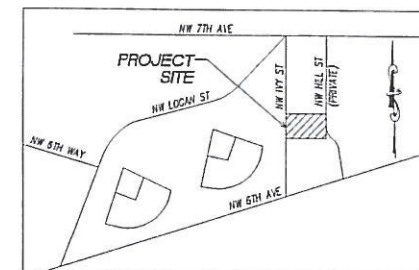


# VALENCIA SHORT PLAT

## COVER / INDEX SHEET

LOCATED IN A PORTION OF THE NW 1/4 OF THE SE 1/4,  
OF SECTION 10, T. 1 N., R. 3 E., W. M.,  
CITY OF CAMAS, CLARK COUNTY, WASHINGTON



### VICINITY MAP

### PROJECT DATA

LOCATION: NW IVY STREET & NW 6TH AVENUE  
CAMAS, WASHINGTON  
98607

PROJECT AREA: (PER QS RECORDS) 0.26 ACRES  
(PER SURVEY LINEMARK) 11,452 SF

PROPERTY ID #: B52740-000

EXISTING LOTS: 1

PROPOSED LOTS: 3

PROJECT DATA SOURCE: CLARK COUNTY QS

ZONING: MF-18

SOIL TYPES/CLASS: NON-HYDRIC/OB  
CATEGORY 2 RECHARGE AREAS

FIRE DISTRICT: CAMAS WASHOULD

WATER PURVEYOR: CITY OF CAMAS

SEWER PURVEYOR: CITY OF CAMAS

STORM WATER: CITY OF CAMAS

SET BACKS:

MINIMUM FRONT YARD/AT: 10'/18'

GARAGE FRONT=: 3'

SIDE INTERIOR=: 15'

STREET=: 15'

REAR=: 10'

### APPLICANT/OWNER:

LUIS VALENCIA  
PO BOX 429  
CAMAS, WA 98607  
(360) 773-0033  
valenciald@hotmail.com

PLANNING & CIVIL ENGINEERING  
CIVILBY  
717 NE 61ST STREET, SUITE 202  
VANCOUVER, WA 98665  
(360) 260-9400 x37  
(360) 260-1509 FAX  
CONTACT:  
DAVID SPENCER  
david@civilby.com

SUBJECT TO  
CITY APPROVAL



PRIOR TO CONSTRUCTION

**PROJECT AREA:**

LOT 1:	4,193 SF
LOT 2:	3,578 SF
LOT 3:	3,681 SF
TOTAL AREA:	11,452 SF (0.26 ACRES)

**ON-SITE AREAS:**

EX GRAVEL TO REMAIN	579 SF
ROOF	3,368 SF
DRIVEWAY	810 SF
LANDSCAPE	6,598 SF
WALKWAY	99 SF
TOTAL AREA:	11,432 SF (0.26 ACRES)

**STORM REQUIREMENTS**

NEW IMPERVIOUS	= 4,969 SF
NEW, REPLACED, OR NEW PLUS REPLACED IMPERVIOUS ( $\geq 2000$ SF), (INCLUDES OFF-SITE PAVING)	= 5,225+ SF

MINIMUM REQUIREMENTS  
#1 THROUGH #5 APPLY TO THE NEW AND REPLACED IMPERVIOUS SURFACES AND THE LAND DISTURBED  
ROOF DOWNSPOUTS TO CONNECT TO STREET VIA 4" YEEPHOLE IN CURB (SEE SHEET C-2 FOR LOCATION OF YEEPHOLES)

**OFF-SITE AREAS:**

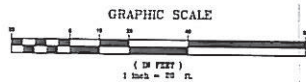
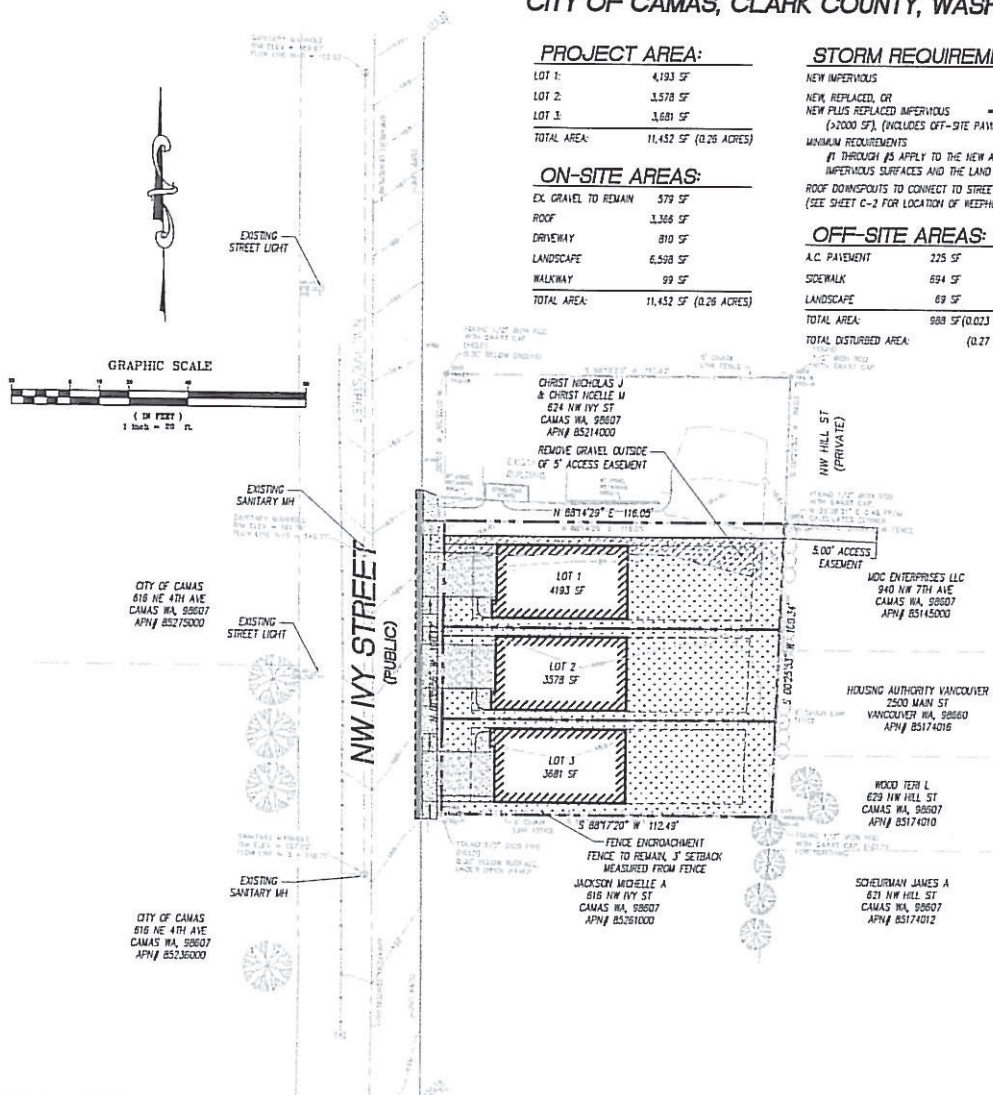
A.C. PAVEMENT	225 SF
SIDEWALK	694 SF
LANDSCAPE	69 SF
TOTAL AREA:	988 SF (0.023 ACRES)
TOTAL DISTURBED AREA:	(0.27 ACRES)

### SHEET INDEX

COVER COVER/INDEX SHEET  
C-1 PRELIMINARY LOT LAYOUT & EROSION CONTROL PLAN  
C-2 GRADING AND DRAINAGE PLAN  
C-3 EXISTING CONDITIONS MAP

### LEGEND

- 5 FOOT CONTOUR INTERVAL
- 1 FOOT CONTOUR INTERVAL
- BUILDING ENVELOPE
- EASEMENT
- SIDEWALK
- PAVEMENT
- LANDSCAPE
- SANICUT LINE
- EX. TREE / SHRUB  
(APPROX LOCATIONS FROM AERIAL PHOTO)



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DATE	7/17/15
REVISION	1
DATE	7/17/15
REVISION	2
DATE	7/17/15
REVISION	3
DATE	7/17/15
REVISION	4
DATE	7/17/15
REVISION	5

DESIGNED BY	CS
DRAWN BY	CS
CHECKED BY	CS
DATE	7/17/15
PROJECT NUMBER	15121
DATE	7/17/15
PROJECT NUMBER	15121

VALENCIA REZONE  
COVER AND INDEX SHEET

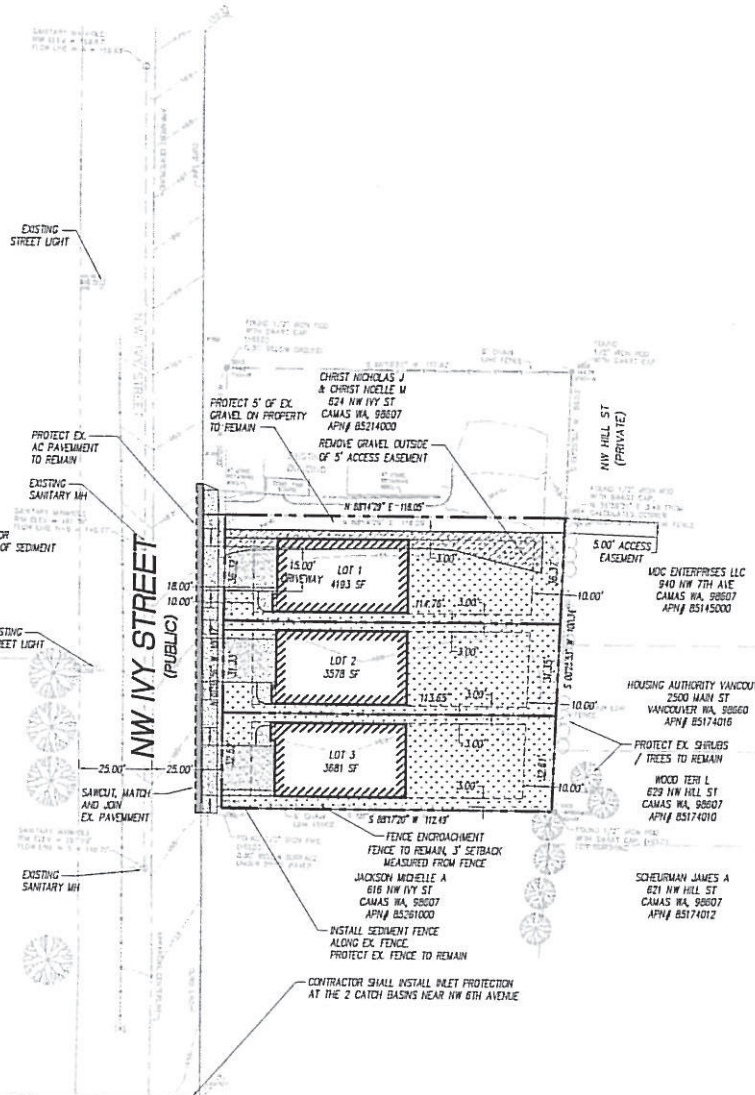
717 NE 61st Street, Suite 202  
Vancouver, WA 98665  
(360) 260-9400 fax  
(360) 260-1509 fax  
civilby.com



SHEET  
C-0

# VALENCIA SHORT PLAT

## PRELIMINARY LOT LAYOUT



### IMPORTANT NOTE

CONTRACTOR IS ULTIMATELY RESPONSIBLE FOR REMOVING EXISTING CONCRETE FOUNDATIONS, SLABS, FOOTINGS, VEGETATION, SURFACE ORGANICS, EXISTING PAVEMENT, UNDERGROUND UTILITIES, BURIED CONCRETE SLABS/SL TANKS, STRUCTURES, ETC. CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY, AND CONSTRUCT, AS REQUIRED, ANY REQUIRED SITE AND BUILDING PAD PREPARATION WORK.

### LEGEND

- 5 FOOT CONTOUR INTERVAL
- 1 FOOT CONTOUR INTERVAL
- BUILDING ENVELOPE
- EASEMENT
- SIDEWALK
- PAVEMENT
- LANDSCAPE
- SAWCUT LINE

### GENERAL NOTES

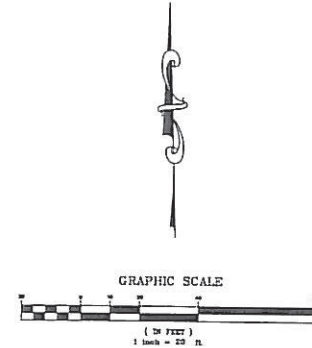
- ALL WORK SHALL BE IN CONFORMANCE WITH CITY OF CAMAS STANDARD SPECIFICATIONS, WHICH ARE HEREBY REFERENCED AS PART OF THESE PLANS AND THE MOST CURRENT COPY OF THE WSDOT STANDARD SPECIFICATIONS.
- PRELIMINARY DESIGN BASED ON SURVEY PREPARED BY MANSTER-GAEGER, DATED JUNE 12 2015.
- DO NOT COMMENCE SITE CLEARING OPERATIONS UNTIL TEMPORARY EROSION AND SEDIMENT CONTROL ARE IN PLACE.
- DO NOT REMOVE TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES UNTL SITE IS STABILIZED.

### DEMOLITION NOTES

- CONTRACTOR TO COORDINATE WITH UTILITY PROVIDERS PRIOR TO DEMOLITION OR DISCONNECT OF ANY ON-SITE OR OFF-SITE UTILITIES.
- CONTRACTOR SHALL COORDINATE WITH OWNER MANAGER FOR POSSIBLE SALVAGE, REUSE OR RECYCLE OF EXISTING MATERIALS.

### EROSION CONTROL NOTES

- EROSION CONTROL MEASURES WILL BE TAKEN TO CONTROL SEDIMENT-LADEN RUNOFF FROM LEAVING THE CONSTRUCTION SITE IN ACCORDANCE WITH CITY OF CAMAS, INCLUDING BUT NOT LIMITED TO BMP'S SUCH AS STABILIZED CONSTRUCTION ENTRANCE, WHEEL WASH, INLET PROTECTION, SEDIMENT POND/TRAPS AND SILT FENCE.
- CONTRACTOR SHALL INSTALL INLET PROTECTION ON OTHER OFF-SITE CATCH BASINS AND INLETS SUBJECT TO RUN OFF FROM PROJECT SITE, AS APPLICABLE.



SUBJECT TO CITY APPROVAL



PRIOR TO CONSTRUCTION

REVISION	DATE	BY	DATE
1	7/17/15		
2			
3			
4			
5			

VALENCIA REZONE  
PRELIMINARY LOT LAYOUT  
AND EROSION CONTROL PLAN

717 NE 61st Street, Suite 202  
Vancouver, WA 98665  
(360) 200-3509 fax  
civilnw.com



SHEET

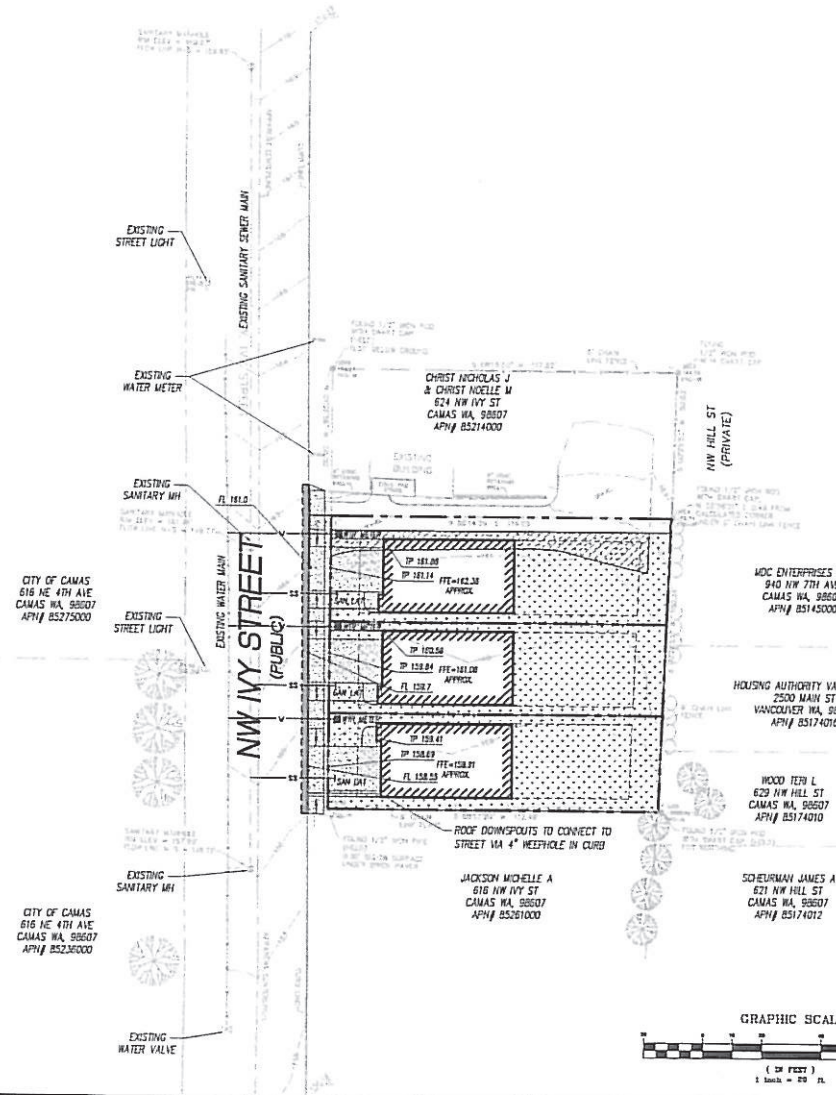
C-1

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# GRADING AND UTILITY PLAN

## LEGEND

	5 FOOT CONTOUR INTERVAL
	1 FOOT CONTOUR INTERVAL
	EDGE OF EX. GRAVEL
	GAS LOCATE
	WATER LOCATE
	STORM LOCATE
	BUILDING ENVELOPE
	STORM PIPE
	EASEMENT
	EDGE OF PAVEMENT
	PROPOSED CONTOUR (1' INTERVAL)
	PROPOSED CONTOUR (0.2' INTERVAL)
	PROPOSED WATER LINE
	PROPOSED WATER METER
	PROPOSED SANITARY SEWER PIPE
	PROPOSED STORM DRAIN LINE
	TOP OF CURB / CONCRETE TOP AC PAVEMENT



THERE APPEARS TO BE AN 18" STORMWATER BY PASS PIPE CONNECTING THE EAST SIDE OF NW JANEAU CT. ACROSS THE SUBJECT PROPERTY AND CONTINUING TO THE WEST. THERE ARE NO AREAS WITHIN DESIGNATED 100 YEAR FLOODPLAINS, WATER BODIES OR KNOWN WETLANDS, UNSTABLE SLOPES OR LANDSLIDE HAZARD AREAS, SIGNIFICANT WILDLIFE HABITAT OR VEGETATION OR SIGNIFICANT HISTORIC, CULTURAL OR ARCHAEOLOGICAL RESOURCES KNOWN TO BE ON SITE OR IN THE IMMEDIATE VICINITY.

GRADING SHOWN ON LOTS IS A ROUGH GRADE ONLY. IT IS ANTICIPATED THAT THE OWNER / DEVELOPER / HOMEOWNER WILL GRADE EACH INDIVIDUAL LOT AS IS BEST SUITABLE FOR PROPOSED HOUSE, DRIVEWAYS, WALKWAYS, ENTRY DOORS, GARAGES, ETC. AS A PART OF BUILDING PERMIT / LOT DESIGN.

**IMPORTANT NOTES**

- CONTRACTOR IS ULTIMATELY RESPONSIBLE FOR REMOVING EXISTING CONCRETE FOUNDATIONS, SLABS, FOOTINGS, VEGETATION, SURFED ORGANICS, EXISTING PAVEMENT, UNDERGROUND UTILITIES, BURIED CONCRETE, SLABS, TANKS, STRUCTURES, ETC. CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY, AND CONSTRUCT, AS REQUIRED, ANY REQUIRED SITE AND BUILDING PAD PREPARATION WORK.

**DEMOLITION NOTES**

- CONTRACTOR TO COORDINATE WITH UTILITY PROVIDERS PRIOR TO DEMOLITION OR DISCONNECT OF ANY ON-SITE OR OFF-SITE UTILITIES.
- CONTRACTOR SHALL SALVAGE, REUSE OR RECYCLE EXISTING MATERIALS.

**GENERAL NOTES**

- ALL WORK SHALL BE IN CONFORMANCE WITH CITY OF CAMAS STANDARDS & SPECIFICATIONS.
- DO NOT COMMENCE SITE CLEARING OPERATIONS UNTIL TEMPORARY EROSION AND SEDIMENT CONTROL ARE IN PLACE.
- DO NOT REMOVE TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES UNTIL SITE IS STABILIZED.

**LEGEND**

5 FOOT CONTOUR INTERVAL  
1 FOOT CONTOUR INTERVAL  
EDGE OF EX. GRAVEL  
GAS LOCATE  
WATER LOCATE  
STORM LOCATE  
BUILDING ENVELOPE  
STORM PIPE  
EASEMENT  
EDGE OF PAVEMENT  
PROPOSED CONTOUR (1' INTERVAL)  
PROPOSED CONTOUR (0.2' INTERVAL)  
PROPOSED WATER LINE  
PROPOSED WATER METER  
PROPOSED SANITARY SEWER PIPE  
PROPOSED STORM DRAIN LINE  
TOP OF CURB / CONCRETE  
TOP AC PAVEMENT

**IMPORTANT NOTES**

- ALL GRADING SHALL CONFORM TO THE MOST RECENTLY ADOPTED EDITION OF THE ILLINOIS STANDARD SPECIFICATIONS FOR ROAD, BRIDGE AND MUNICIPAL CONSTRUCTION AND THE CITY OF CAMAS STANDARD SPECIFICATIONS.
- THE LIMITS OF CLEARING SHALL BE PLACED PRIOR TO CLEARING AND GRADING OF THE SITE.
- ANY EXISTING TREES TO REMAIN MUST BE THE CLEANING (BARK SHALL BE STRIPPED AND PROTECTED FROM DAMAGE).
- PRIOR TO ANY FILL PLACEMENT, ALL AREAS WHICH WILL RECEIVE STRUCTURAL FILL SHALL BE EXCAVATED TO FIRM, NON-ORGANIC UNDERLIES ABOVE GRADING. THE EXCAVATED AREAS SHALL BE OBSERVED AND ACCEPTED BY THE GEOTECHNICAL ENGINEER AND THE CITY OF CLATSOP COUNTY.
- ALL LOT FILLS SHALL MEET SIZE OF SAND TO 1-8% COMPACTION.
- FILLS SHALL BE OBSERVED BY SPECIAL AGENTS NOT EXCEEDING 8 HOURS BY ENGINEER AND SHALL BE COMPLETED AS PREVIOUSLY NOTED.
- FILLS PLACED ON SLOPES EXCEEDING 3% SHALL BE TIEED AND BENCHED. GEOTECHNICAL APPROVAL REQUIRED PRIOR TO ANY FILL PLACEMENT.
- ALL SURFACES SHALL BE GRADED SMOOTH AND BE FREE OF IRREGULARITIES THAT MIGHT ACCUMULATE SURFACE WATER.
- ALL CUT AND FILL SLOPES SHALL NOT EXCEED 3:1 SLOPES.
- ANY EXISTING NATIONAL NET REQUIRED TO MEET THE GRADES SHOWN ON THE PLANS SHALL BE MAINTAINED FROM THE SITE TO A CONTRACTOR PROVIDED THERE IS NO OTHER SITE IN WHICH CITY LIMITS A GRADING THAT MAY BE REQUIRED.
- ALL EXPOSED AND IMPROVED SOILS SHALL BE STABILIZED BY SEPARATE APPLICATION OF EROSION CONTROL MATS.
- ALL SURFACES REQUIRING VEGETATION SHALL BE REVEGETATED PRIOR TO FILLING OR SHALL TRACKED PERPENDICULAR TO SURFACE FILL TO REDUCE EROSION AND HELP VEGETATION.
- FINAL GEOTECHNICAL SUMMARY REPORT INCLUDING ALL COMPACTION TESTING RESULTS SHALL BE SUBMITTED UPON COMPLETION OF SITE GRADING WORK.

**DESIGNED BY:** DATE: 7/1/15  
**DRAWN BY:** PROJECT NO.: 1503  
**CHECKED BY:** NUMBER: 1.037

**CITY OF CAMAS - ENGINEERING/PLANNING DEPARTMENT**

DATE: 7/1/15

**IMPORTANT NOTES**

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**811**  
Know where you dig. Call before you dig.

**CIVILIAN LAND DESIGN**

717 E 61st Street, Suite 202  
Vancouver, WA 98665  
(360) 740-3809  
civilian.com

**SUBJECT TO CITY APPROVAL**

**PRIOR TO CONSTRUCTION**

**C-2**

DATE	7/1/15
REVISIONS	1
DATE	7/1/15
REVISIONS	2
DATE	7/1/15
REVISIONS	3
DATE	7/1/15
REVISIONS	4
DATE	7/1/15
REVISIONS	5

**DESIGNED BY:** DATE: 7/1/15  
**DRAWN BY:** PROJECT NO.: 1503  
**CHECKED BY:** NUMBER: 1.037

**VALENCIA REZONE**  
**GRADING AND UTILITY PLAN**

**CIVILIAN LAND DESIGN**

**SHEET**  
**C-2**

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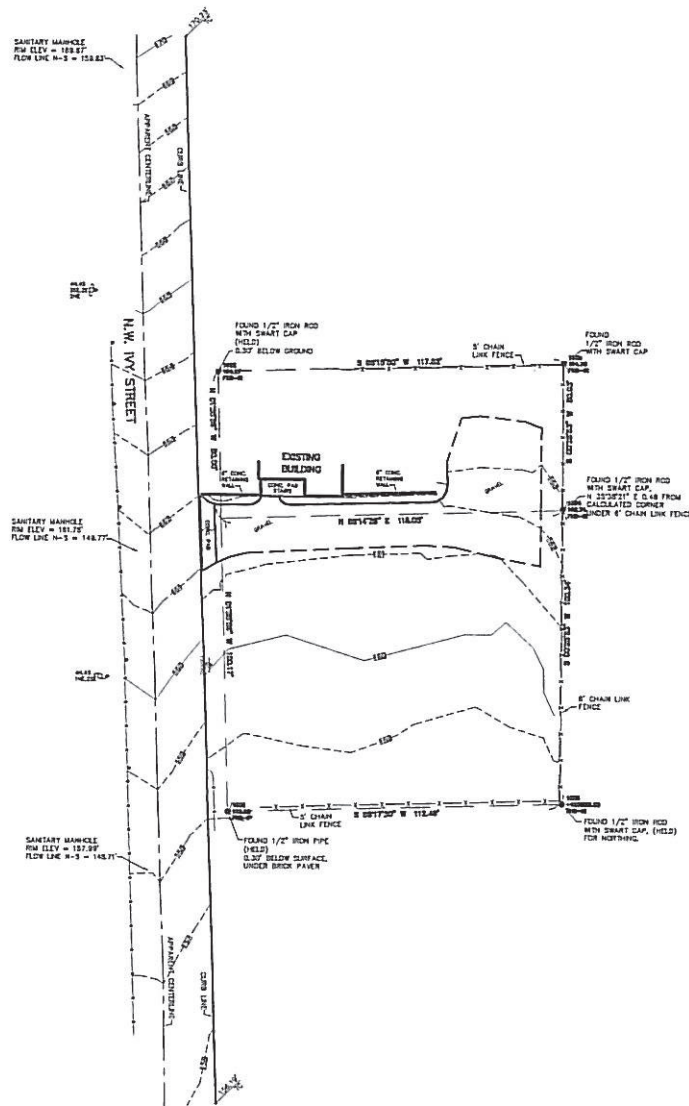
# EXISTING CONDITIONS SURVEY

LOCATED IN A PORTION OF  
THE NW 1/4 OF THE SE 1/4,  
OF SECTION 10,  
T. 1 N., R. 3 E., W. M.,  
CITY OF CAMAS,  
CLARK COUNTY, WASHINGTON

JOB NO.: 15-243  
DATA COLLECT: 08-11-15  
DRAWING DATE: 08-12-15

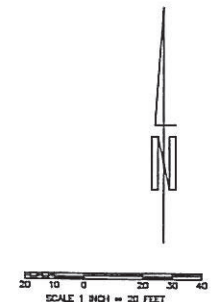
## LEGEND:

- INDICATES SPOT ELEVATION AS NOTED
- INDICATES WATER METER
- INDICATES POWER POLE WITH HANGER AND DIRECTION OF OVERHEAD LINES
- INDICATES SIGN
- INDICATES MONUMENT FOUND AS NOTED
- INDICATES BOUNDARY
- INDICATES 3 FOOT INTERVAL CONTOUR
- INDICATES 1 FOOT INTERVAL CONTOUR
- INDICATES WATER LOCATE
- INDICATES GAS LOCATE
- INDICATES FENCE LINE



**BRASS MARK:**  
BRASS DISK CITY OF CAMAS BEING MARK NO. 1005A IN THE SE QUADRANT  
AT THE INTERSECTION OF 7TH AND CRAVE STREET.  
ELEVATION = 125.60' CITY OF CAMAS DATUM

**NOTE:**  
A UTILITY LOCATE WAS CALLED FOR ON 08-09-15 UNDER TICKET NUMBER  
1515788. THE UNDERGROUND UTILITIES AS SHOWN HEREON ARE AS MARKED AT  
THE TIME OF THIS SURVEY. UNDERGROUND UTILITY LOCATIONS SHOWN ARE  
APPROXIMATE ONLY. UNDERGROUND CONNECTIONS ARE SHOWN AS STRAIGHT LINES  
BETWEEN SURFACE LOCATIONS BUT MAY CONTAIN BENDS OR CURVES NOT SHOWN.  
SOME UNDERGROUND LOCATIONS HEREON MAY HAVE BEEN TAKEN FROM PUBLIC  
RECORDS. M.G.S. ASSUMES NO LIABILITY FOR THE ACCURACY OF PUBLIC RECORDS.



**MINISTER-GLAESER  
SURVEYING INC.**  
2200 E. EVERGREEN BLVD.  
VANCOUVER, WA 98061  
(360) 694-3313