLLER AND CONDUIT SUPPLY LINE TO MATCH BUILDING EXTERIOR COLOR.

1 Automatic Controller Detail (Wall Mounted)

Not To Scale SECTION

Appendix E – Outdoor Seating Associated with a Food or Beverage Business

The City of Camas may allow outdoor seating associated with a food or beverage business subject to the following standards.

1. Submittal of an Encroachment Permit application to include a drawing of the table layout, circulation, barriers and spacing dimensions. The drawing shall include sidewalk width, table widths, barrier separation from inside the curbline, and distance from tree wells or other barriers.

2. Minimum Standards:

    a. 48 inch cleared pedestrian sidewalk not including curb.
    b. Encroachment not to extend beyond building limits or lease/owned space.
    c. Barriers for areas serving alcohol shall meet standards and be a minimum of 42 inches in height with no opening greater than 10 feet along any wall.
    d. City may allow a variation to the 48 inch standards for a distance of up to 10 feet dependent upon site constraints.

3. The City will require an insurance accord form with the City of Camas named as an additionally insured.