

GREEN MOUNTAIN ESTATES, A PLAT COMMUNITY

A SUBDIVISION IN THE SW 1/4 & NW 1/4, OF THE NE 1/4
SEC. 21, T. 2 N., R. 3 E., W.M.,
CITY OF CAMAS, CLARK COUNTY, WASHINGTON
CITY OF CAMAS FINAL ORDER SUB#15-02
MARCH, 2020

LEGEND

- PUBLIC LAND SURVEY SYSTEM SECTION CORNER (MONUMENT AS NOTED)
- PUBLIC LAND SURVEY SYSTEM QUARTER SECTION CORNER (MONUMENT AS NOTED)
- SET 1/2" X 24" REBAR WITH YELLOW PLASTIC CAP STAMPED "OLSON ENG PLS 46624" DURING THIS SURVEY
- SET BRASS SCREW WITH WASHER STAMPED "OLSON ENG PLS 46624" DURING THIS SURVEY
- SET BRASS SCREW WITH WASHER STAMPED "OLSON ENG PLS 46624" IN CONCRETE CURB ON AN 11.75' PROJECTION OF THE SIDE LOT LINE FROM THE FRONT CORNER UNLESS SHOWN OTHERWISE IN THE CURB SCREW TABLE
- 1/2" X 24" REBAR WITH YELLOW PLASTIC CAP STAMPED "OLSON ENG PLS 46624" SET DURING PREVIOUS SURVEY OF GREEN MOUNTAIN ESTATES PHASE 1 (BK. 312, PG. 22) AND PHASE 2 (BK. 312, PG. 42)
- BRASS SCREW WITH WASHER STAMPED "OLSON ENG PLS 46624" SET IN CONCRETE CURB DURING PREVIOUS SURVEY OF GREEN MOUNTAIN ESTATES PHASE 1 (BK. 312, PG. 22)

- PUBLIC LAND SURVEY SYSTEM SECTION LINE
- PLAT BOUNDARY LINE
- LOT LINE
- CENTERLINE PUBLIC RIGHT-OF-WAY
- EXISTING PUBLIC RIGHT-OF-WAY
- EXISTING TAX LOT LINE
- EASEMENT LINE
- BUILDING SETBACK LINE
- EXISTING DELINEATED WETLAND LINE
- EXISTING WETLAND BUFFER LINE

R/W DED. PUBLIC RIGHT-OF-WAY DEDICATED TO THE CITY OF CAMAS UPON RECORDING OF THIS PLAT
TPN TAX PARCEL NUMBER S.W.E. (PRIVATE) STORMWATER EASEMENT (R) RADIAL OR RADIUS
T/L TAX LOT P.S.W.E. PUBLIC STORMWATER EASEMENT SEE EASEMENT PROVISIONS NUMBER
W.E. (PRIVATE) RETAINING WALL EASEMENT SEE CORNER MONUMENT OFFSET NOTES PAGE 2

CURB SCREW TABLE		
LOT LINE	DELTA	DISTANCE
69/TRACT S, 70/TRACT S	7.75	
79/TRACT T, 80/TRACT T		
80/81, 92/TRACT T		
71/72	7.95	
70/71	8.15	
TRACT O/TRACT P	11.85	
103/104	12.00	
87/TRACT R, 96/97	12.50	
110/111	12.65	
91/TRACT T	14.35	

MINIMUM BUILDING SETBACKS		
LOT AREA	5,000 - 11,999 S.F.	
FRONT YARD	20'	
SIDE YARD**	5'	
STREET SIDE YARD	20'	
REAR YARD***	20'/15'	
CORNER LOT REAR YARD	5'	

*SETBACKS MAY BE MODIFIED AS APPROVED BY THE CITY OF CAMAS
**SIDE YARD SETBACK UNLESS SHOWN OTHERWISE HEREON
***2 STORY HOMES SHALL HAVE A 20' REAR YARD SETBACK (SHOWN)
****4 & 1.5 STORY HOMES SHALL HAVE A 15' REAR YARD SETBACK

EASEMENT PROVISIONS

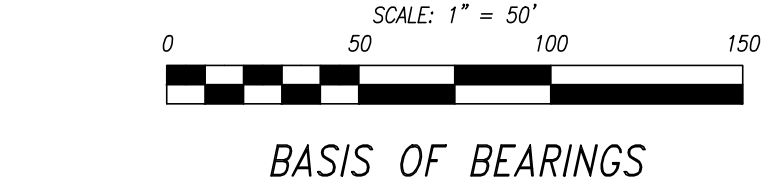
- A PUBLIC STORMWATER EASEMENT OVER, UNDER AND UPON A PORTION OF TRACT "T", AS SHOWN HEREON, ALL OF TRACT "T", PORTIONS OF LOTS 104 THROUGH 106 INCLUSIVE, AS SHOWN HEREON, AND A PORTION OF LOT 108, AS SHOWN HEREON, IS HEREBY RESERVED FOR AND GRANTED TO THE CITY OF CAMAS, ITS SUCCESSORS AND ASSIGNS, WITH THE RECORDING OF THIS PLAT FOR THE PURPOSE OF STORMWATER CONVEYANCE. THE CITY OF CAMAS SHALL BE RESPONSIBLE FOR THE MAINTENANCE AND REPAIR OF THE STORMWATER CONVEYANCE IMPROVEMENTS WITHIN THE EASEMENT AREA, AND FOLLOWING SUCH USE SHALL RESTORE THE EASEMENT AREA TO ITS PRIOR CONDITION AS NEAR AS POSSIBLE.
- A TRAIL EASEMENT UPON TRACT "P", TRACT "O", AND TRACT "T" IS HEREBY RESERVED FOR AND GRANTED TO THE PUBLIC WITH THE RECORDING OF THIS PLAT. THE EASEMENT IS LIMITED TO THE PEDESTRIAN USE OF THE CONSTRUCTED TRAILS AND ASSOCIATED AMENITIES ONLY WITHIN SAID TRACTS. THE HOMEOWNER'S ASSOCIATION SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF THE CONSTRUCTED TRAILS.
- A PRIVATE STORMWATER EASEMENT OVER, UNDER, AND UPON PORTIONS OF LOTS 70, 72 THROUGH 75 INCLUSIVE, 79, AND LOTS 81 THROUGH 83 INCLUSIVE, AS SHOWN HEREON, IS HEREBY RESERVED FOR AND GRANTED TO THE HOMEOWNER'S ASSOCIATION (HOA), ITS SUCCESSORS AND ASSIGNS, WITH THE RECORDING OF THIS PLAT FOR THE PURPOSE OF STORMWATER CONVEYANCE. THE HOA SHALL BE RESPONSIBLE FOR THE MAINTENANCE AND REPAIR OF THE STORMWATER CONVEYANCE IMPROVEMENTS WITHIN THE EASEMENT AREA, AND SHALL HAVE RIGHT OF ACCESS OVER SAID LOTS TO PERFORM SUCH RESPONSIBILITIES, AND FOLLOWING SUCH USE SHALL RESTORE THE EASEMENT AREA TO ITS PRIOR CONDITION AS NEAR AS POSSIBLE.
- PRIVATE RETAINING WALL EASEMENTS OVER, UNDER, AND UPON PORTIONS OF LOTS 66 THROUGH 68 INCLUSIVE, 70, 72 THROUGH 79 INCLUSIVE, 81 THROUGH 83 INCLUSIVE, 88 THROUGH 91 INCLUSIVE, 93 THROUGH 100 INCLUSIVE, AND 103 THROUGH 106 INCLUSIVE AS SHOWN HEREON ARE HEREBY RESERVED FOR AND GRANTED TO THE ADJACENT LOT OWNER, INCLUDING TRACTS OWNED BY THE HOMEOWNER'S ASSOCIATION (HOA) FOR THE PURPOSE OF, BUT NOT LIMITED TO, MAINTAINING AND REPAIRING RETAINING WALLS CONSTRUCTED ON SAID LOTS. SAID LOT OWNERS AND SAID ADJACENT LOT OWNERS, INCLUDING HOA OWNED TRACTS, SHALL SHARE EQUALLY THE MAINTENANCE AND REPAIR COSTS OF SAID WALLS. THE ANNEXATION DECLARATION RECORDED IN CONJUNCTION WITH THIS PLAT (SEE PAGE 1) PROVIDES ADDITIONAL DETAIL ON THE RIGHTS AND OBLIGATIONS OF THE LOTS BENEFITED AND BURDENED BY SAID RETAINING WALL EASEMENTS.

PUBLIC UTILITY EASEMENT

A PUBLIC UTILITY EASEMENT IS HEREBY RESERVED OVER, UNDER AND UPON THE EXTERIOR 6.00 FEET OF ALL LOTS AND TRACTS LYING PARALLEL WITH AND ADJACENT TO ALL PUBLIC ROADS, FOR THE PURPOSE OF INSTALLING, CONSTRUCTING, RENEWING, OPERATING AND MAINTAINING OF BUT NOT LIMITED TO ELECTRIC, TELEPHONE, TV, CABLE, WATER, GAS, SANITARY SEWER, AND STORM WATER, AND SHALL HAVE RIGHT OF ACCESS FOR SUCH USE. FOLLOWING SUCH USE THE EASEMENT AREA SHALL BE RESTORED TO ITS PRIOR CONDITION AS NEAR AS POSSIBLE. ALL LOTS CONTAINING PAD MOUNT TRANSFORMERS ARE SUBJECT TO THE MINIMUM WORKING CLEARANCES AS DEFINED BY CLARK PUBLIC UTILITIES CONSTRUCTION STANDARDS. ALL PROPOSED DESIGNATIONS ON THESE LOTS MUST PROVIDE ADEQUATE CLEARANCE FOR ALL COMBUSTIBLE MATERIALS.

PUBLIC SIDEWALK EASEMENT

A PUBLIC SIDEWALK EASEMENT IS HEREBY RESERVED OVER, UNDER AND UPON THE EXTERIOR 6.00 FEET OF ALL LOTS AND TRACTS PARALLEL WITH AND ADJACENT TO THE PUBLIC ROADS AS NECESSARY TO COMPLY WITH ADA SLOPE REQUIREMENTS.



BASIS OF BEARINGS

N 88°43'06" W ALONG THE SOUTH LINE OF THE NE 1/4 SEC. 21, T. 2 N., R. 3 E., W.M. BETWEEN THE MONUMENTS FOUND IN PLACE AT THE SE AND SW CORNERS THEREOF. BEARINGS ARE BASED ON: THE WASHINGTON STATE COORDINATE SYSTEM (SOUTH ZONE - 4602) DISTANCES SHOWN HEREON ON GROUND DISTANCES



03/03/2020

PG. 3 OF 3 JOB# 9595.01.03

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