

APPLICANT/ CONTACT:

HARB ENGINEERING, INC.
 CONTACT PERSON: GUS HARB, PE
 701 COLUMBIA ST., SUITE 111
 VANCOUVER, WA 98660
 PHONE: (360) 695-6520
 EMAIL: guss@harbengineering.com

OWNER:

CHLOE INVESTMENT, LLC
 701 COLUMBIA ST., SUITE 111
 VANCOUVER, WA 98660

PARCEL INFORMATION:

PARCEL # 175951-000
 PARCEL AREA IS: 19.67 ACRES

BUILDING SETBACKS PER 18.09050 (TABLE 3) MF-18 ZONE:

FRONT - 10' BUILDING / 18' GARAGE
 SIDE YARD - 3' FOR END UNITS / 0' FOR TOWNHOME COMMON WALL LOT LINE
 STREET SIDE - 15'
 BACK - 10'

KEYED NOTES

- 1 PROPOSED 36' AC PAVED ROADWAY WITHIN 60' RIGHT-OF-WAY, (2) 14' TRAVEL LANES, 8' CENTER PLANTER MEDIAN W/ 5' DETACHED SIDEWALK AND 7' PLANTER STRIP.
- 2 PROPOSED ROUNDABOUT. SEE DIMENSIONAL DIAGRAM THIS PAGE.
- 3 PROPOSED 28' AC PAVED 2 LANE LOCAL ROADWAY WITHIN 52' RIGHT-OF-WAY PER DRAWING ST3, SHEET P-06. W/ 7' PLANTER STRIP AND 5' DETACHED SIDEWALK.
- 4 PROPOSED 40'R HALF CUL-DE-SAC BULB W/ 50' @ RADIUS W/ ROLLED CURB AND THICKENED 5' SIDEWALK.
- 5 PROPOSED PRIVATE STREET. 20' EASEMENT W/ 12' AC PAVEMENT PER DRAWING PVT1, SHEET P-05.
- 6 PROPOSED ADA ACCESSIBLE RAMPS SHALL BE DESIGNED PER LATEST ADA REQUIREMENTS AT TIME OF FINAL ENGINEERING SUBMITTAL.
- 7 EXTG. 100' WIDE PPL EASEMENT.
- 8 EXTG. 30' HALF WIDTH RIGHT-OF-WAY WITH 20' AC PAVED ROADWAY AND 7' ATTACHED SIDEWALK
- 9 TEMPORARY SALES OFFICE LOCATION. PORTABLE STRUCTURE OR MODEL HOME. LOCATION SUBJECT TO CHANGE.
- 10 PROPOSED 6' WIDE PEDESTRIAN PATHWAY WITHIN 10' EASEMENT.

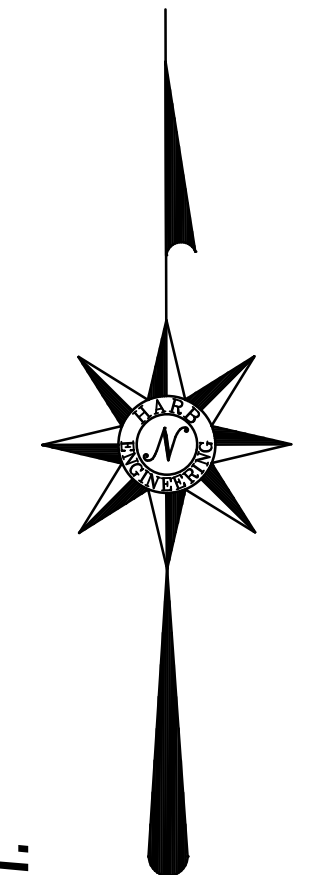
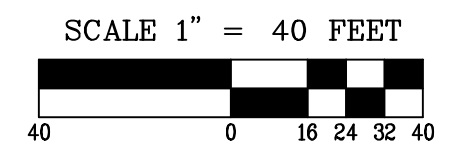
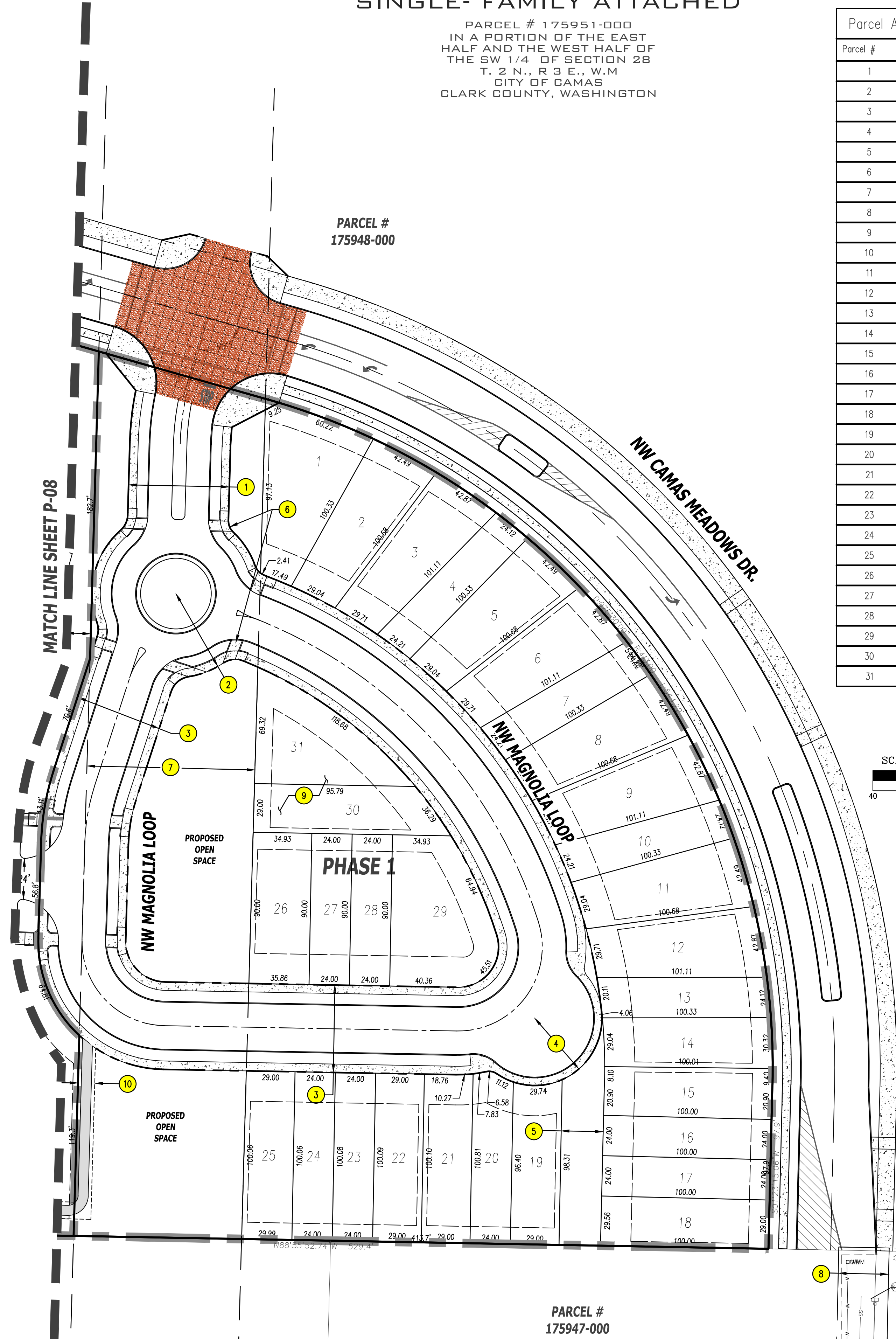
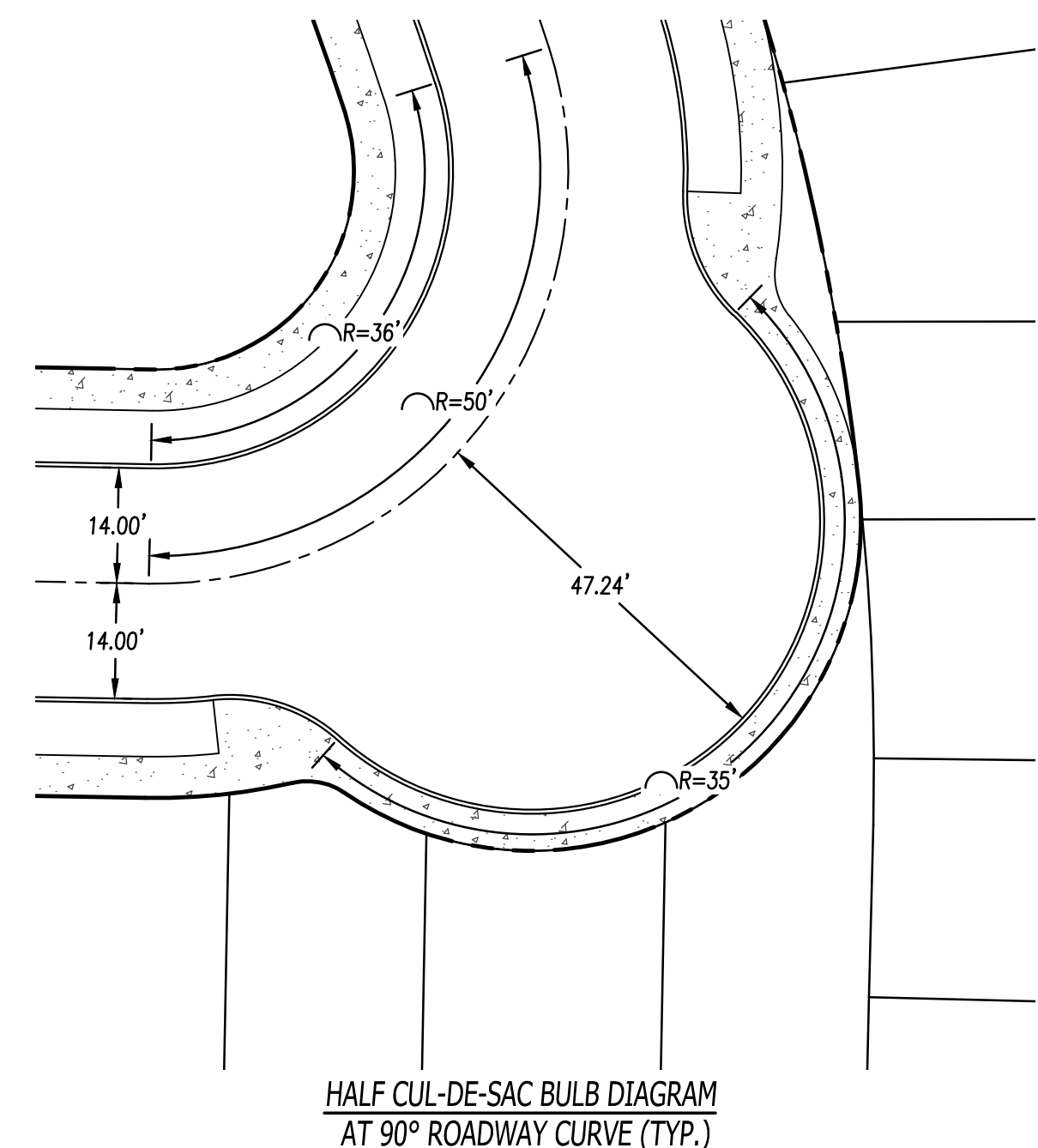
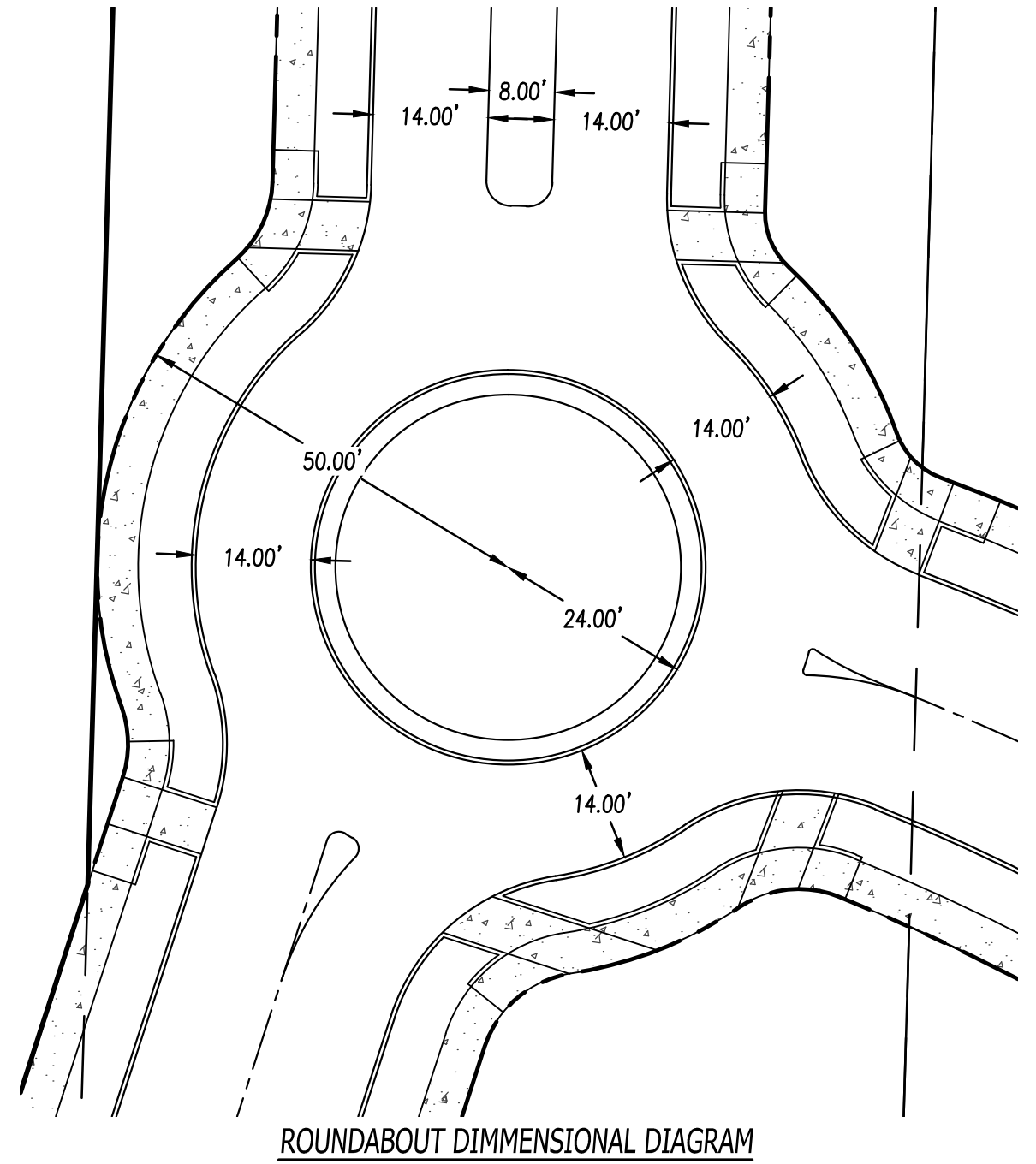
THE VILLAGE AT CAMAS MEADOWS

PHASE 1

SINGLE- FAMILY ATTACHED

PARCEL # 175951-000
 IN A PORTION OF THE EAST
 HALF AND THE WEST HALF OF
 THE SW 1/4 OF SECTION 28
 T. 2 N., R 3 E., W.M
 CITY OF CAMAS
 CLARK COUNTY, WASHINGTON

Parcel #	Area
1	4394.48
2	3576.70
3	3629.25
4	2416.24
5	3576.70
6	3629.25
7	2416.24
8	3576.70
9	3629.25
10	2416.24
11	3576.70
12	3629.25
13	2416.24
14	2967.74
15	2964.65
16	2400.00
17	2400.00
18	2927.82
19	2769.93
20	2409.95
21	2905.56
22	2902.78
23	2401.98
24	2401.70
25	2951.01
26	3185.64
27	2160.00
28	2160.00
29	4857.95
30	3113.18
31	3848.36



HARB ENGINEERING
 LAND DEVELOPMENT PLANNING ENGINEERING
 CONSTRUCTION MANAGEMENT

701 COLUMBIA STREET, SUITE 111 VANCOUVER, WA 98660
 PHONE: (360) 695-6520 WWW.HARBENGINEERING.COM



CAMAS MEADOWS DRIVE EXTENSION
 (PUBLIC IMPROVEMENTS)

SHEET NAME:
 PRELIMINARY PLAT
 PHASE 1

DRAWN BY:
 B.S.G.
 DESIGNED BY:
 B.S.G.
 CHECKED BY:
 G.G.H.

SHEET #
P-07B